

LOT COVERAGE PERCENTAGE (%)

LOT AREA:	12,217 sq.ft.
SLAB AREA	3,211 sq.ft.
PERCENTAGE LOT COVERAGE	26%

CITY OF DALLAS GREEN ORDINANCE

- LAVATORY FAUCETS TO COMPLY WITH CITY OF DALLAS GREEN ORDINANCE, AVERAGE FLOW RATE 2.0 GPM OR LESS.
- SHOWERHEADS TO COMPLY WITH CITY OF DALLAS GREEN ORDINANCE, AVERAGE FLOW RATE 2.0 GPM OR LESS.
- RADIANT BARRIER HEAT ISLAND MITIGATION
- PENETRATIONS AND CRACKS MUST BE SEALED
- DISHWASHER-ENERGY STAR DISHWASHER USING 6.0 GALLONS OR LESS PER CYCLE
- DOORS - WEATHER STRIPPING TO BE INSTALLED.
- MAXIMUM LAMP WATTAGE FOR INCANDESCENT BULBS IS 100 WATTS; COMPACT FLUORESCENT IS 32 WATTS
- LANDSCAPE - DRIP IRRIGATION EMITTERS MUST BE USED FOR ALL BIDDINGS AREA OF AN APPROVED LANDSCAPE PLAN.
- ROOF - ANY ROOF WITH A PITCH GREATER THAN 2:12 MUST HAVE AN ENERGY STAR QUALIFIED ROOF; UNLESS IT IS A VEGETATIVE ROOF WHICH HAS BEEN APPROVED BY THE BUILDING OFFICIAL.
- HVAC/INDOOR AIR QUALITY - ALL AIR-HANDLING EQUIPMENT & DUCTWORK MUST BE OUTSIDE THE FIRE-RATED ENVELOPE OF THE GARAGE. SURFACES BETWEEN CONDITION SPACE & AN ATTACHED GARAGE MUST BE TIGHTLY SEALED. AIR FILTER MUST BE INSTALLED THAT HAVE A MINIMUM REPORTING VALUE (MERV) EQUAL TO OR GREATER THAN 8.
- 10% of the non-roof area must have (will have) vegetative landscape, permeable paving or sloped for water runoff to a permanent filtration feature.

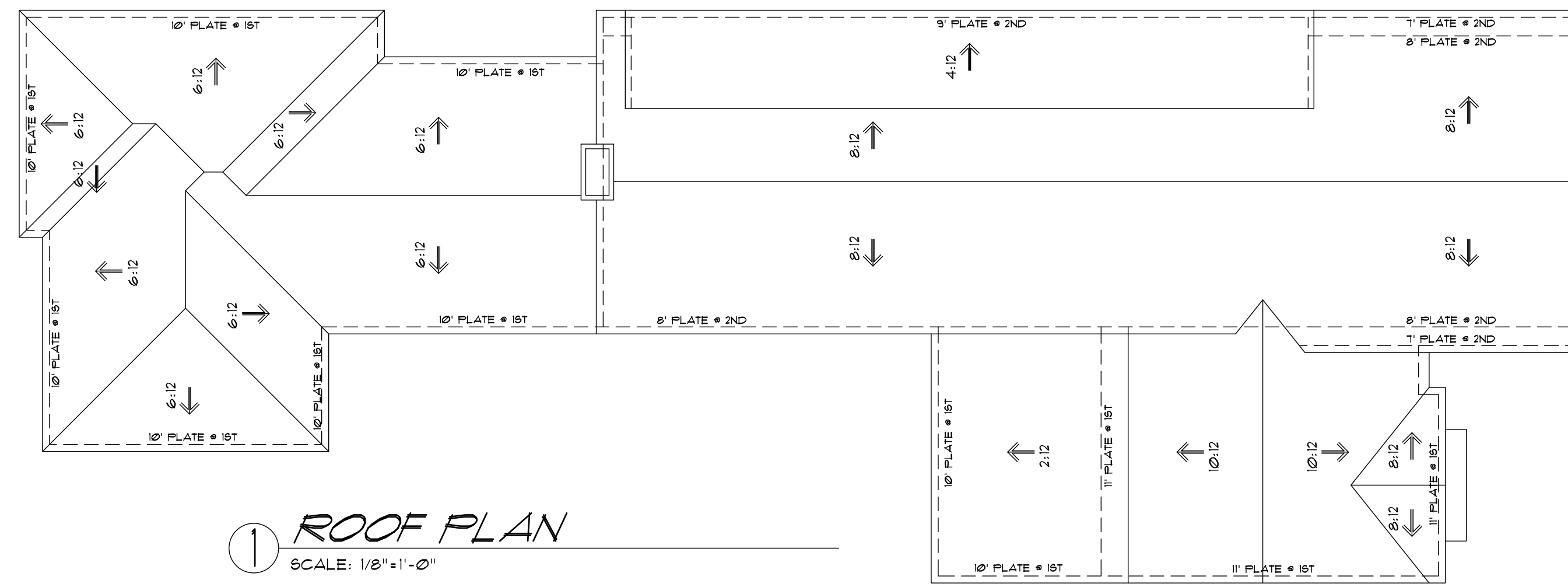
AREA TABULATION:

FIRST FLOOR A/C:	2468 sq.ft.
SECOND FLOOR A/C:	1386 sq.ft.
TOTAL A/C:	3854 sq.ft.
GARAGE:	525 sq.ft.
FRONT PORCH:	10 sq.ft.
COVERED PATIO:	208 sq.ft.
TOTAL SLAB:	3211 sq.ft.
TOTAL AREA UNDER ROOF:	4597 sq.ft.

