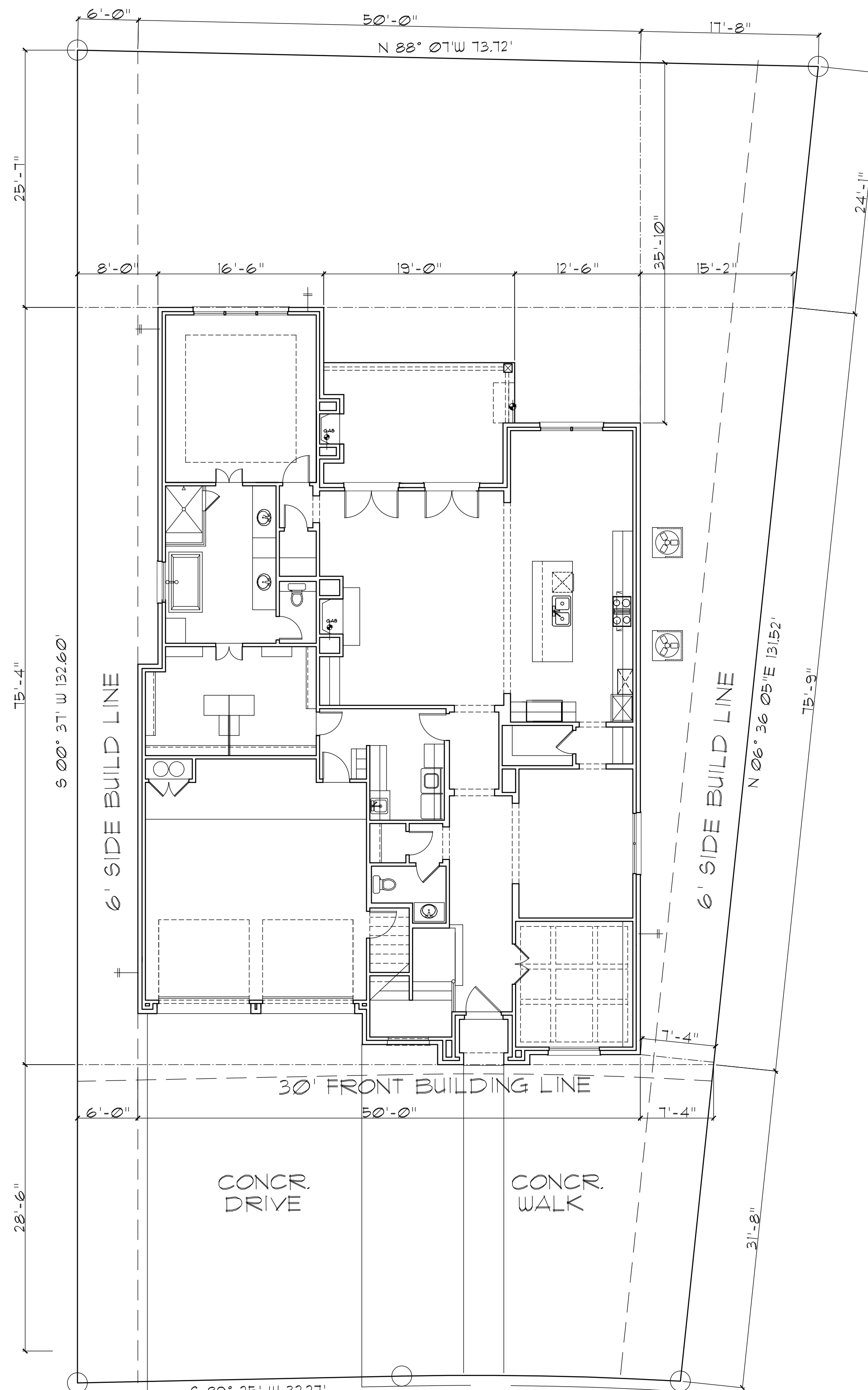


1 ROOF PLAN
SCALE: 1/8"=1'-0"



SITE PLAN

SCALE: 1/8"=1'
3870 LIVELY LANE
BLOCK 24/6147 LOT 12
GLENRIDGE ESTATES
CITY OF DALLAS
DALLAS COUNTY, TEXAS

AREA TABULATION:

FIRST FLOOR A/C:	2489 sq. ft.
SECOND FLOOR A/C:	1551 sq. ft.
TOTAL A/C:	4040 sq. ft.
GARAGE:	565 sq. ft.
FRONT PORCH:	28 sq. ft.
REAR PORCH:	221 sq. ft.
TOTAL SLAB	3303 sq. ft.
TOTAL AREA UNDER ROOF:	4854 sq. ft.

LOT COVERAGE PERCENTAGE (%)

