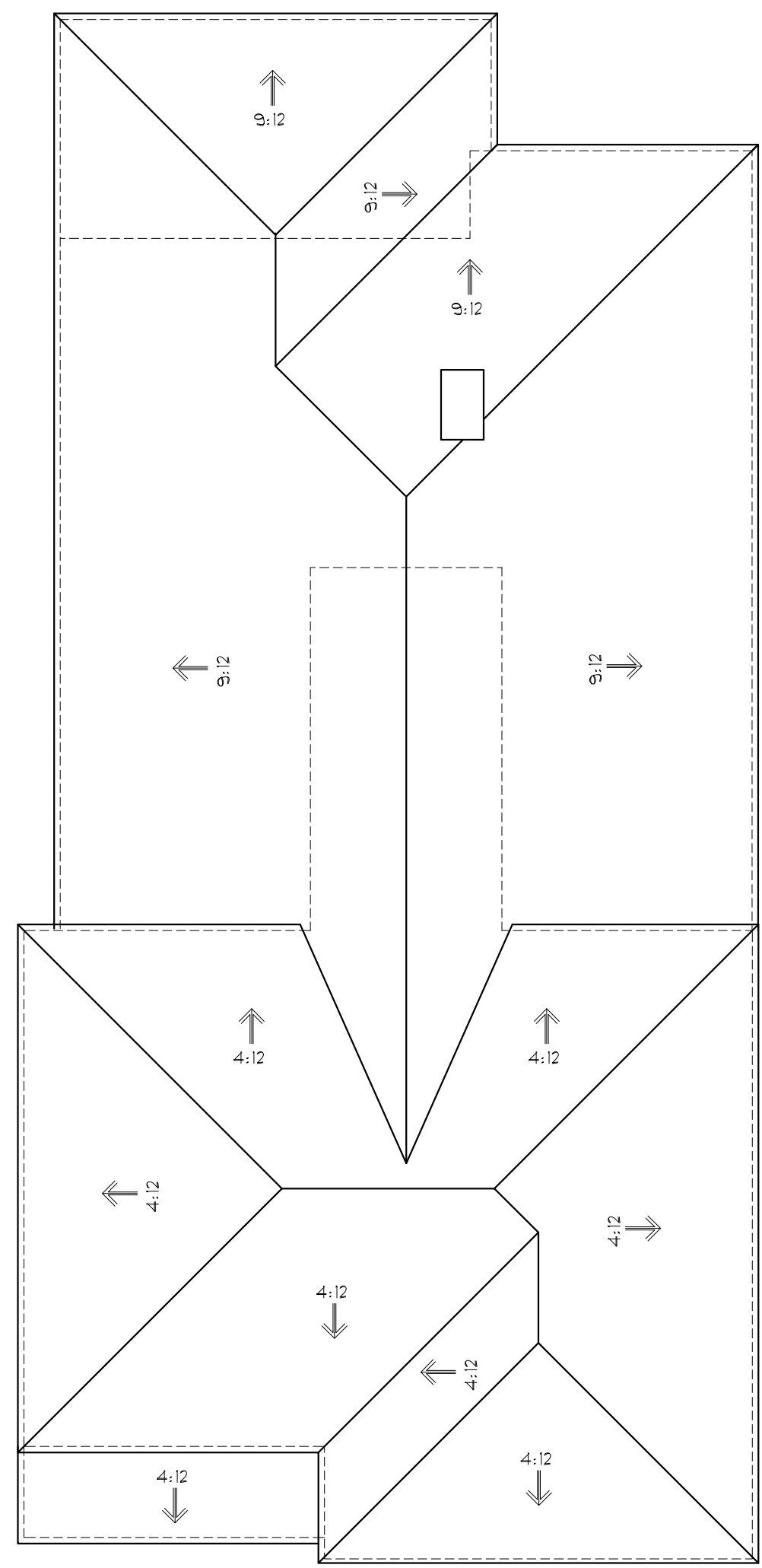


CITY OF DALLAS GREEN ORDINANCE

- *LAVATORY FAUCETS TO COMPLY WITH CITY OF DALLAS GREEN ORDINANCE, AVERAGE FLOW RATE 2.0 GPM OR LESS.
- *SHOWERHEADS TO COMPLY WITH CITY OF DALLAS GREEN ORDINANCE, AVERAGE FLOW RATE 2.0 GPM OR LESS.
- *RADIANT BARRIER HEAT ISLAND MITIGATION
- *PENETRATIONS AND CRACKS MUST BE SEALED
- *DISHWASHER-ENERGY STAR DISHWASHER USING 6.0 GALLONS OR LESS PER CYCLE.
- *DOORS - WEATHER STRIPPING TO BE INSTALLED.
- *MAXIMUM LAMP WATTAGE FOR INCANDESCENT BULBS IS 100 WATTS; COMPACT FLUORESCENT IS 32 WATTS
- *LANDSCAPE - DRIP IRRIGATION EMITTERS MUST BE USED FOR ALL BIDDINGS AREA OF AN APPROVED LANDSCAPE PLAN.
- *ROOF - ANY ROOF WITH A PITCH GREATER THAN 2:12 MUST HAVE AN ENERGY STAR QUALIFIED ROOF; UNLESS IT IS A VEGETATIVE ROOF WHICH HAS BEEN APPROVED BY THE BUILDING OFFICIAL.
- *HVAC/INDOOR AIR QUALITY - ALL AIR-HANDLING EQUIPMENT & DUCTWORK MUST BE OUTSIDE THE FIRE-RATED ENVELOPE OF THE GARAGE. SURFACES BETWEEN CONDITION SPACE & AN ATTACHED GARAGE MUST BE TIGHTLY SEALED. AIR FILTER MUST BE INSTALLED THAT HAVE A MINIMUM REPORTING VALUE (MERV) EQUAL TO OR GREATER THAN 8.
- *70% of the non-roof area must have (will have) vegetative landscape, permeable paving or sloped for water runoff to a permanent filtration feature.



ROOF PLAN

SCALE: 1/8"=1'-0"