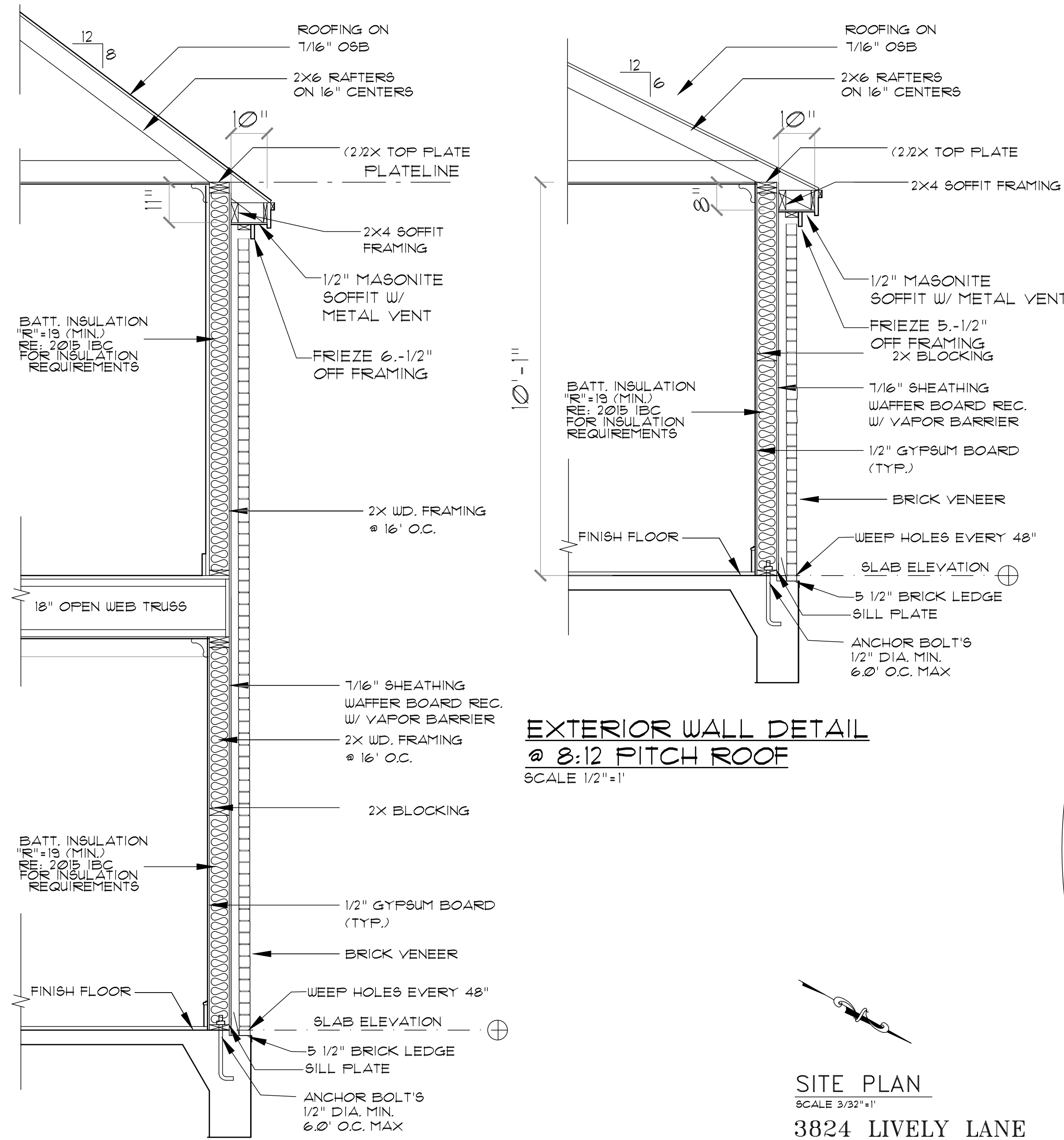
- NOTE:
1. VERIFY WITH WINDOW MANUFACTURER FOR TRUE ROUGH OPENING SIZES.
 2. DOORS AND WINDOWS BY BUILDER/OWNER
 3. TEMPERED GLASS, RE: FLOOR PLANS.