LOT AREA:	7,500 sq.ft.
SLAB AREA	3,303 sq.ft.
PERCENTAGE LOT COVERAGE	44%

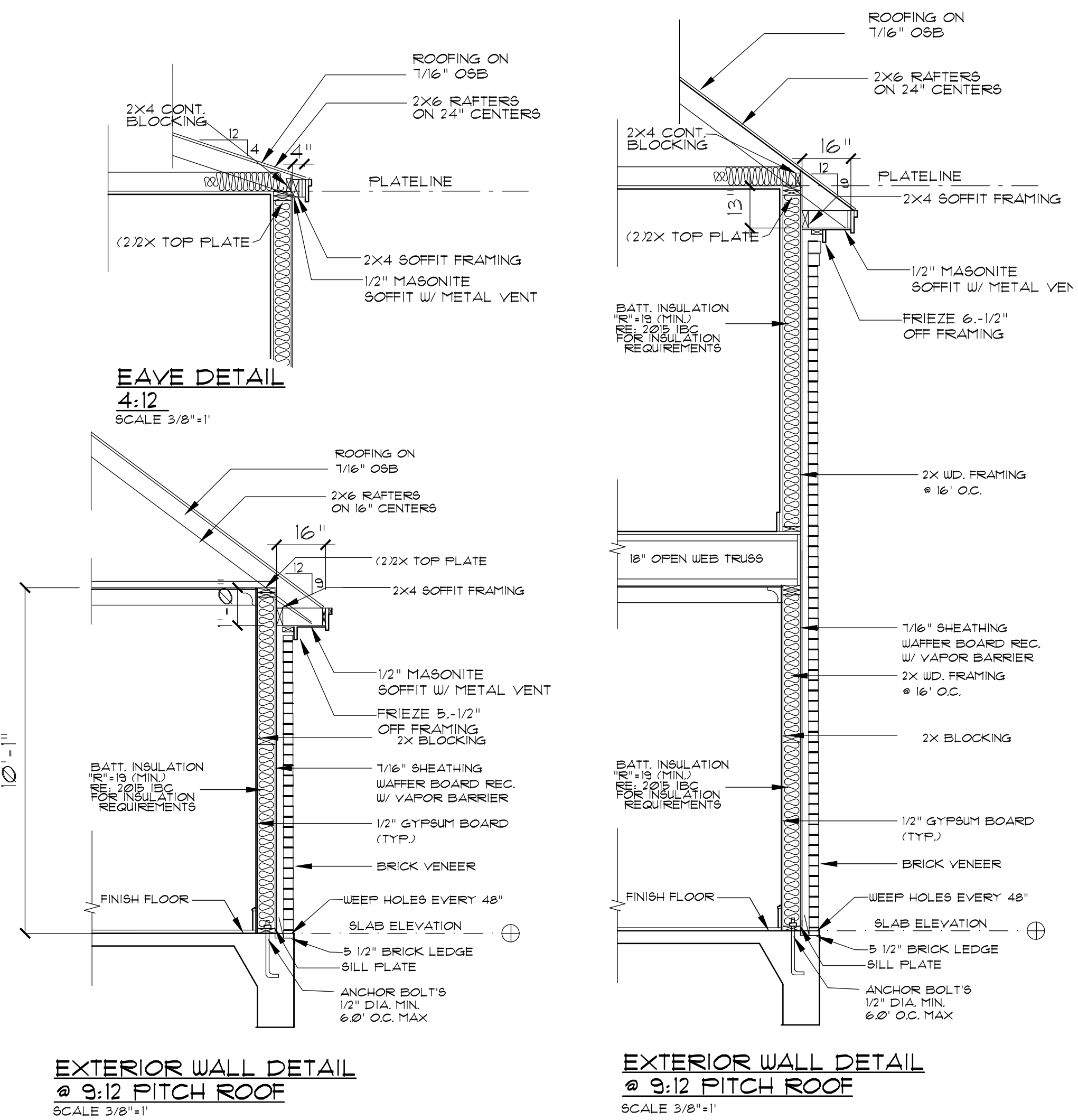
- CITY OF DALLAS GREEN ORDINANCE
- *LAVATORY FAUCETS TO COMPLY WITH CITY OF DALLAS GREEN ORDINANCE, AVERAGE FLOW RATE 2.0 GPM OR LESS.
 - *SHOWERHEADS TO COMPLY WITH CITY OF DALLAS GREEN ORDINANCE, AVERAGE FLOW RATE 2.0 GPM OR LESS.
 - *RADIANT BARRIER HEAT ISLAND MITIGATION
 - *PENETRATIONS AND CRACKS MUST BE SEALED
 - *DISHWASHER-ENERGY STAR DISHWASHER USING 6.0 GALLONS OR LESS PER CYCLE.
 - *DOORS - WEATHER STRIPPING TO BE INSTALLED.
 - *MAXIMUM LAMP WATTAGE FOR INCANDESCENT BULBS IS 100 WATTS; COMPACT FLUORESCENT IS 32 WATTS
 - *LANDSCAPE - DRIP IRRIGATION EMITTERS MUST BE USED FOR ALL BIDDING AREA OF AN APPROVED LANDSCAPE PLAN.
 - *ROOF - ANY ROOF WITH A PITCH GREATER THAN 2:12 MUST HAVE AN ENERGY STAR QUALIFIED ROOF; UNLESS IT IS A VEGETATIVE ROOF WHICH HAS BEEN APPROVED BY THE BUILDING OFFICIAL.
 - *HVAC/INDOOR AIR QUALITY - ALL AIR-HANDLING EQUIPMENT & DUCTWORK MUST BE OUTSIDE THE FIRE-RATED ENVELOPE OF THE GARAGE. SURFACES BETWEEN CONDITION SPACE & AN ATTACHED GARAGE MUST BE TIGHTLY SEALED. AIR FILTER MUST BE INSTALLED THAT HAVE A MINIMUM REPORTING VALUE (MERV) EQUAL TO OR GREATER THAN 8.
 - *10% of the non-roof area must have (will have) vegetative landscape, permeable paving or sloped for water runoff to a permanent filtration feature.

DOOR SCHEDULE

QTY	DESCRIPTION	NOTES
1	3-620	(A) WOOD ENTRY UNIT PER SELECTION
2	2-2880	(B) DBL LITE PER SELECTION
1	2880	(C) SOLID CORE # GARAGE

WINDOW SCHEDULE

REF	DESCRIPTION	ROUGH OPENING/NOTES	QTY
1	6010 FX DL HDR # 8'-0"	STUDY	1
2	4010 FXD DL HDR # 15'-6"	STAIR	1
3	24-3060 FX IL HDR # 8'-0"	DINING, NOOK	2
4	34-3060 CSMT FX/CSMT IL HDR # 8'-0"	MASTER BEDROOM	1
5	NOT USED		
6	4040 FXD IL TEMP/OBSC/HDR # 8'	MASTER BATH	1
7	3040 CSMT DL HDR # 7'	GAMEROOM	2
8	2030 FX DL HDR # 5'-6"	BATH #2	1
9	24-2680 FXD DL HDR # 7'	BEDROOM #2	1
10	3080 CSMT IL HDR # 7'-0"	BEDROOM #2	1
11	24-3080 CSMT IL HDR # 7'	BEDROOM #3, GAMEROOM	2
12	24-2880 CSMT IL HDR # 7'-6"	BEDROOM #4	1