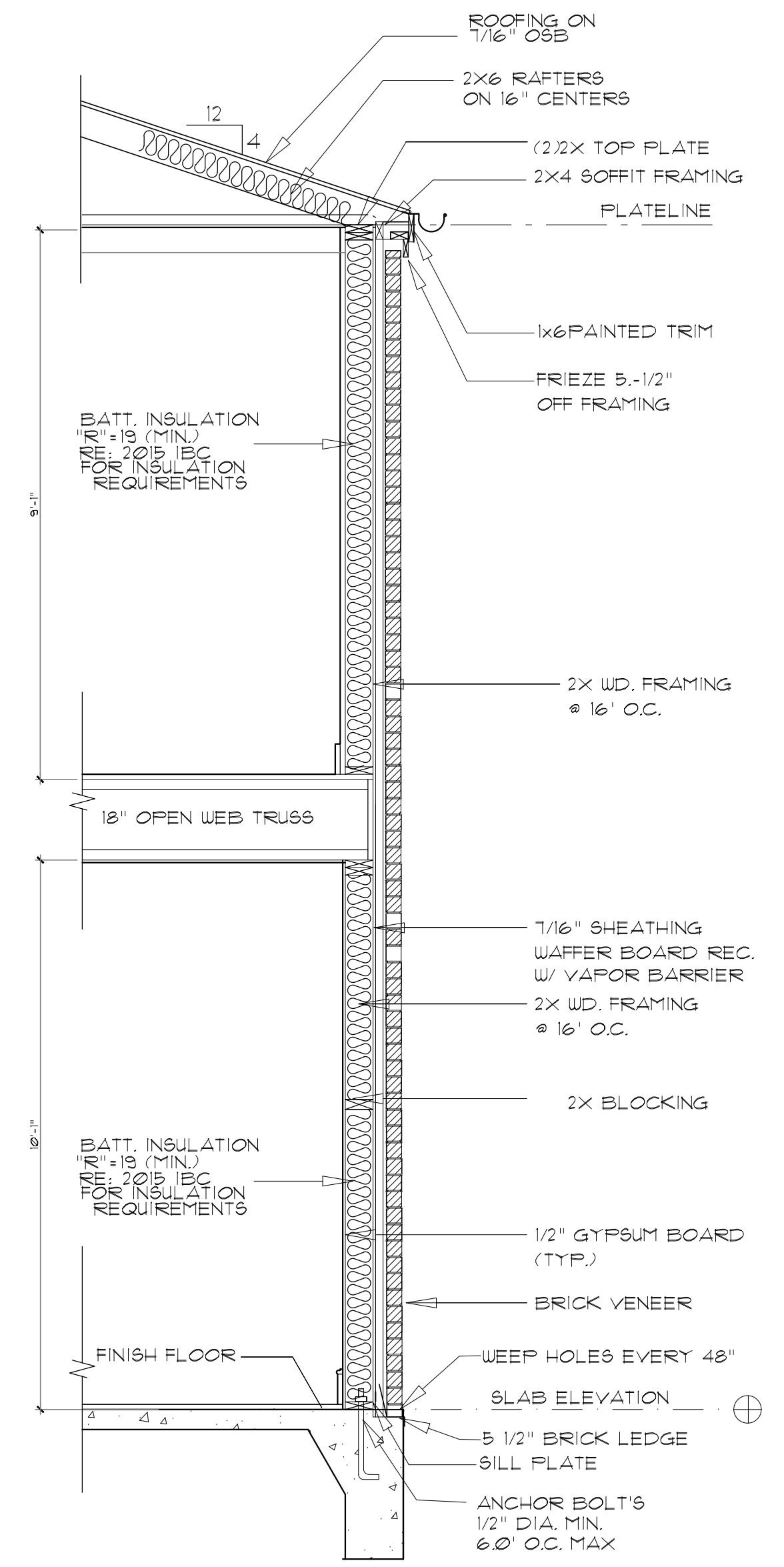
- NOTE:
1. VERIFY WITH WINDOW MANUFACTURER FOR TRUE ROUGH OPENING SIZES.
 2. DOORS AND WINDOWS BY BUILDER/OWNER.
 3. TEMPERED GLASS. RE: FLOOR PLANS.

MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
(A)	2	2W-3'-6"	6'-0"	FIXED	2X4	STUDY - DL DINING - IL
(B)	1	3'-0"	4'-0"	CASEMENT	2X4	UTILITY - IL
(C)	1	2W-2'-0"	5'-0"	FIXED	2X4	MASTER BATH - IL
(D)	1	2W-3'-0"	6'-0"	CASEMENT	2X4	MASTER SUITE - IL
(E)	1	3'-0"	2'-0"	FIXED	2X4	FAMILY ROOM - IL
(F)	3	2W-3'-0"	5'-0"	CASEMENT	2X4	BDRM #4 AND #2 DL, GAMEROOM IL
(G)	1	2'-0"	4'-0"	FIXED	2X4	BDRM #4 CLOSET - DL
(H)	2	3'-0"	5'-0"	CASEMENT	2X4	BDRM #3 - IL

MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
(1)	1	3'-6"	8'-0"	EXTERIOR	2X4	FRONT DOOR - PER SELECTION
(2)	2	16'-0"	8'-0"	EXTERIOR	2X4	SLIDING DOOR UNIT - 4 PANEL
(3)	1	3'-0"	8'-0"	EXTERIOR	2X4	TO GARAGE - SC