WINDOW SCHEDULE						
MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
(A)	1	3'-0"	6'-0"	FIXED	2X4	STUDY - IL
(B)	1	3'-0"	5'-0"	FIXED	2X4	UTILITY - IL
(C)	1	4'-0"	4'-0"	FIXED	2X4	MASTER BATH - IL
(D)	3	3'-0"	6'-0"	FIXED	2X4	MASTER SUITE, HALL - IL
(E)	1	(2W) 3'-0"	6'-0"	CASEMENT	2X4	MASTER SUITE - IL
(F)	2	(2W) 3'-6"	6'-0"	FIXED	2X4	FAMILY ROOM, DINING ROOM
(G)	2	(3W) 3'-0"	5'-0"	FIXED	2X4	GAME ROOM - IL
(H)	2	3'-0"	5'-0"	FIXED	2X4	UP HALL - IL
(I)	3	(2W) 3'-0"	5'-0"	CASEMENT	2X4	BDRM 1, 2, 3, 4 - IL

DOOR SCHEDULE - EXTERIOR						
MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
(1)	1	3'-6"	8'-0"	EXTERIOR	2X4	FRONT DOOR - PER SELECTION
(2)	1	(2W) 2'-8"	8'-0"	EXTERIOR	2X4	FRENCH - IL
(3)	1	2'-8"	8'-0"	EXTERIOR	2X4	TO GARAGE - SC

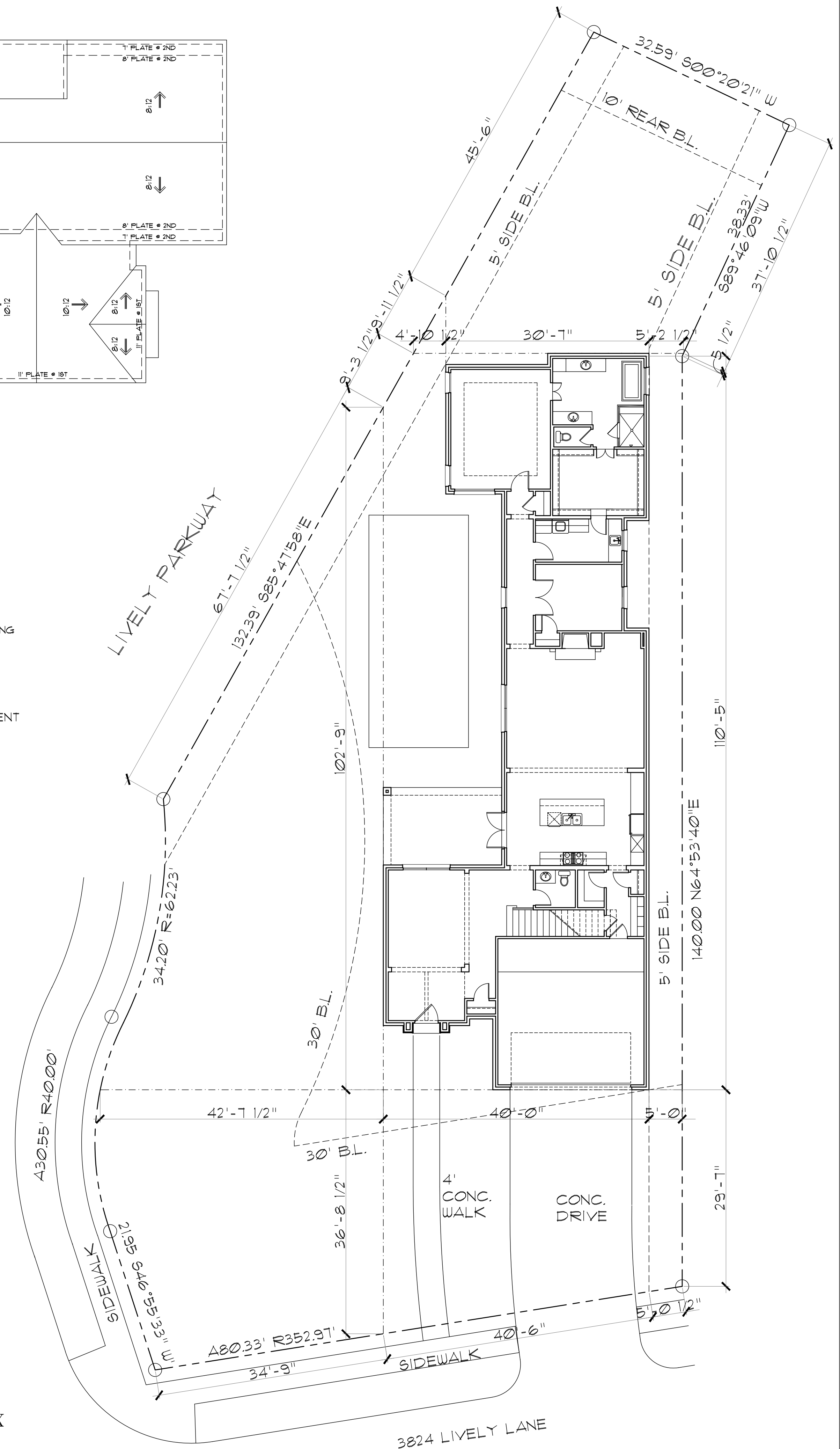


1 ROOF PLAN
SCALE: 1/8"=1'-0"



EXTERIOR WALL DETAIL @ 8:12 PITCH ROOF
SCALE 1/2"=1'