EXTERIOR WALL DETAIL
@ 9:12 PITCH ROOF
SCALE: 3/8"=1'

EXTERIOR WALL DETAIL
@ 9:12 PITCH ROOF
SCALE: 3/8"=1'

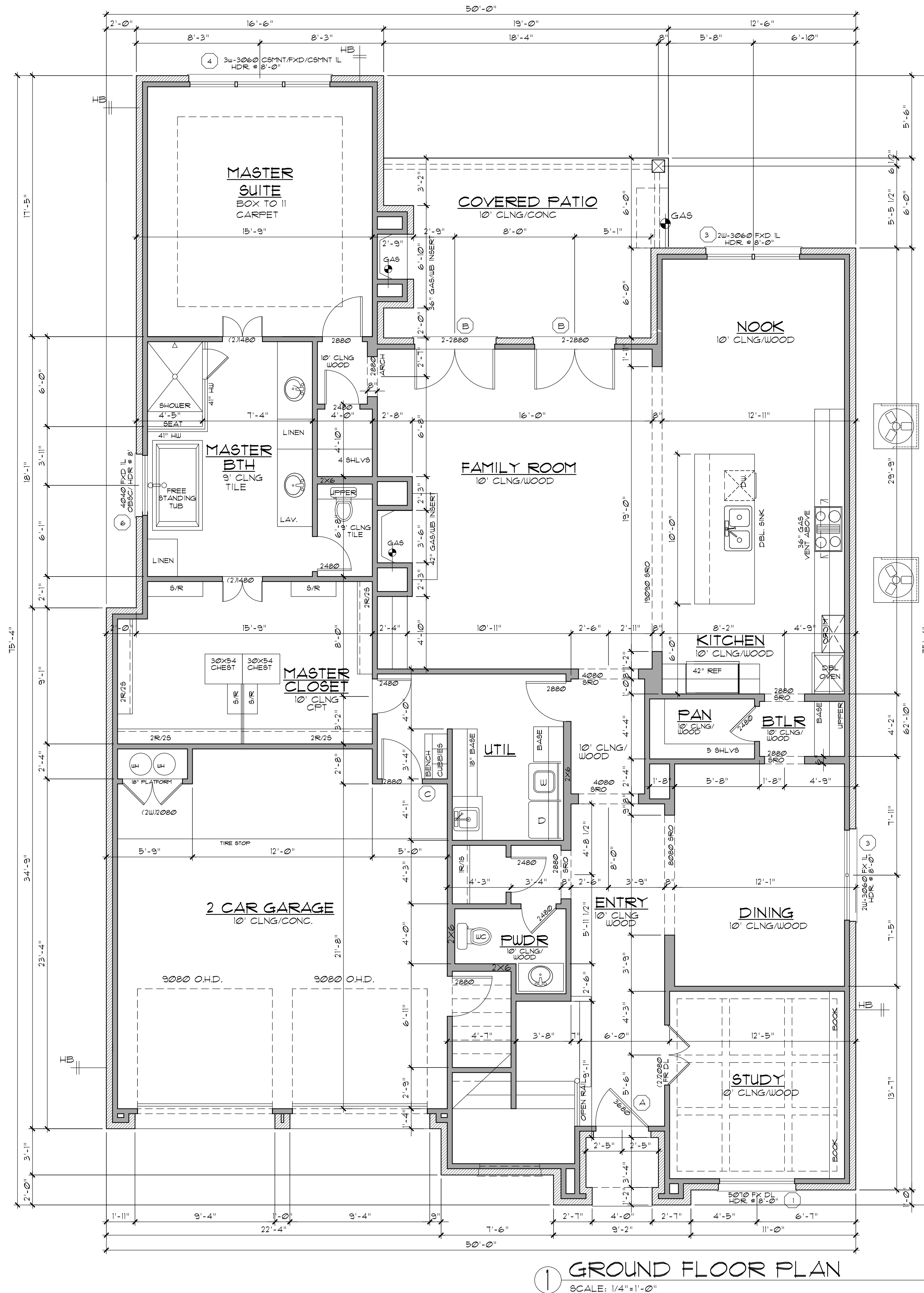
Copyright, S. Watson Design, Inc. - 2018
These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked by the builder or the person in authority of this project. Any discrepancy, error, omission, or error in the construction of this project shall be the responsibility of the contractor. The designer, before any construction is commenced or purchased, it is recommended that the owner or builder obtain complete Engineering services: Foundation, HVAC, and Structural, before beginning construction of any kind. Note: All Federal, State, and Local codes and regulations which may conflict with these plans, and their use are the property of the owner and during construction. These plans, and their use are the property of the designer and shall remain the property of the designer. All rights reserved by any means without the expressed written consent of Watson Design. All rights reserved.

3870 LIVELY LANE
BLOCK 24/6147 LOT 12
GLENRIDGE ESTATES
CITY OF DALLAS
DALLAS COUNTY, TEXAS

PLAN NUMBER
06404018

DATE
6/20/2018

SHEET NUMBER
A1



1 GROUND FLOOR PLAN
SCALE: 1/4"=1'-0"

AREA TABULATION:	
FIRST FLOOR A/C:	2489 sq. ft.
SECOND FLOOR A/C:	1551 sq. ft.
TOTAL A/C:	4040 sq. ft.
GARAGE:	565 sq. ft.
FRONT PORCH:	28 sq. ft.
REAR PORCH:	221 sq. ft.
TOTAL SLAB	3303 sq. ft.
TOTAL AREA UNDER ROOF:	4854 sq. ft.



