



# Inspection Report

**Mr. John Sample**

**Property Address:**  
123 Pine Street  
Vancouver BC V3M6C5



Exterior Front of Home

**Fairbairn Inspection Services**

**David Fairbairn BC License 60397  
#211 810 Quayside Drive  
New Westminster, BC, V3M 6C9  
604 395-2795**

# 1. Roofing / Chimneys / Flashings

The home inspector is required to observe and report on the systems and components herein: Roof covering materials; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; Observe and report evidence of water penetration; General structure of the roof from the readily accessible panels, doors, stairs or hatch.

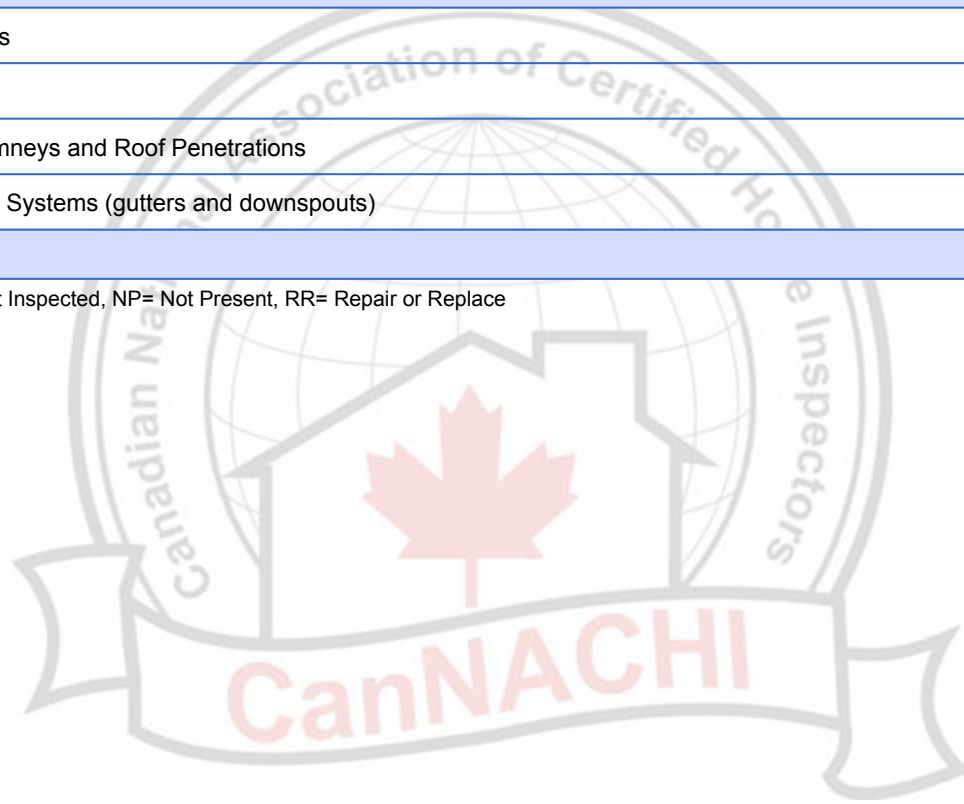
The home inspector is not required to observe and report on the following systems and components herein: Accessories that do not make up part of the roofing such as lightning arrestor systems, antennae, solar heating systems, de-icing equipment; Predict the service life expectancy of the roof; Inspect underground downspout diverter drainage pipes; Move or disturb insulation; Perform a water test; Walk on roofing where in judgement of the inspector could be dangerous or cause damage; Warrant or certify or guarantee the roof.

## Styles & Materials

<b>Viewed roof covering from:</b> Walked roof	<b>Percent of Roof Visible:</b> 100%	<b>Roof Style:</b> Hip
<b>Roof Covering:</b> Cedar	<b>Chimney (exterior):</b> N/A	<b>Sky Light(s):</b> None

		IN	NI	NP	RR
1.0	Roof Coverings				•
1.1	Flashings	•			
1.2	Skylights, Chimneys and Roof Penetrations				•
1.3	Roof Drainage Systems (gutters and downspouts)				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