EXTERIOR WALL DETAIL @ 9:12 PITCH ROOF
SCALE 1/2"=1'



2 SITE PLAN
SCALE: 1/8"=1'-0"



WATSON DESIGN GROUP
3537 W. 7TH SUITE 5
FORT WORTH, TEXAS
0.817.882.8882
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OLERIO HOMES
3824 LIVELY LANE
LOT 5 BLOCK 24/1
CITY OF DALLAS
DALLAS COUNTY, TX

PLAN NUMBER
02385418

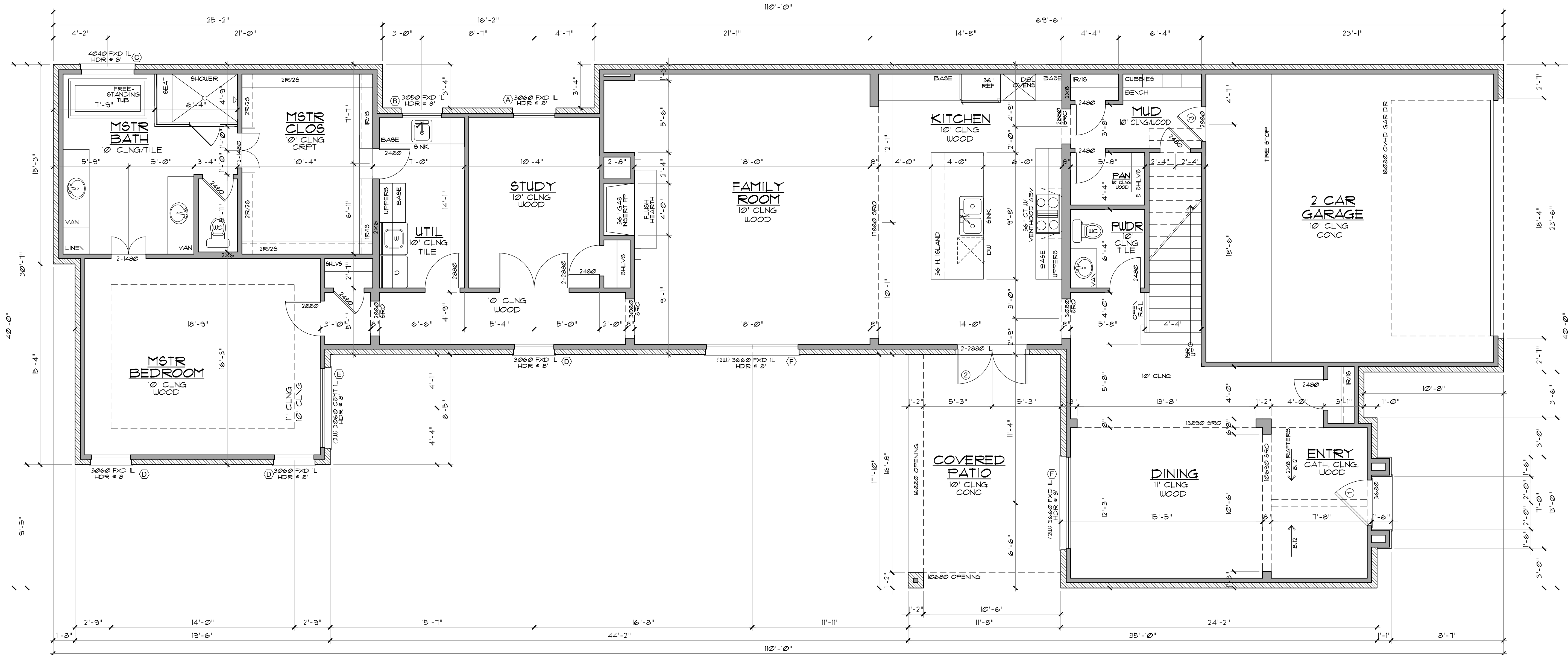
DATE
05/01/2018

SHEET NUMBER
A1

SCALE 24X36 1/4"=1'

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① **FIRST FLOOR PLAN**
SCALE: 1/4"=1'-0"