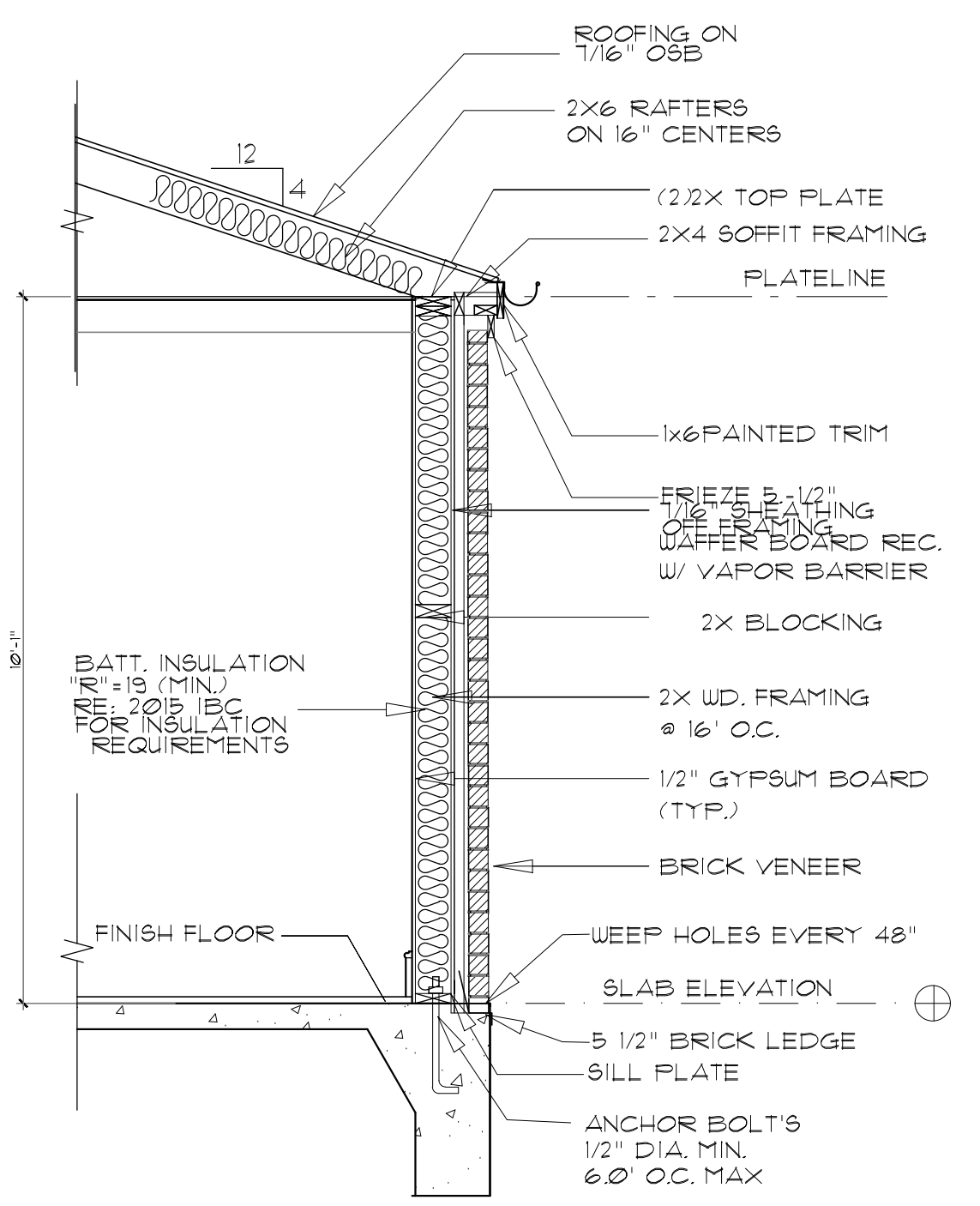
AREA TABULATION:

FIRST FLOOR A/C:	2230 sq.ft.
SECOND FLOOR A/C:	1217 sq.ft.
TOTAL A/C:	3447 sq.ft.
GARAGE:	548 sq.ft.
FRONT PORCH:	99 sq.ft.
REAR PORCH:	279 sq.ft.
2nd FLR MECH	105 sq.ft.
TOTAL AREA UNDER ROOF:	4478 sq.ft.