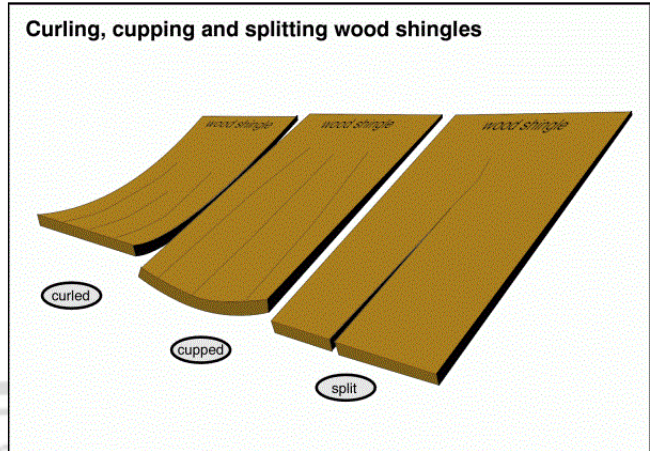


Comments:

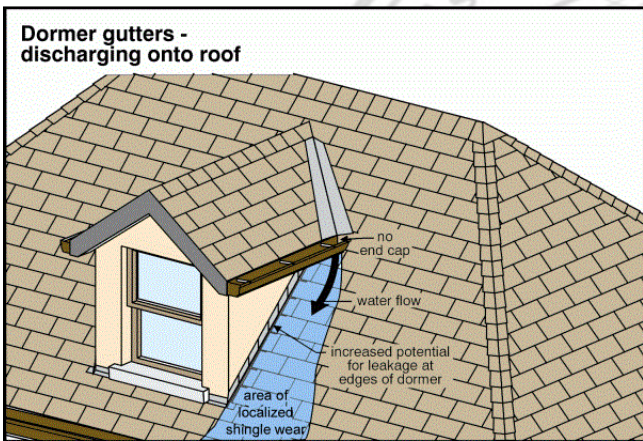
1.0 The cedar roof covering was deteriorated in multiple areas, with signs of prior repair. Many shingles were loose / split / cupping, and replacement of the entire roof covering may be required in the near future. Recommend further evaluation by a qualified roofing contractor.



Roof Covering



Cedar Diagram



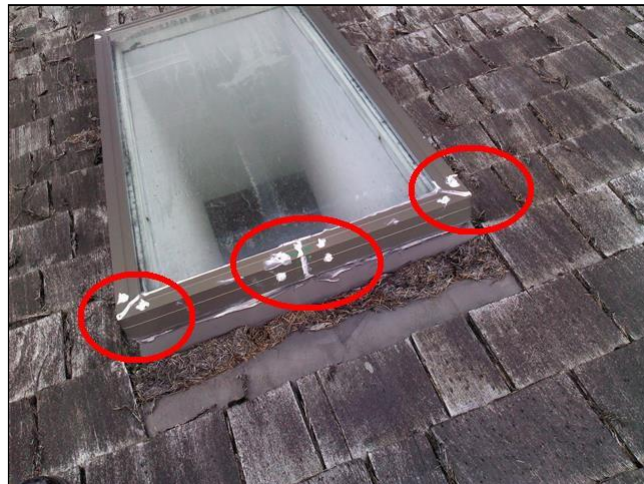
Drainage



**1.2** Two skylight seals were broken, with visible moisture between the panes. Recommend replacement of the skylights.



Broken skylight seals



Caulking on roof

**1.3** The gutters are full of debris in areas and needs to be cleaned. The debris in gutters can also conceal rust, deterioration or leaks that are not visible until cleaned, and I am unable to determine if such conditions exist.



Gutters

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 2. Attic

The home inspector is required to observe and report on the systems and components herein: Insulation and vapour barriers in accessible attics, crawlspaces and unfinished basements; Ventilation of attics and unheated crawl spaces; Report on the general absence or lack of insulation; Operate exhaust fan ventilation systems.

The home inspector is not required to observe and report on the following systems and components herein: Concealed insulation and vapour barrier systems; Inspect areas that are not reasonably accessible or visible; Move, touch, or disturb insulation or vapour barriers; Identify the composition or exact R-value of insulation material; Determine the types of materials used in insulation or wrapping of pipes, ducts, jackets, boilers, and wiring; Determine the adequacy of ventilation.