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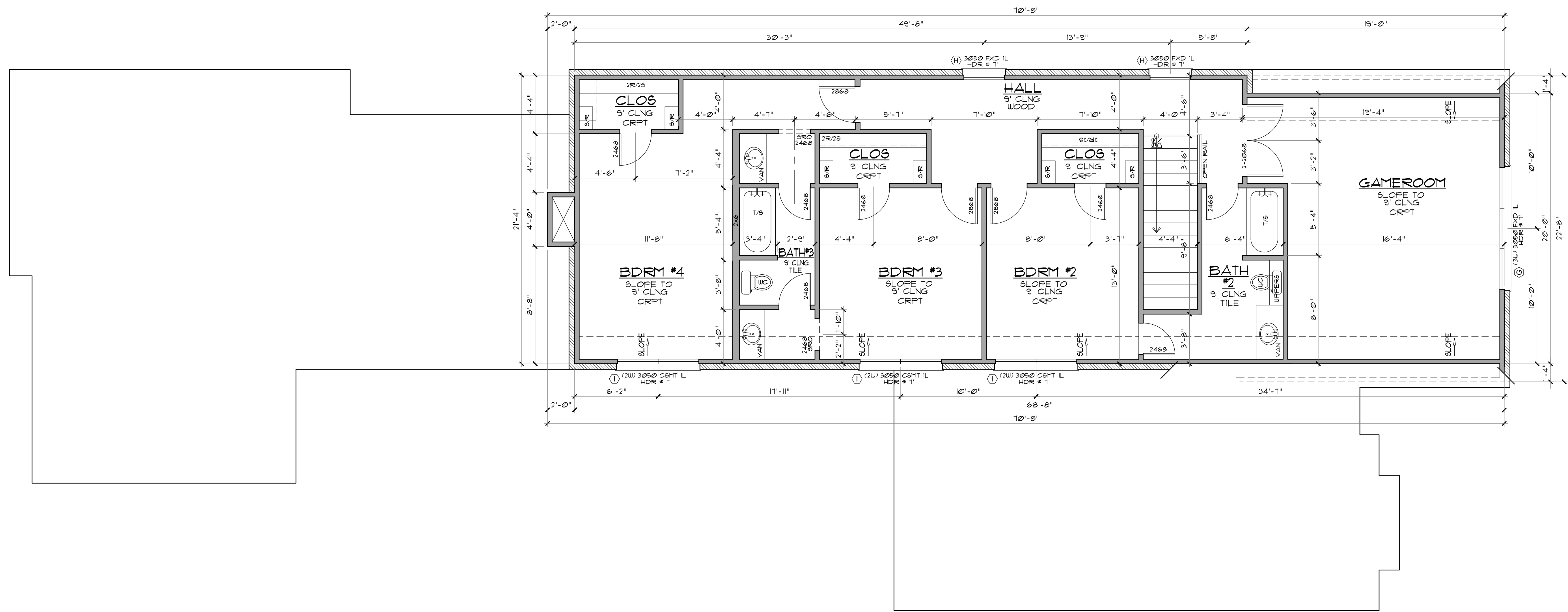
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 A2

SCALE 24X36 1/4"=1'



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1 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



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A3

SCALE 24X36 1/4"=1'