WATSON DESIGN GROUP
3537 W. 7TH SUITE 5
FORT WORTH, TEXAS
0.817.882.8882
WATSONDESIGNGROUP.COM

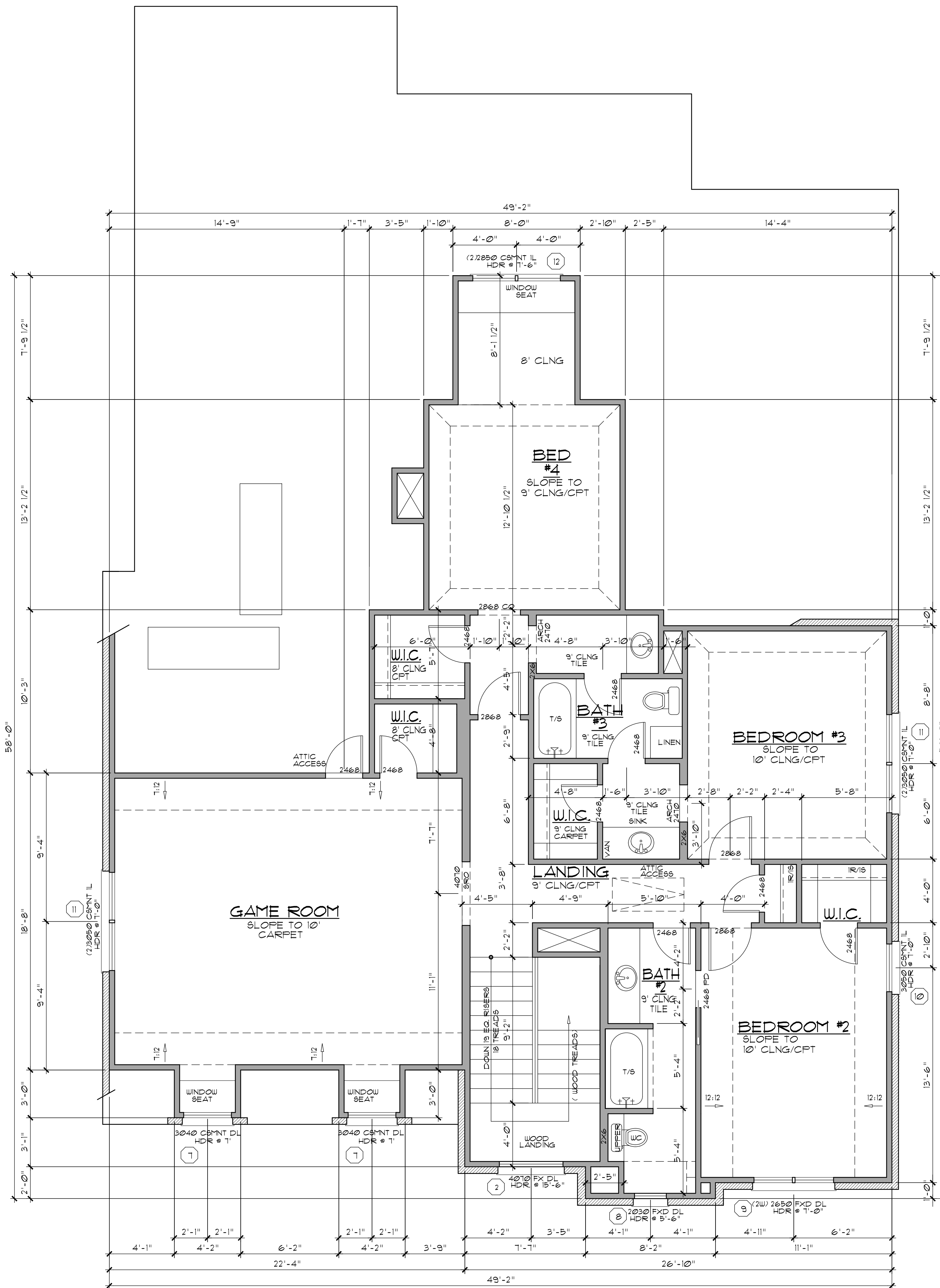
Copyright, S. Watson Design, Inc. - 2018
These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked by the builder or the person in authority of this project. Any discrepancy, error, or omission in these plans is the responsibility of the person who prepared them. The designer before any construction is commenced or purchase made. It is recommended that the owner or builder obtain complete Engineering services; Foundation, HVAC, and Structural before beginning construction of any kind. Note: All Federal, State, and Local codes and regulations apply to these plans. These plans are the property of Watson Design, Inc. and are not to be reproduced, copied, or used in any way without the expressed written consent of Watson Design, Inc. All rights reserved.

3870 LIVELY LANE
BLOCK 24/6147 LOT 12
GLENRIDGE ESTATES
CITY OF DALLAS
DALLAS COUNTY, TEXAS

PLAN NUMBER
06404018

DATE
6/20/2018

SHEET NUMBER
A2



1 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

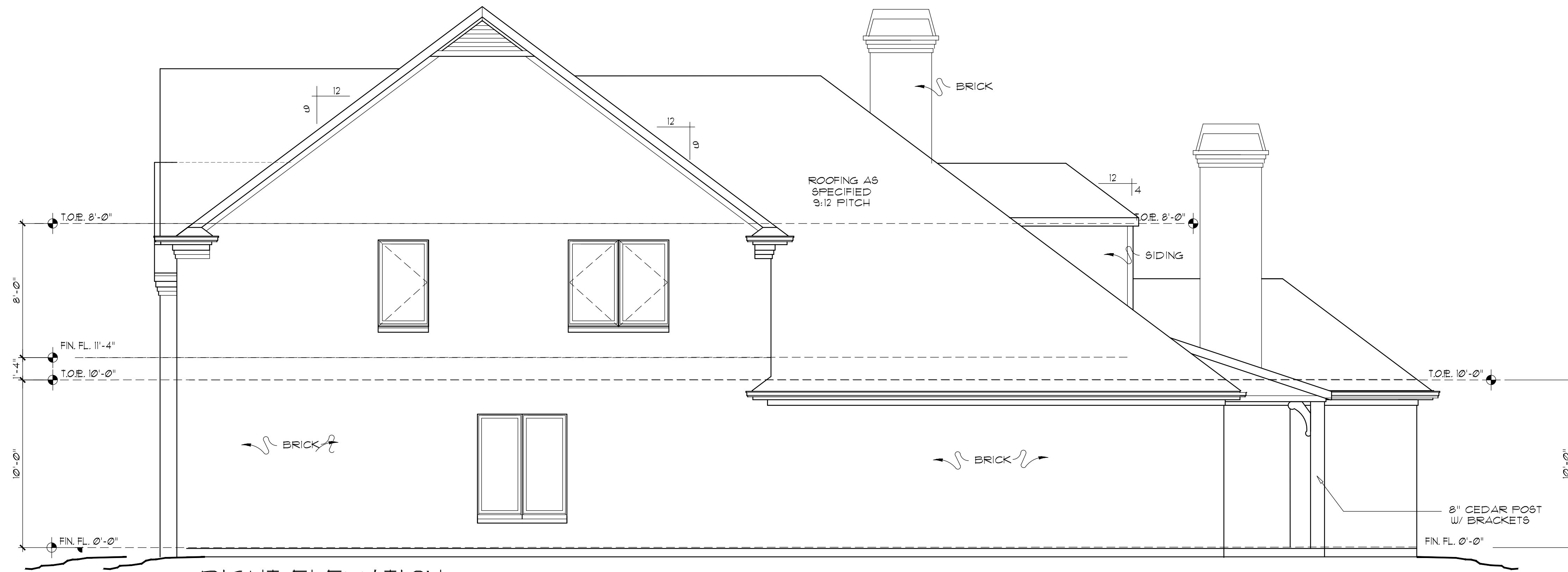
Copyright, S. Watson Design, Inc. - 2018
These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked by the builder or the person in authority of this project. Any discrepancy, error, or omission in these plans is the responsibility of the person who prepared them. It is recommended that the owner or builder obtain complete Engineering services; Foundation, HVAC, and Structural before beginning construction of any kind. Note: All Federal, State, and Local laws and regulations apply to these plans, and their use is the property of the person who prepared them. No part of these plans may be reproduced or transmitted in any form or by any means without the expressed written consent of Watson Design. All rights reserved.