### Styles & Materials

**Method used to observe attic:**

Walked

**Roof Ventilation:**

Soffit Vents

**Roof Structure:**

Engineered wood trusses

**Ceiling Structure:**

4" or better

**Attic info:**

Attic access

Attic hatch

**Attic Insulation:**

Blown

Fiberglass

		IN	NI	NP	RR
2.0	Roof Ventilation	•			
2.1	Roof Structure and Attic (Report leak signs or condensation)	•			
2.2	Insulation in Attic				•
2.3	Visible Electric Wiring in Attic	•			
2.4	Ventilation Fans and Thermostatic Controls (Attic)			•	
		IN	NI	NP	RR

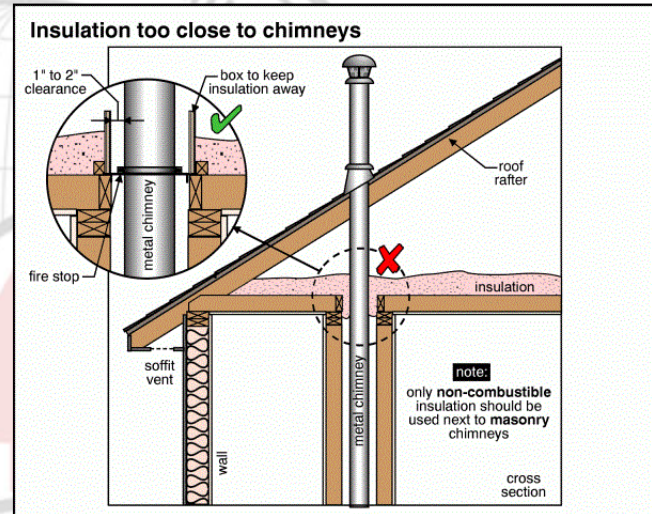
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**Comments:**

**2.2** The blown insulation should be moved away from the furnace flue to provide sufficient clearance.



Flue clearance



Diagram

**3. Exterior**

The Home Inspector is required to observe and report on the following systems and components herein: Exterior wall covering/surfaces, eaves and trim; Doors, windows, and flashings; All exterior doors, decks, stoops, steps, stairs, porches, railings, eaves, soffits and fascias; Balconies including stairs, guards and railings; Observe and report impact of lot grading and vegetation; Retaining walls when these are likely to adversely affect the structure; Walkways and driveways on the building.

The Home Inspector is not required to observe and report on the following systems and components herein: Geological, hydrological and/or ground and soil conditions; Yard fencing; Seasonal accessories such as removable storm windows, Storm doors, screens and shutters; Storage sheds and other structures not part of the building; Any items or facilities not directly related to the building structure, such as swimming pools, saunas, hot tubs, tennis courts, etc.; Seawalls, break-walls and docks; Playground equipment or recreation facilities; Erosion control and earth stabilization measures; Drain fields or dry-wells, septic systems or cesspools; Water wells or springs; Determine the integrity of the thermal window seals or damaged glass.

**Styles & Materials**

**Siding Material:**

Cedar

Wood

**Exterior Entry Doors:**

Vinyl

Wood

**Appurtenance:**

Walkway

**Driveway:**

Concrete

		IN	NI	NP	RR
3.0	Wall Cladding, Flashing and Trim				•
3.1	Doors (Exterior)	•			
3.2	Windows				•
3.3	Decks, Balconies, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings				•
3.4	Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)				•
3.5	Eaves, Soffits and Fascias				•
3.6	Plumbing Water Faucets (hose bibs)	•			
3.7	Outlets (Exterior)	•			
		IN	NI	NP	RR

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**Comments:**

**3.0 (1)** Loose sconce lights at the front of the home - repair as needed.



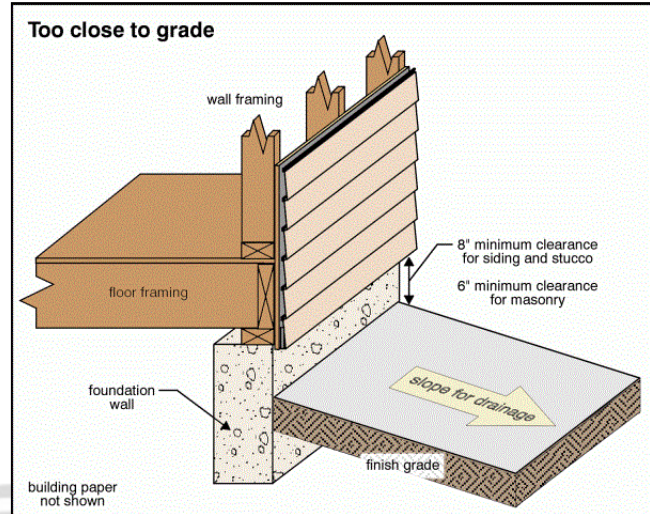
Loose sconce



**3.0 (2)** Siding in contact with ground at front of home. Soil contact can cause deterioration of the wood trim. Recommend a ground clearance of six to eight inches where possible.