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OLERIO HOMES

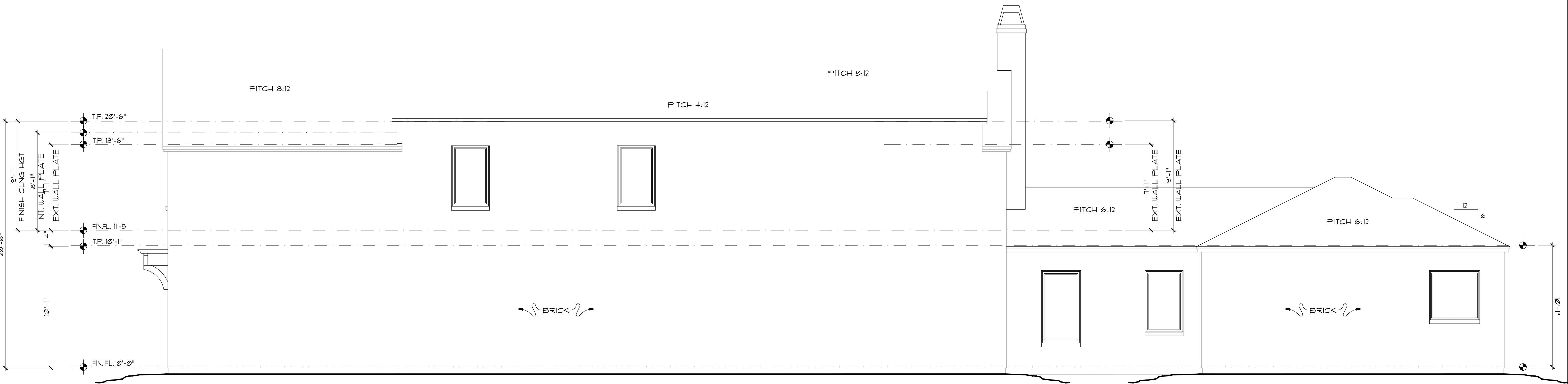
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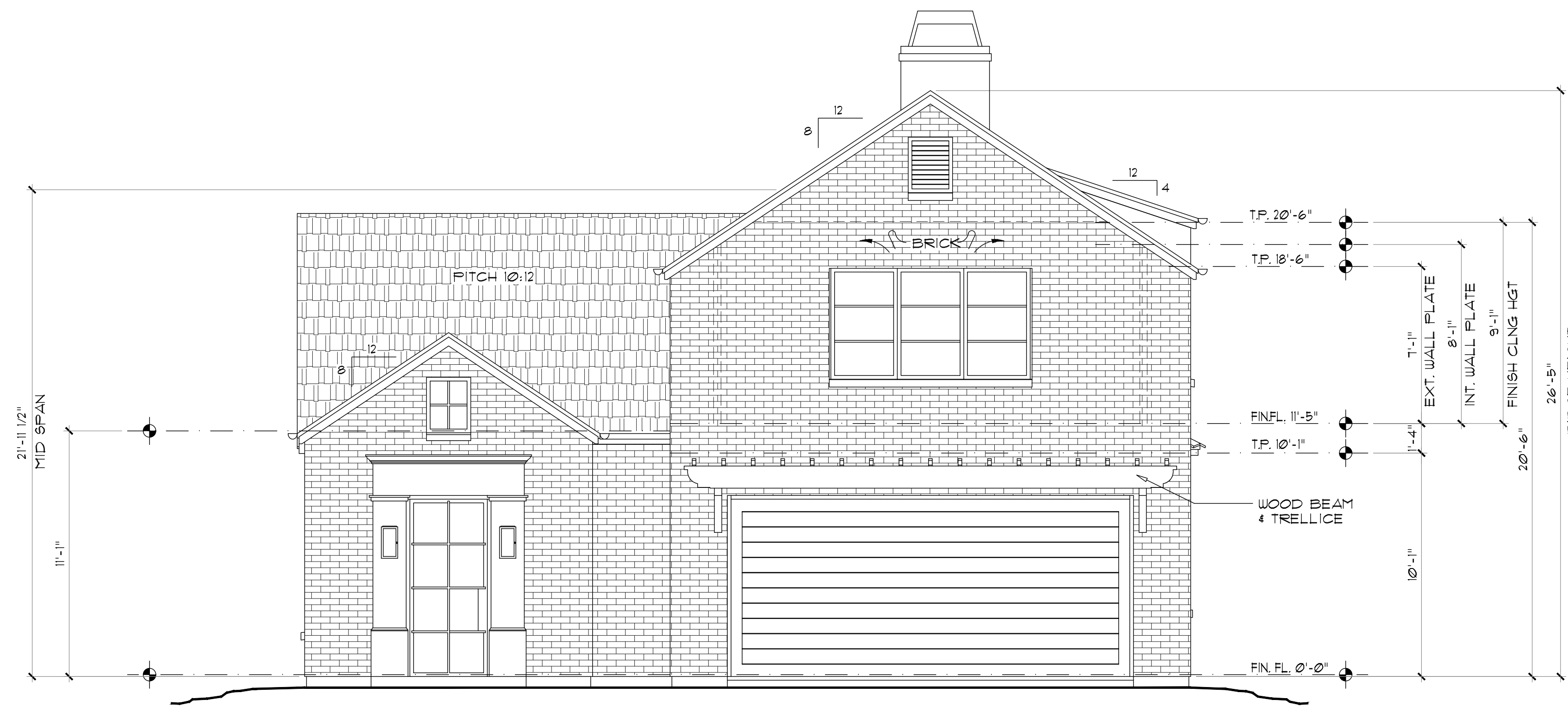
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 A4

SCALE 24X36 1/4"=1'