3870 LIVELY LANE
BLOCK 24/6147 LOT 12
GLENRIDGE ESTATES
CITY OF DALLAS
DALLAS COUNTY, TEXAS

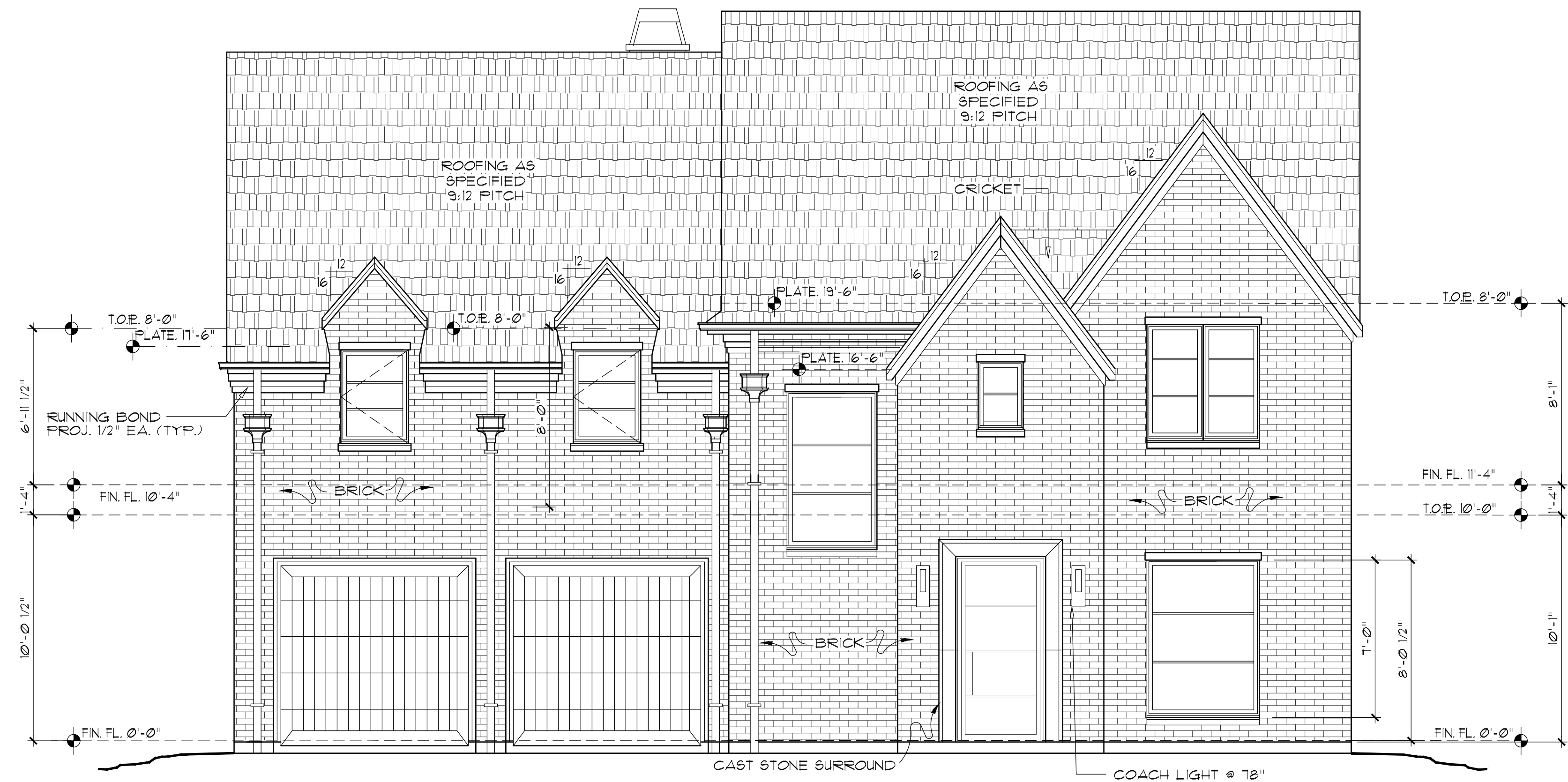
PLAN NUMBER
06404018

DATE
6/20/2018

SHEET NUMBER
A3



1 RIGHT ELEVATION
 SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
 SCALE: 1/4"=1'-0"

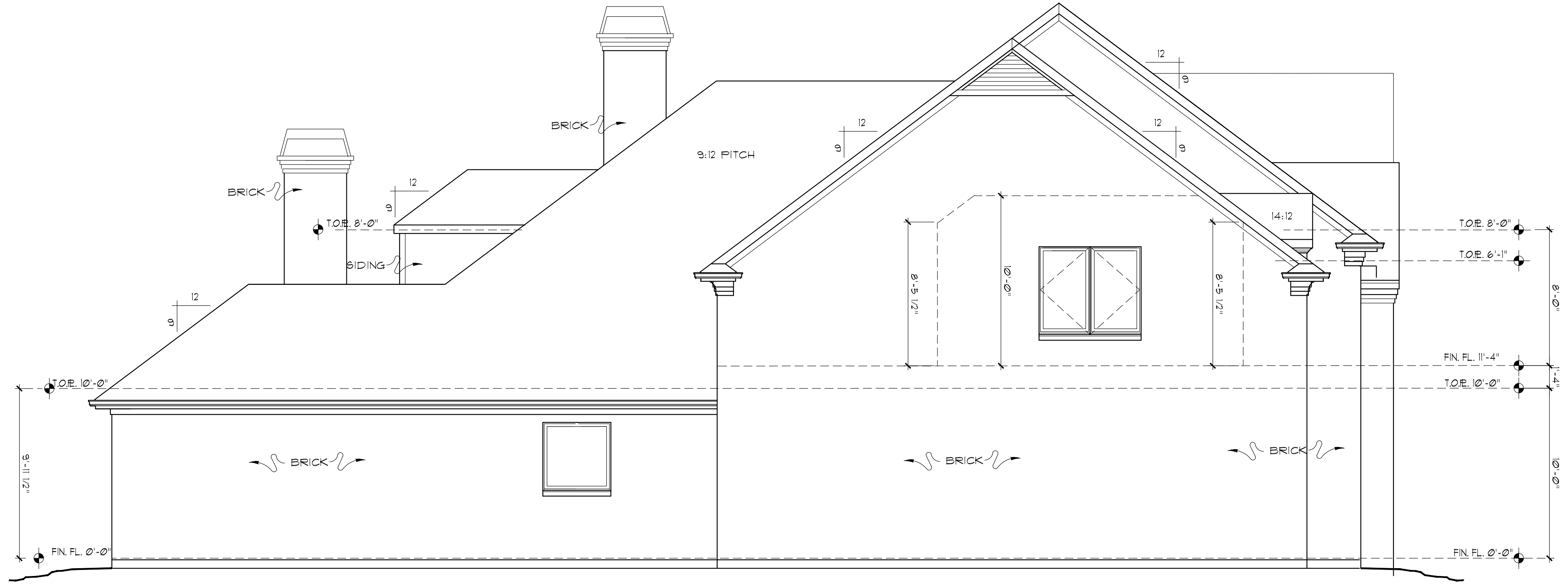
Copyright, S. Watson Design, Inc. - 2018
 These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked by the builder or the person in authority of this project. Any discrepancy, error, or omission in these plans is the responsibility of the person in authority of this project. The designer makes no warranty, expressed or implied, and it is recommended that the owner or builder obtain complete Engineering services; Foundation, HVAC, and Structural before beginning construction of any kind. Note: All Federal, State, and Local codes and regulations apply to these plans, and their use is the property of the user. These plans are the property of Watson Design, Inc. and shall not be reproduced by any means without the expressed written consent of Watson Design, Inc. All rights reserved.