Soil clearance



Grading diagram

**3.2** The front living room window had a failed seal and should be replaced. The other windows in the home should also be tested by a qualified window contractor.



Front window

**3.3** Several framing members at the rear stairs were deteriorated / rotted, and should be replaced. The handrail at the top of the stairs was loose and should be re-secured. All work should be performed by a qualified general contractor.

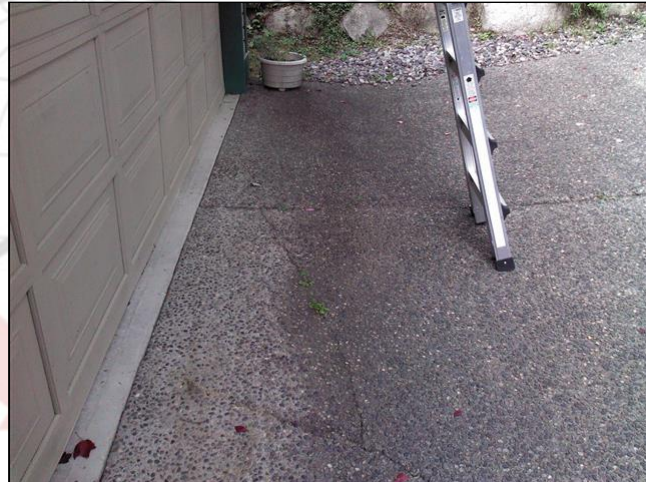


Rear stairs



Handrails loose

**3.4** The driveway sloped slightly toward the garage. Water may enter under the garage door during periods of heavy rain.



Garage door

**3.5** Damage soffit at the front of the home - repair required



Soffit



The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 4. Kitchen / Laundry Room

The Home Inspector is required to observe and report on the following systems and components: Floors, Walls, Ceilings and Trim, Fire separating walls and party walls, stairs, guards, railings, observe condition of permanently installed counters and cabinets, observe and report on any evidence of water penetration and condensation, the presence of smoke detectors, and randomly select and operate where reasonably accessible a representative number of doors and windows.

The Inspector is NOT required to observe and report on: Treatments such as paint, wallpaper, carpeting, blinds, drapes, and other similar treatments, Kitchen, Bathroom and laundry appliances, Observe fireplace insert installation, Any items or facilities not directly related to the interior systems and components such as swimming pools, saunas, hot tubs, ponds and waterfalls, Move furniture, stored items, or any coverings like carpets or rugs in order to inspect the concealed floor structure, Move drop/suspended ceiling tiles, Operate or examine any sauna, steam-jenny, kiln, toaster, plug-in kitchen appliances, or other ancillary devices, Inspect elevators, remote controls, appliances, or any items not permanently installed, Examine or operate any above-ground, movable, freestanding, or non-permanently installed pool/spa, recreational equipment or self-contained equipment, Test the operation of Smoke Detectors, and Solid fuel burning appliances including wood burning fireplaces and wood stoves.

### Styles & Materials

**Exhaust/Range hood:**

VENTED

**Cabinetry:**

Wood

**Countertop:**

Granite

**Washer Hose Material:**

Rubber (5 Year Lifespan)

**Clothes Dryer Vent Material:**

Flexible Vinyl

**Dryer Power Source:**

220 Electric

**Washer Drain Size:**

Not visible

		IN	NI	NP	RR
4.0	Ceiling	•			
4.1	Walls	•			
4.2	Floor	•			
4.3	Pantry/Closet Doors	•			
4.4	Windows	•			
4.5	Counters and a representative number of Cabinets	•			
4.6	Plumbing Drain and Vent Systems				•
4.7	Plumbing Water Supply Faucets and Fixtures	•			
4.8	Outlets Wall Switches and Fixtures	•			
4.9	Range Hood	•			
4.10	Garburator	•			
4.11	Dishwasher	•			
4.12	Ranges/Ovens/Cooktops	•			
4.13	Fridge	•			
4.14	Laundry Appliance Connections	•			
4.15	Clothes Dryer Vent Piping				•
		IN	NI	NP	RR