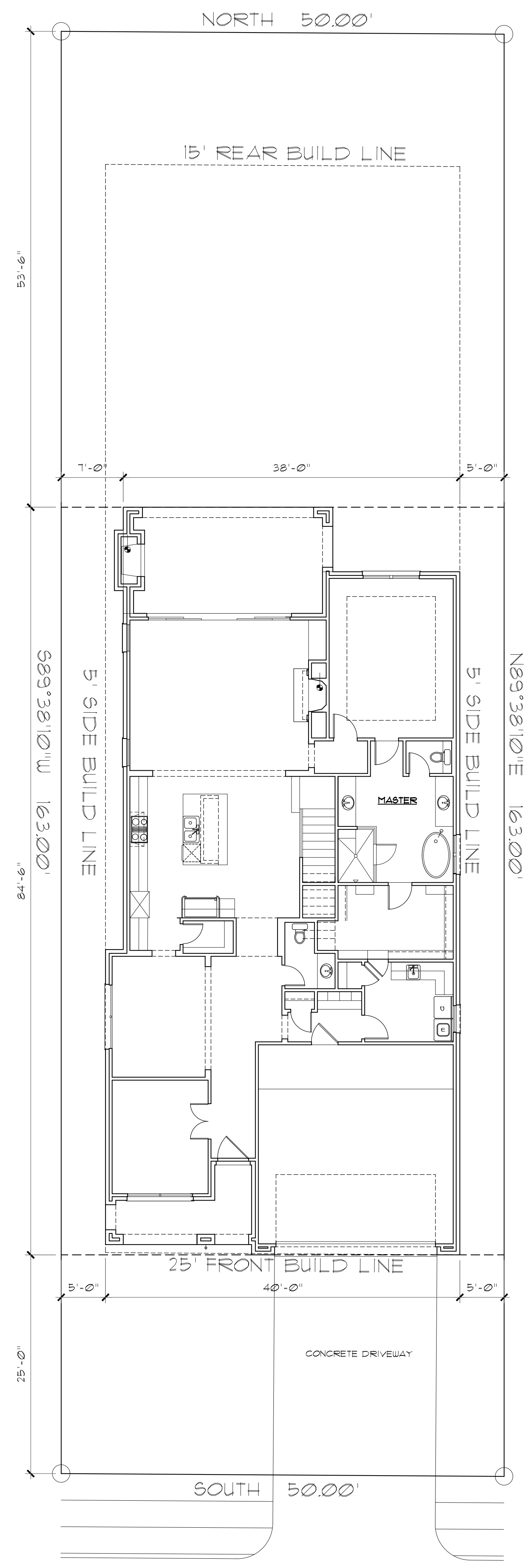
EXTERIOR WALL DETAIL @ 4:12 PITCH ROOF

SCALE 3/8"=1'



EXTERIOR WALL DETAIL @ 4:12 PITCH ROOF

SCALE 3/8"=1'



2 SITE PLAN

SCALE: 1/4"=1'-0"



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7515 KAYWOOD DRIVE
LOT 19, BLOCK 1/4828
UNIVERSITY BOULEVARD TERRACE
CITY OF DALLAS
DALLAS COUNTY, TEXAS