2 RIGHT ELEVATION
 SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
 SCALE: 1/4"=1'-0"



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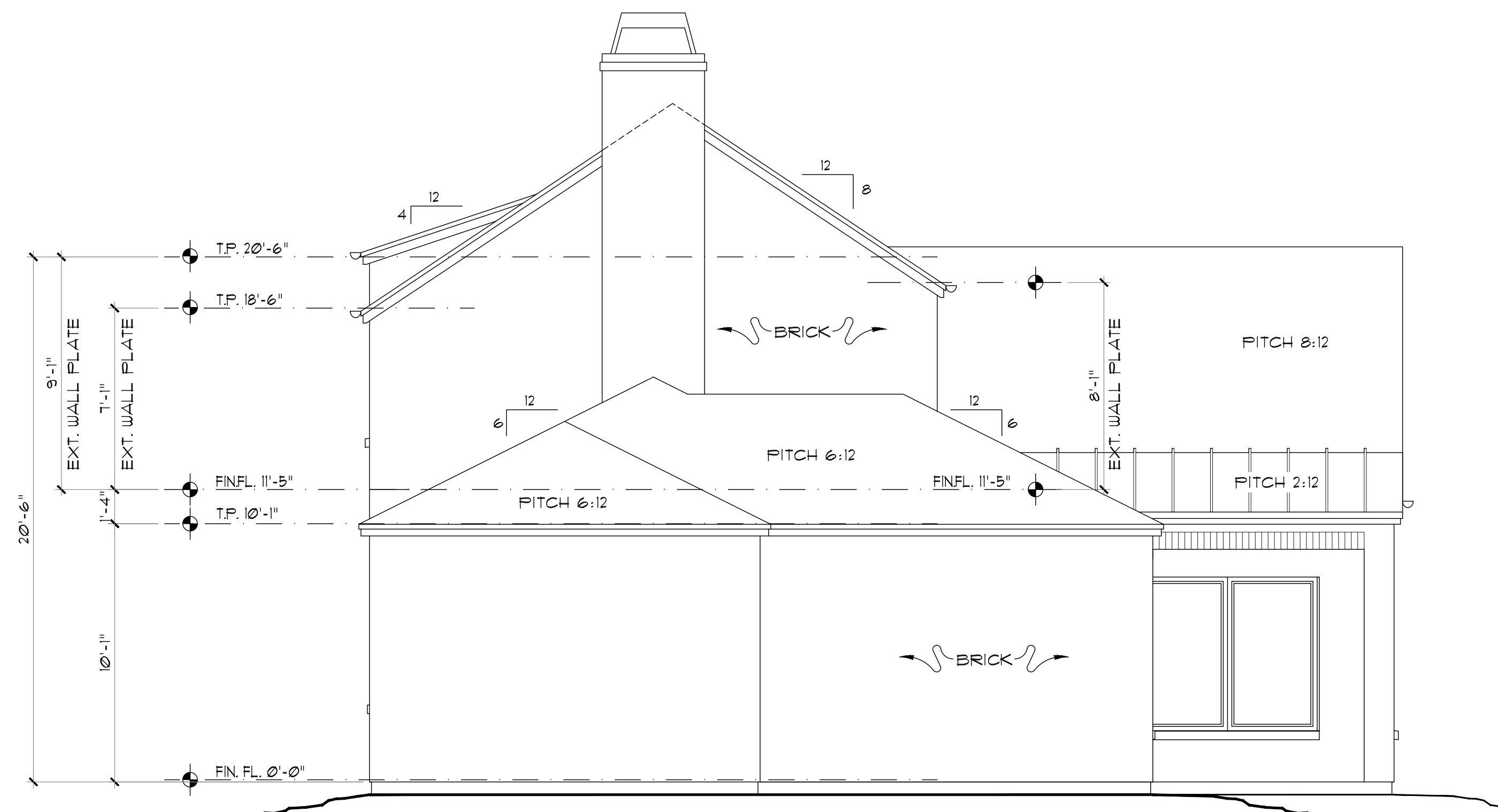
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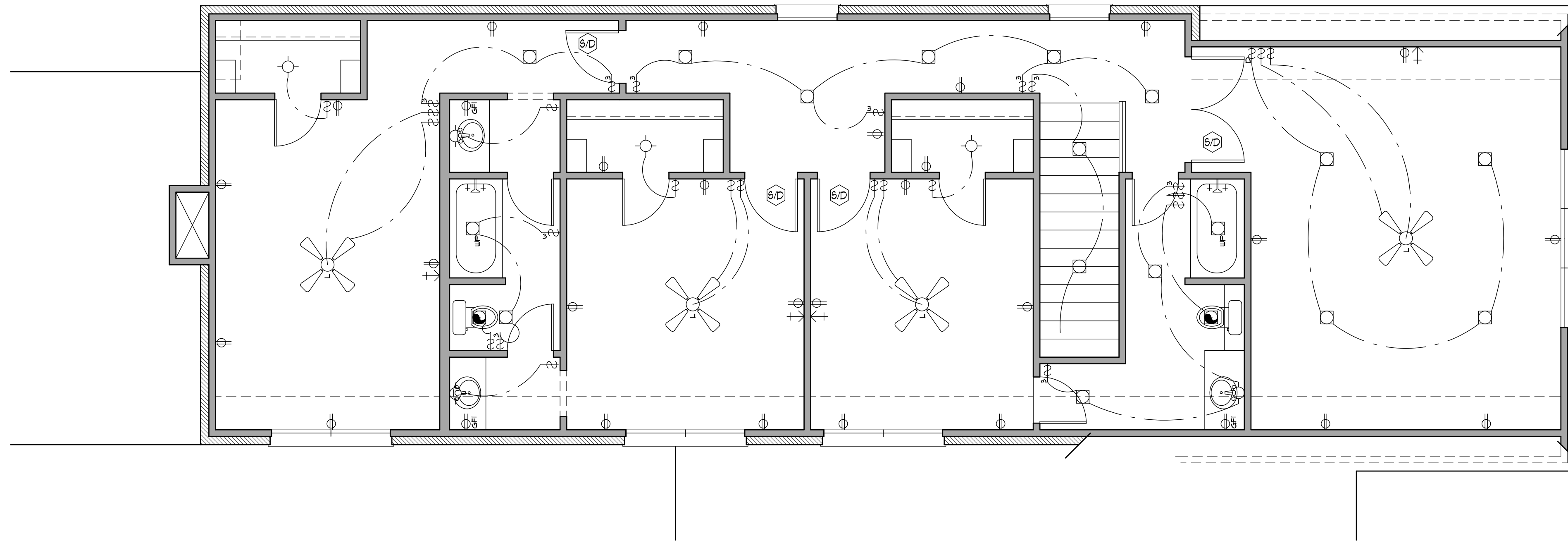
SCALE 24X36 1/4"=1'



② LEFT ELEVATION
 SCALE: 1/4"=1'-0"