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**Comments:**

**4.6 (1)** The kitchen sink supports were improper and a steel strapping should be installed for safety.



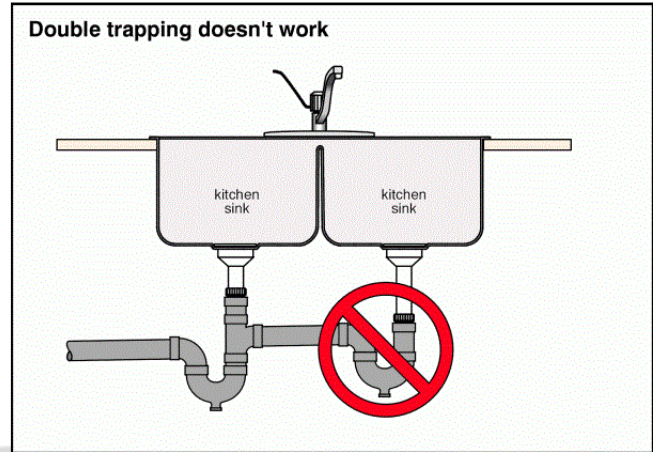
Sink supports



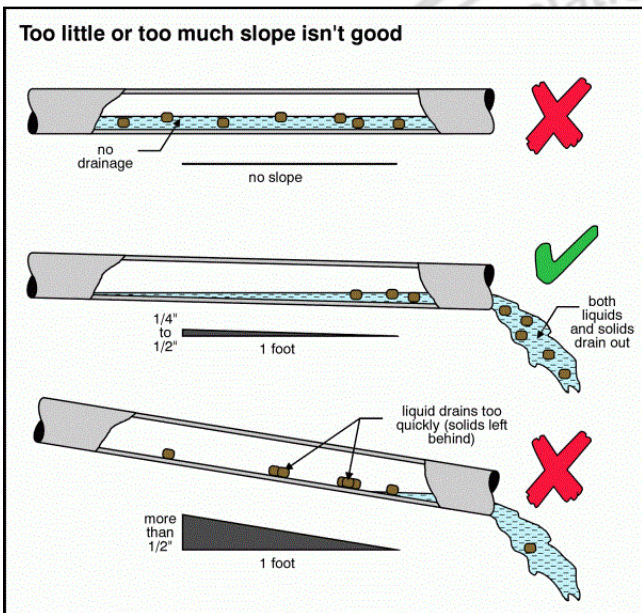
4.6 (2) One or more sink waste lines were double-trapped. Installing a second trap is a poor practice and can lead to drainage / siphoning problems. In addition the slope of the drain was poor and may lead to drainage issues. A plumber should evaluate and repair.



Double Trap



Double trap diagram



Slope diagram



**4.15** The dryer vent was not connected in the laundry room - moisture damage will occur if dryer is run. It should be re-attached, and the vent cleaned out.



Dryer vent disconnected

The Kitchen Components were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 5. Rooms

The Home Inspector is required to observe and report on the following systems and components: Floors, Walls, Ceilings and Trim, Fire separating walls and party walls, stairs, guards, railings, observe condition of permanently installed counters and cabinets, observe and report on any evidence of water penetration and condensation, the presence of smoke detectors, and randomly select and operate where reasonably accessible a representative number of doors and windows.

The Inspector is NOT required to observe and report on: Treatments such as paint, wallpaper, carpeting, blinds, drapes, and other similar treatments, Kitchen, Bathroom and laundry appliances, Observe fireplace insert installation, Any items or facilities not directly related to the interior systems and components such as swimming pools, saunas, hot tubs, ponds and waterfalls, Move furniture, stored items, or any coverings like carpets or rugs in order to inspect the concealed floor structure, Move drop/suspended ceiling tiles, Operate or examine any sauna, steam-jenny, kiln, toaster, plug-in kitchen appliances, or other ancillary devices, Inspect elevators, remote controls, appliances, or any items not permanently installed, Examine or operate any above-ground, movable, freestanding, or non-permanently installed pool/spa, recreational equipment or self-contained equipment, Test the operation of Smoke Detectors, and Solid fuel burning appliances including wood burning fireplaces and wood stoves.

### Styles & Materials

**Ceiling Materials:**

Drywall

**Wall Material:**

Drywall

**Floor Covering(s):**

Carpet  
Laminated T&G  
Tile  
Vinyl

**Interior Doors:**

Hollow core  
Wood

**Window Types:**

Double-Paned

		IN	NI	NP	RR
5.0	Ceilings	•			
5.1	Walls				•
5.2	Floors	•			
5.3	Steps, Stairways, Balconies and Railings	•			
5.4	Doors (Representative number)				•
5.5	Windows (Representative number)	•			
5.6	Outlets, Switches and Fixtures	•			
5.7	Heat Source	•			
		IN	NI	NP	RR

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**Comments:**

**5.1 (1)** Ant activity was noted in the basement. A pest control company should be called for further evaluation.



Ants

**5.1 (2)** In the basement, several storage rooms were un-insulated, which may lead to condensation and mold growth. Recommend having a general contractor evaluate and repair as necessary.