3870 LIVELY LANE
 BLOCK 24/6147 LOT 12
 GLENRIDGE ESTATES
 CITY OF DALLAS
 DALLAS COUNTY, TEXAS

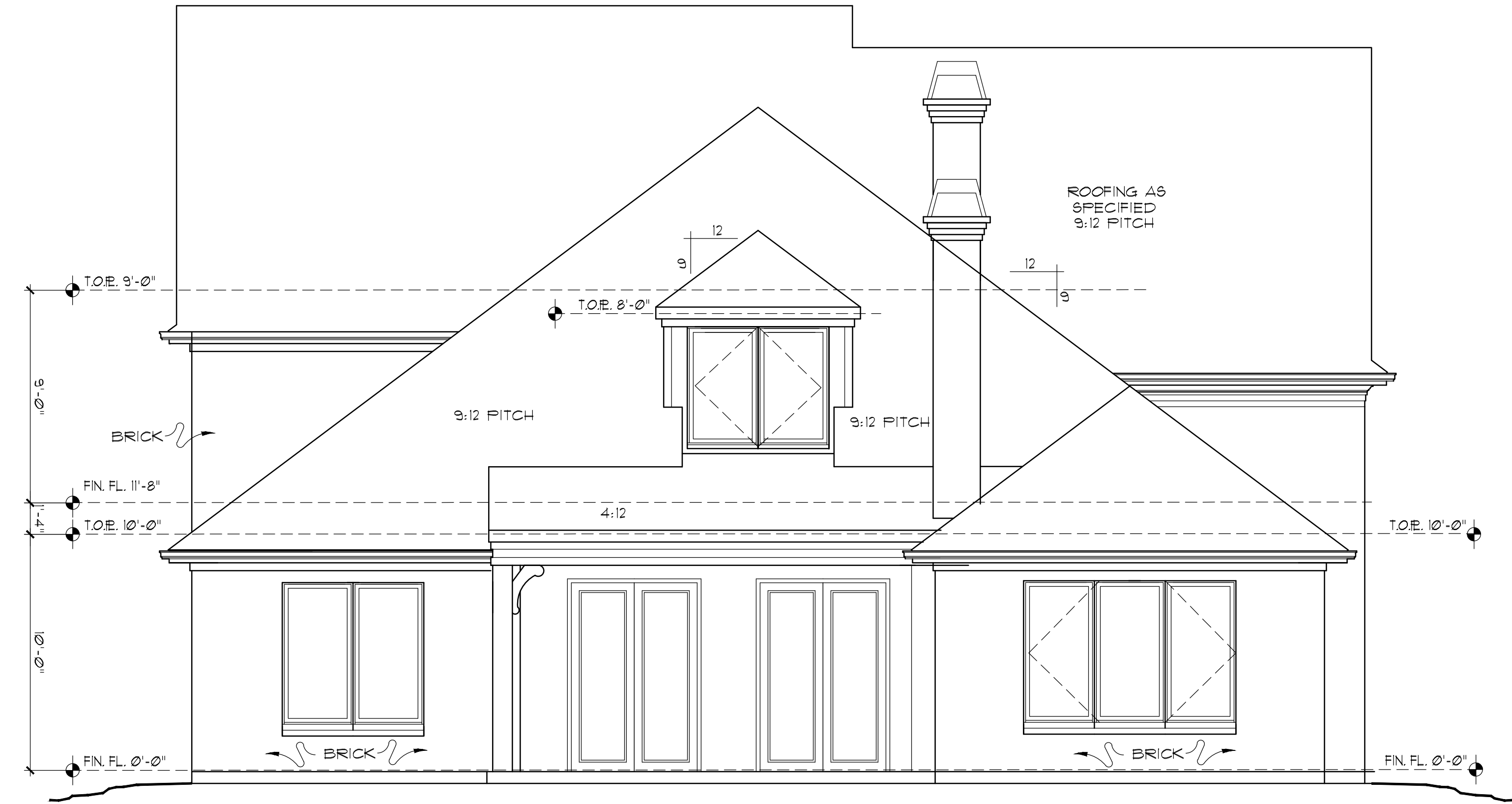
PLAN NUMBER
 06404018

DATE
 6/20/2018

SHEET NUMBER
 A4



① LEFT ELEVATION
 SCALE: 1/4"=1'-0"



① REAR ELEVATION
 SCALE: 1/4"=1'-0"

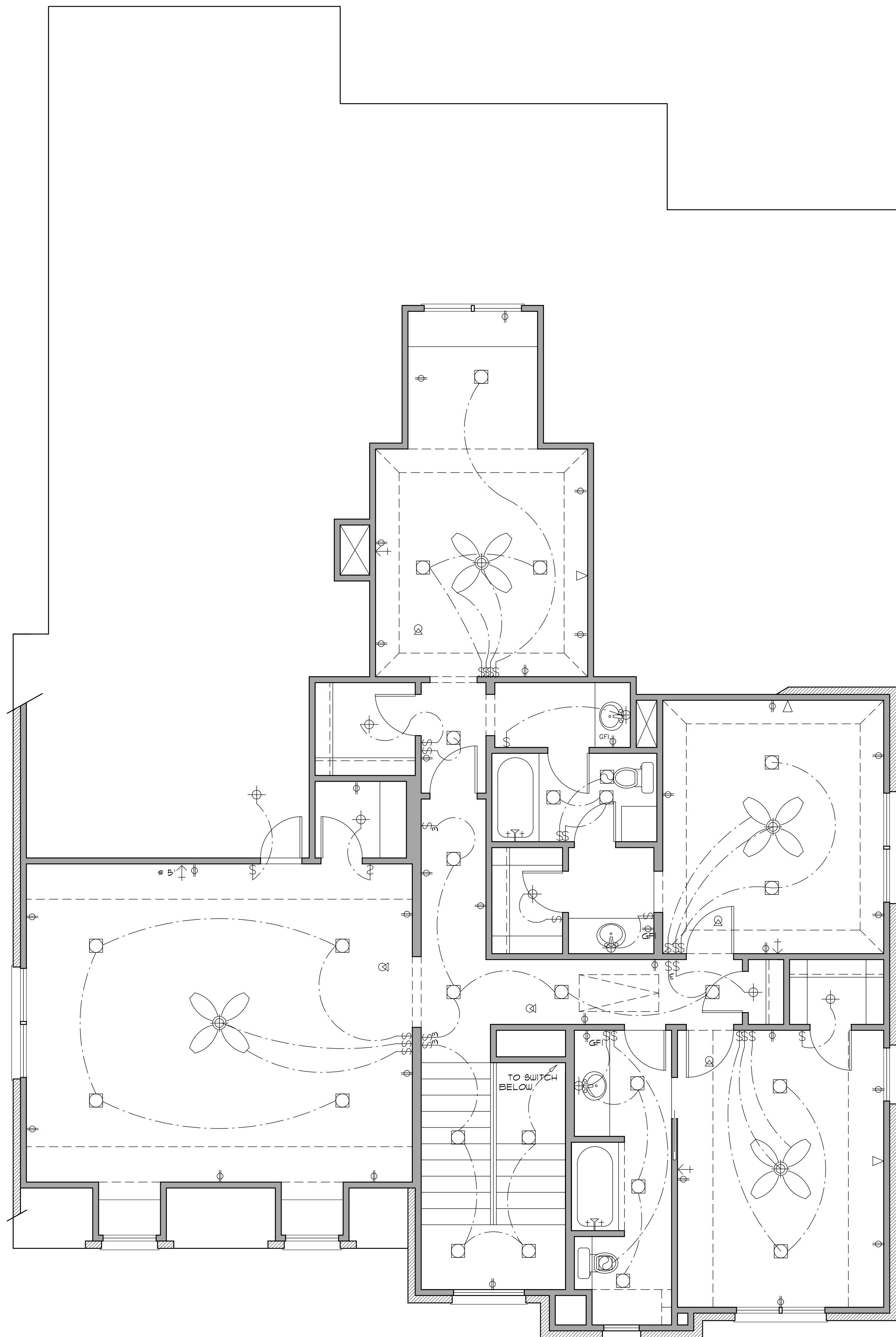
Copyright, S. Watson Design, Inc. - 2018
 These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked by the builder or the person in authority of this project. Any discrepancy, error, or omission in these plans shall be the responsibility of the person who ordered the design. Before any construction is commenced or purchase made, it is recommended that the owner or builder obtain complete Engineering services; Foundation, HVAC, and Structural before beginning construction of any kind. Note: All Federal, State, and Local codes and regulations apply to these plans, and their use is the property of the user. These plans are the property of S. Watson Design, Inc. and shall not be reproduced by any means without the expressed written consent of Watson Design. All rights reserved.