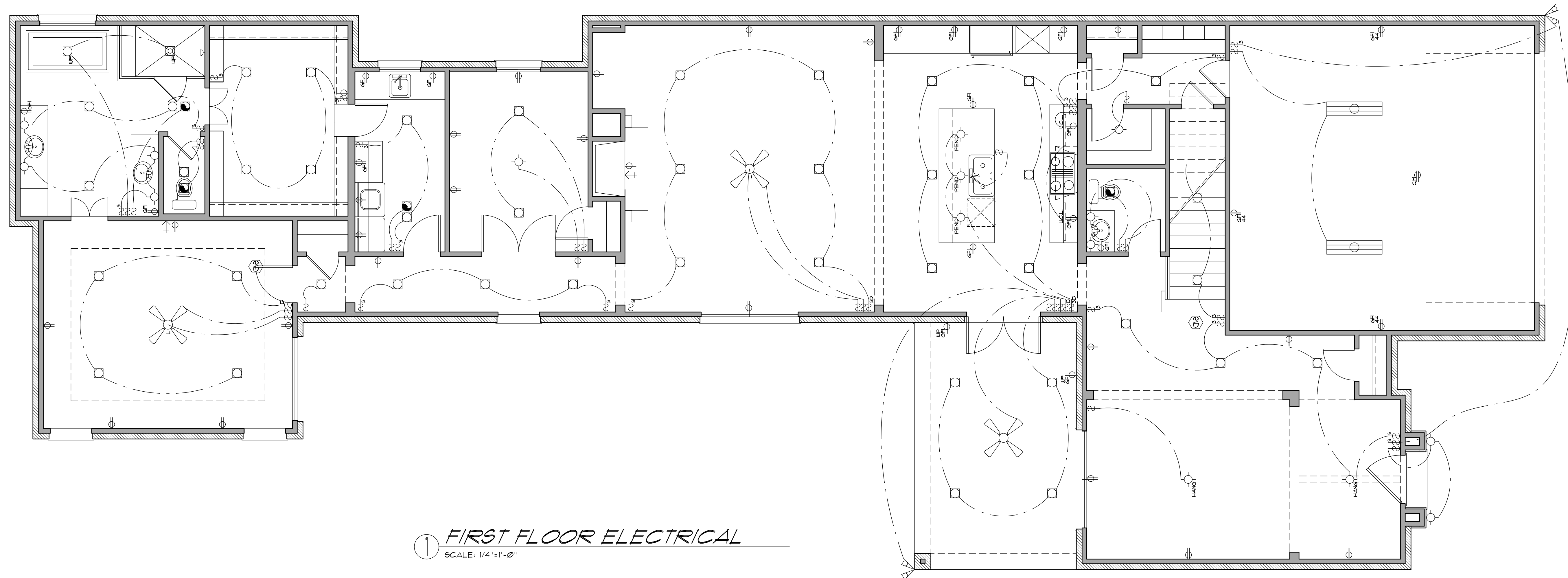


① REAR ELEVATION
 SCALE: 1/4"=1'-0"



① **SECOND FLOOR ELECTRICAL**
SCALE: 1/4"=1'-0"

ELECTRIC SYMBOL LEGEND	
⊕	110V DUPLEX OUTLET @ 12" AFF.
⊕	110V DUPLEX OUTLET @ 44" AFF.
⊕	110V DUPLEX OUTLET @ WATERPROOF
⊕	110V DUPLEX OUTLET @ GROUND FAULT INTERRUPT
⊕	110V DUPLEX OUTLET @ FLOOR PLUG
⊕	110V DUPLEX OUTLET @ CEILING MOUNT
⊕	220V THREE PRONG OUTLET
⊕	SINGLE POLE SWITCH
⊕	THREE POLE SWITCH
⊕	SINGLE POLE SWITCH W/ DIMMER FEATURE
⊕	RECESSED INCANDESCENT
⊕	RECESSED INCANDESCENT - EYEBALL SPOT
⊕	RECESSED INCANDESCENT - LOW VOLTAGE
⊕	RECESSED INCANDESCENT - WATERPROOF
⊕	RECESSED INCANDESCENT - HEAT LAMP
⊕	EXHAUST FAN THRU ROOF
⊕	WALL MOUNT INCANDESCENT
⊕	SURFACE MOUNT INCANDESCENT
⊕	PENDANT FIXTURE
⊕	SURFACE MOUNT 2 TUBE (4'-0") FLUORESCENT
⊕	SURFACE MOUNT CEILING FAN (L=LIGHT KIT)
⊕	SMOKE DETECTOR - HARDWARE (LOCATE PER CODES)
⊕	SURFACE MOUNT TRACK LIGHT
⊕	UNDER CABINET SURFACE MOUNT FLUORESCENT
⊕	WALL MOUNT FLOOD (WATERPROOF, SHIELDED)
⊕	TELEVISION (CABLE) CONNECTION
⊕	TELEPHONE OUTLET



① **FIRST FLOOR ELECTRICAL**
SCALE: 1/4"=1'-0"



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A6

SCALE 24X36 1/4"=1'