**5.4** The closet sliding door on the main floor was broken. Repair/replace as needed.



Closet Door

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 6. Bathroom and Components

**The Home Inspector is required to observe and report on the following systems and components:** Floors, Walls, Ceilings and Trim, Fire separating walls and party walls, stairs, guards, railings, observe condition of permanently installed counters and cabinets, observe and report on any evidence of water penetration and condensation, the presence of smoke detectors, and randomly select and operate where reasonably accessible a representative number of doors and windows.

**The Inspector is NOT required to observe and report on:** Treatments such as paint, wallpaper, carpeting, blinds, drapes, and other similar treatments, Kitchen, Bathroom and laundry appliances, Observe fireplace insert installation, Any items or facilities not directly related to the interior systems and components such as swimming pools, saunas, hot tubs, ponds and waterfalls, Move furniture, stored items, or any coverings like carpets or rugs in order to inspect the concealed floor structure, Move drop/suspended ceiling tiles, Operate or examine any sauna, steam-jenny, kiln, toaster, plug-in kitchen appliances, or other ancillary devices, Inspect elevators, remote controls, appliances, or any items not permanently installed, Examine or operate any above-ground, movable, freestanding, or non-permanently installed pool/spa, recreational equipment or self-contained equipment, Test the operation of Smoke Detectors, and Solid fuel burning appliances including wood burning fireplaces and wood stoves.

### Styles & Materials

#### Exhaust Fans:

Fan



		IN	NI	NP	RR
6.0	Counters and Cabinets	•			
6.1	Doors (Representative number)	•			
6.2	Windows	•			
6.3	Shower / Bathtub				•
6.4	Toilet(s)	•			
6.5	Plumbing Drain, Waste and Vent Systems				•
6.6	Plumbing Water Supply and Distribution Systems and Fixtures				•
6.7	Outlets Switches and Fixtures				•
6.8	Exhaust Fan / Ventilation	•			
6.9	Heat Source	•			
		IN	NI	NP	RR

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**Comments:**

**6.3** Possible moisture was detected at the centre of the upstairs main shower. Grout cracking/pitting was noted in this area and it should be repaired.



Upstairs main shower

**6.5** The left ensuite sink drained very slowly and was likely plugged. A plumber should be called to clean/repair.



Ensuite sink plugged

**6.6** The basement sink was loose and the stopper did not operate when tested. A plumber/contractor should be called for repair.



Loose sink

**6.7** One outlet at the ensuite was uncovered and poses a safety hazard. It should be replaced.



Missing outlet cover

# 7. Plumbing System

The Home Inspector is required to observe and report on the following systems and components: Verify the presence of and identify the location of the main water shutoff valve; Water supply piping into house and within house, pipe supports and insulation; Drain, waste, and vent piping, pipe supports and insulation; Inspect the water heating equipment, including combustion air, venting, connections, energy sources, seismic bracing, and verify the presence or absence of temperature-pressure relief valves and/or Watts 210 valves; Inspect the drainage sump pumps and test pumps with accessible floats; Presence of cross-connections that could contaminate the potable water; Water volume and pressure should be tested by opening the faucets to obtain a reasonable flow of one or more fixtures simultaneously, and at various locations in the house; Water drainage should be tested by draining one or more fixtures simultaneously, and at various locations in the house; Test the water supply by operating valves and faucets; Observe and report any leaks in the piping systems; Determine if the water supply is public or private; Determine the presence and location of accessible clean-outs for the drain/waste/vent piping.

The Home Inspector is not required to observe and report on the following systems and components: Ignite or extinguish fires, pilot lights, change settings or conditions on equipment; Determine the exact flow rate, volume, pressure, temperature, or adequacy of the water supply; Operate any valves other than those used on a regular or daily basis; Inspect interiors of flues or chimneys, water softening or filtering systems, well pumps, tanks, safety or shut-off valves, floor drains, lawn sprinkler systems or fire sprinkler systems; Determine the water quality or pot ability or the reliability of the water supply or source; Foundation drainage system and yard piping; Inspect clothes washing machines or their connections; Test shower pans, tub and shower surrounds or enclosures for leakage; Evaluate the compliance with local conservation or energy standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping; Determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices; Determine whether there are sufficient clean-outs for effective cleaning of drains; Test, operate, open or close safety controls, manual stop valves and/or temperature or pressure relief valves; Inspect water storage tanks, pressure pumps or bladder tanks; Evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements; Inspect water treatment systems or water filters; Determine the existence or condition of polybutylene plumbing; Dismantle, remove, adjust or perform any function on any plumbing equipment that would require a qualified trades person to perform.