3870 LIVELY LANE
 BLOCK 24/6147 LOT 12
 GLENRIDGE ESTATES
 CITY OF DALLAS
 DALLAS COUNTY, TEXAS

PLAN NUMBER
 06404018

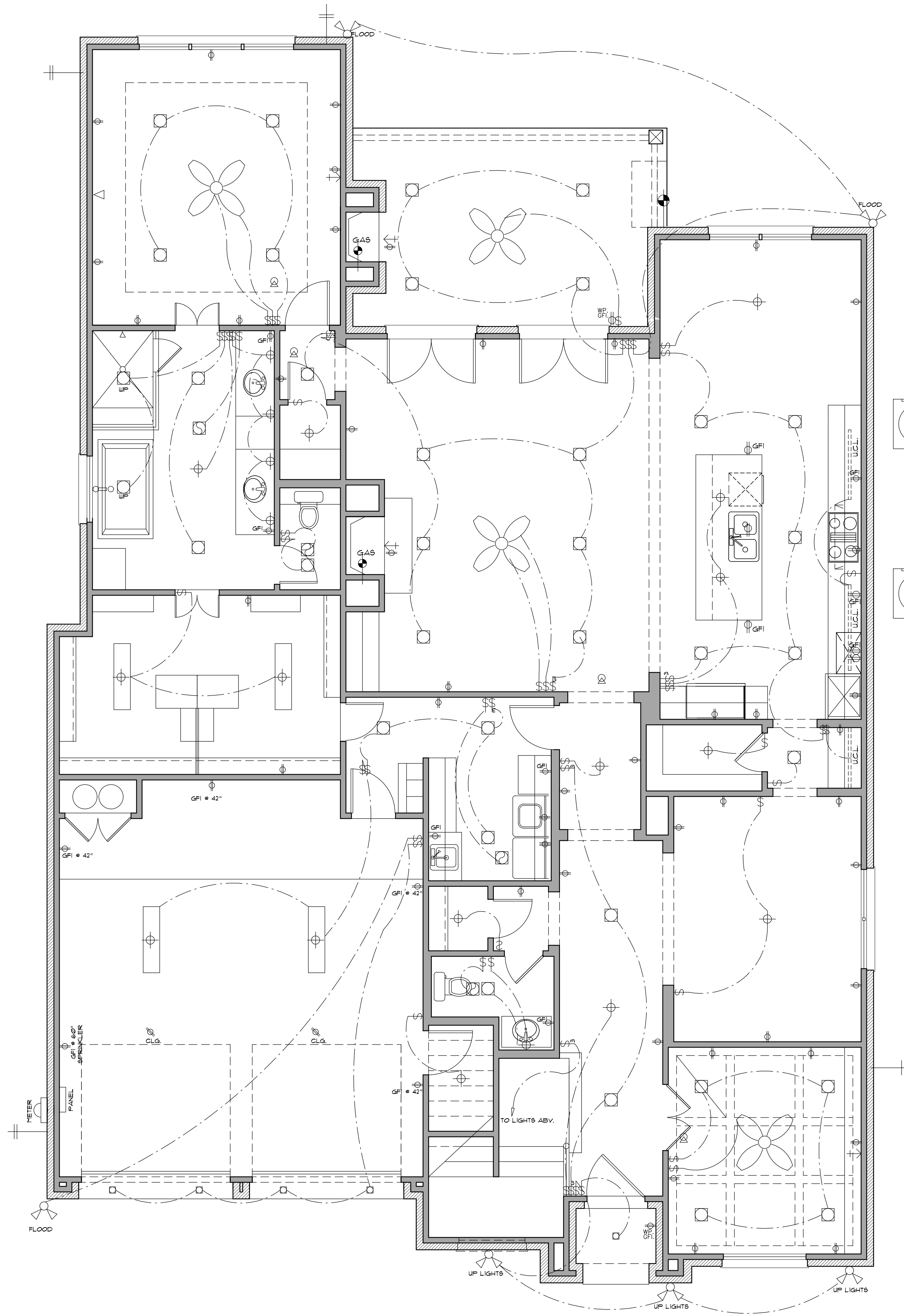
DATE
 6/20/2018

SHEET NUMBER
 A5



1 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

- ⊕ 110 V. RECEPTACLE
- ⊕ 110 V. HALF HOT RECEPT.
- ⊕ 220V. RECEPTACLE
- ⊕ GF. 110V. W/ GFI. INTERRUPTION
- ⊕ GF. 110V. WATERPROOF GFI.
- ⊕ SWITCH
- ⊕ 3 WAY SWITCH
- ⊕ LIGHT
- ⊕ CANLIGHT
- ⊕ SPOT LIGHT
- ⊕ CEILING FAN
- ⊕ FLOOR LIGHT STRIP.
- ⊕ EXHAUST FAN
- ⊕ WALL MOUNT LIGHT
- ⊕ DOUBLE EXT. FLOODLIGHT
- ⊕ SINGLE EXT. FLOODLIGHT
- ⊕ PHONE JACK
- ⊕ T.V. ANT. JACK
- ⊕ SMOKE DETECTOR
- ⊕ COX DETECTION



1 GROUND FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

Copyright, S. Watson Design, Inc. - 2018
These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked by the builder or the person in authority of this project. Any discrepancy, error, or omission in these plans shall be the responsibility of the person who prepared the design before any construction is commenced or purchase made. It is recommended that the owner or builder obtain complete Engineering services; Foundation, HVAC, and Structural before beginning construction of any kind. Note: All Federal, State, and Local codes and regulations apply to these plans, and their use are the property of the designer and shall be strictly followed before and during construction. These plans, and their use are the property of Watson Design, Inc. and shall be strictly followed by any means without the expressed written consent of Watson Design. All rights reserved.

3870 LIVELY LANE
BLOCK 24/6147 LOT 12
GLENRIDGE ESTATES
CITY OF DALLAS
DALLAS COUNTY, TEXAS

PLAN NUMBER
06404018

DATE
6/20/2018

SHEET NUMBER
A6