### Styles & Materials

**Water Source:**

Public

**Plumbing Water Supply (into home):**

Poly

**Plumbing Water Distribution (inside home):**

POLY-B (Polybutylene)

**Plumbing Waste Line:**

ABS

**Drain Clean-outs Visible:**

Yes (Describe Location)

Location(s) : Basement

**Water Heater Power Source:**

Gas (quick recovery)

**Water Heater Manufacturer:**

RHEEM

**Water Heater Location:**

Basement

		IN	NI	NP	RR
7.0	Plumbing Water Supply and Distribution Systems and Fixtures	•			
7.1	Hot Water Systems, Controls, Chimneys, Flues and Vents				•
7.2	Main Water Shut-off Device (Describe location)	•			
7.3	Plumbing Drain, Waste and Vent Systems	•			
7.4	Drain Clean-Outs (Describe Location)				•
7.5	Main Fuel Shut-off (Describe Location)	•			
7.6	Fuels Storage and Distribution Systems (Interior fuel storage, piping, venting, supports, leaks)	•			
7.7	Sump Pump			•	
		IN	NI	NP	RR

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**Comments:**

**7.0** The presence of polybutylene plumbing was observed. This type of piping has a known history of problems with defective connections and the pipe splitting. During inspection I did not see any problems with the polybutylene plumbing that was visible, but was unable to view all piping. Recommend that you consult with a qualified licensed plumber if you have any concerns and/or for additional information.

**7.1 (1)** The hot water tank flue had gaps which may allow combustion gasses to enter the home. The duct should be professionally repaired.



Flue holes

**7.1 (2)** The hot water tank had reached its expected life and should be replaced soon. A plumber should be called for a quotation on installation.



Hot water tank age

7.2 The main water shut-off valve was located in the basement..



Water shut-off

7.4 The main drain clean-out was located in the basement.



Drain clean-out

7.5 The main gas shut-off was located at the gas meter at the side of the home.



Gas meter

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. Only a reasonable amount of water is used to inspect the drain systems and if there are any concerns, the client should have the pipes inspected with a video camera by a qualified plumbing company. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 8. Heating / Central Air Conditioning

The home inspector is required to observe and report on the systems and components herein: The heating systems using normal operating controls and describe the energy source and heating method; Furnace and distribution system, including fans, ducts, dampers, supports, filters, insulation and registers; Boilers and distribution system including pumps, piping, valves, supports, insulation, radiators and convectors; Flue piping, vents, and chimneys; Heat recovery ventilator; Interior fuel storage equipment supply piping, venting, supports, and evidence of leakage; Cooling equipment and distribution system including fans, ducts, dampers, supports, filters, insulation, registers and piping; The presence of manufacturer's build-in safety controls; The presence of a heat source in each room; Test system using the thermostat or other similar standard operating controls; Readily accessible and removable panel covers designed for homeowner access may be removed for inspection purposes.

The Home Inspector is not required to observe and report on the following systems and components: Inspect or evaluate interiors of flues or chimneys, fire chambers, heat exchangers, humidifiers, dehumidifiers, electronic air filters, solar heating systems or fuel tanks; Determine the uniformity, temperature, flow, balance, distribution, size, capacity, adequacy, BTU, or supply adequacy of the heating system; Any portable heating/cooling, humidifying, dehumidifying or air cleaning equipment; Activate any HVAC systems when ambient temperatures or when other circumstances are not conducive to safe operation or may damage the equipment; Evaluate fuel quality; Verify thermostat calibration, heat anticipation or automatic setbacks, timers, programs or clocks; Examine electrical current, coolant fluids or gases, or coolant leakage; Dismantle, remove, adjust or perform any function on any heating or cooling equipment that would require a qualified trades person to perform; Light or ignite pilot flames; Change settings or conditions on equipment.

### Styles & Materials

**Heat System Type:**

Forced Air

**Heat System Brand:**

ARCOAIRE

**Energy Source:**

Natural gas

**Number of Heat Systems (excluding wood):**

One

**Heating System Serviced in Last 12 Months:**

No

**Manufacturer's Safety Controls:**

Present

**Ductwork:**

Non-insulated

**Filter Type:**

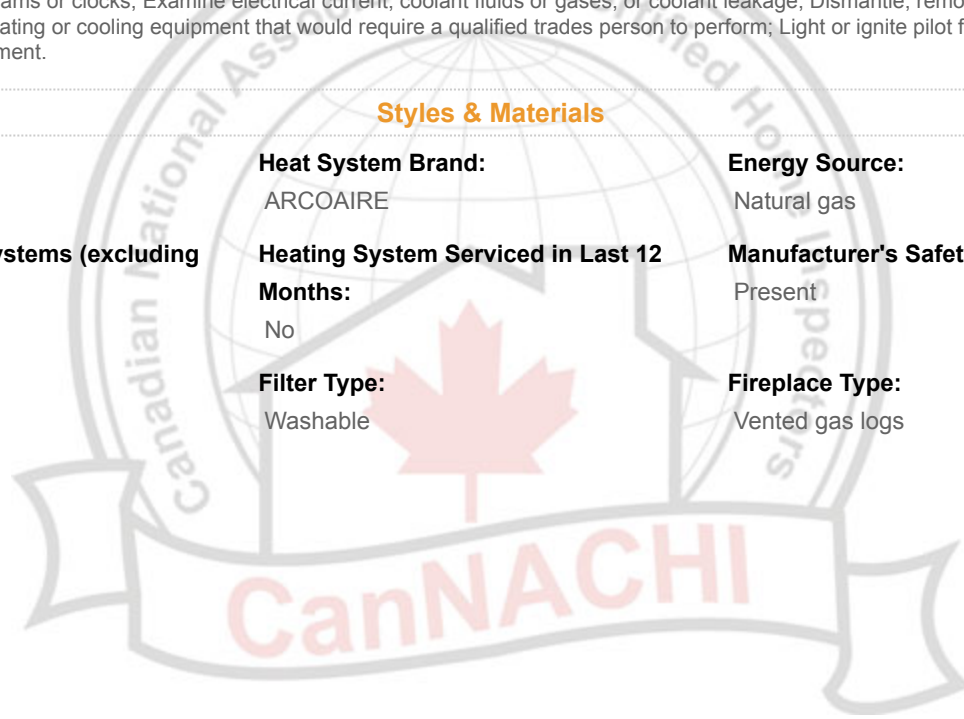
Washable

**Fireplace Type:**

Vented gas logs

**Fireplaces:**

Two





		IN	NI	NP	RR
8.0	Heating Equipment				•
8.1	Thermostat & Normal Operating Controls	•			
8.2	Automatic Safety Controls	•			
8.3	Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)	•			
8.4	Presence of installed heat source in each room	•			
8.5	Solid Fuel heating Devices (Fireplaces, Woodstove)			•	
8.6	Gas/LP Firelogs and Fireplaces				•
8.7	Cooling and Air Handler Equipment			•	
8.8	Normal Operating Controls			•	
8.9	Presence of installed cooling source in each room			•	
8.10	Heat Recovery Ventilator (HRV)			•	
		IN	NI	NP	RR

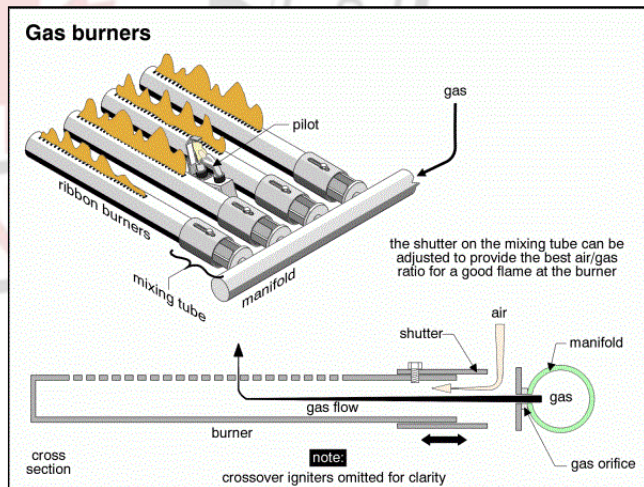
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**Comments:**

**8.0** The heating unit does not appear to have been serviced within the last 12 months. A heating system requires ongoing maintenance to ensure top performance and safety. In this case, the furnace burners did not appear to be burning "clean" and combustion was poor. The heating system should be serviced by a qualified heating contractor soon, and then every three months following.



Service furnace



**8.6** The living room fireplace did not properly operate with the wall switch. Suspect faulty wall switch or bad thermocouple. A fireplace contractor should evaluate and repair.



Fireplace switch

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