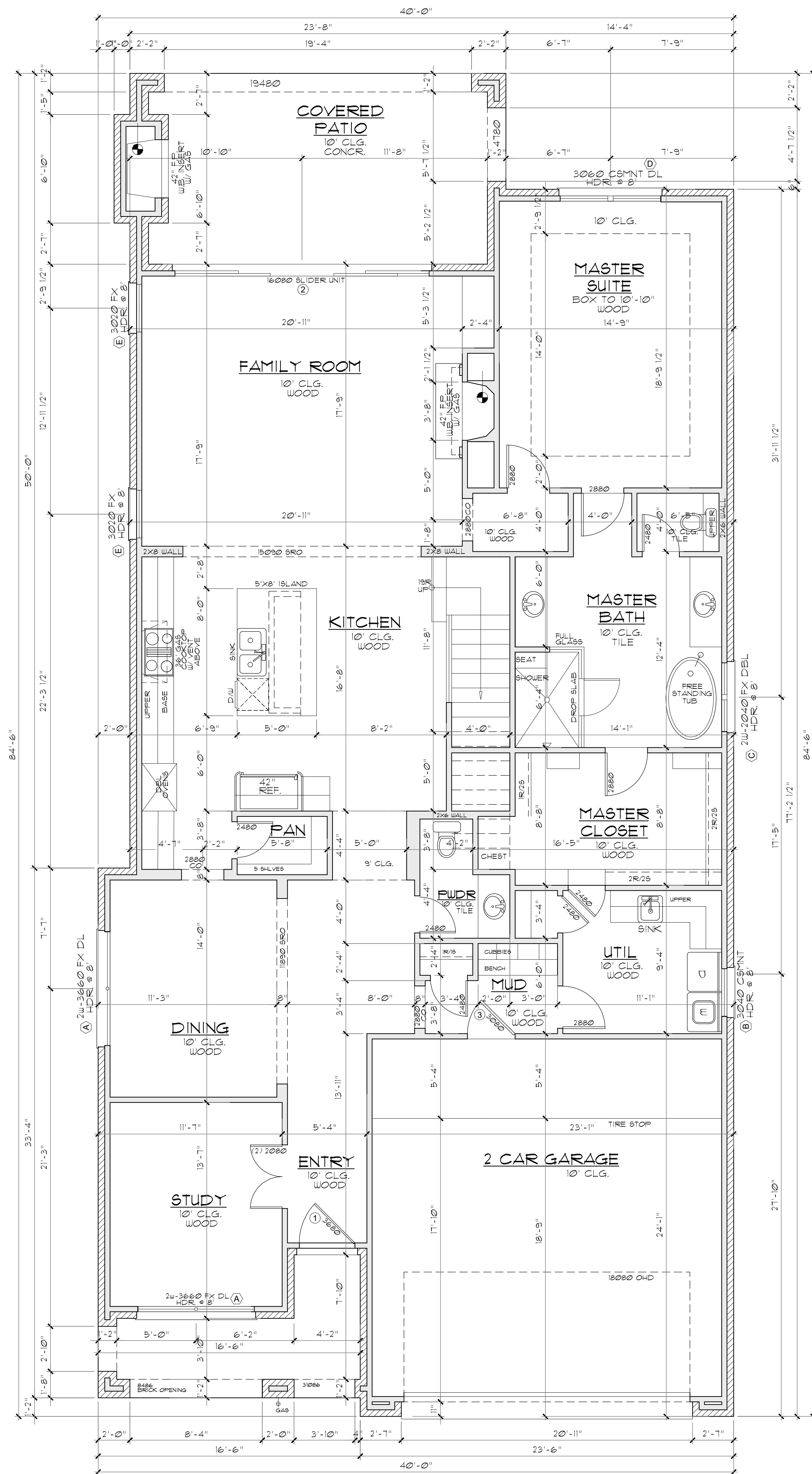
PLAN NUMBER

DATE
02/20/18

SHEET NUMBER

A-1

1/4" = 1'-0"



AREA TABULATION:

FIRST FLOOR A/C:	2230 sq.ft.
SECOND FLOOR A/C:	1217 sq.ft.
TOTAL A/C:	3447 sq.ft.
GARAGE:	548 sq.ft.
FRONT PORCH:	99 sq.ft.
REAR PORCH:	279 sq.ft.
2nd FLR MECH	105 sq.ft.
TOTAL AREA UNDER ROOF:	4478 sq.ft.

① FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



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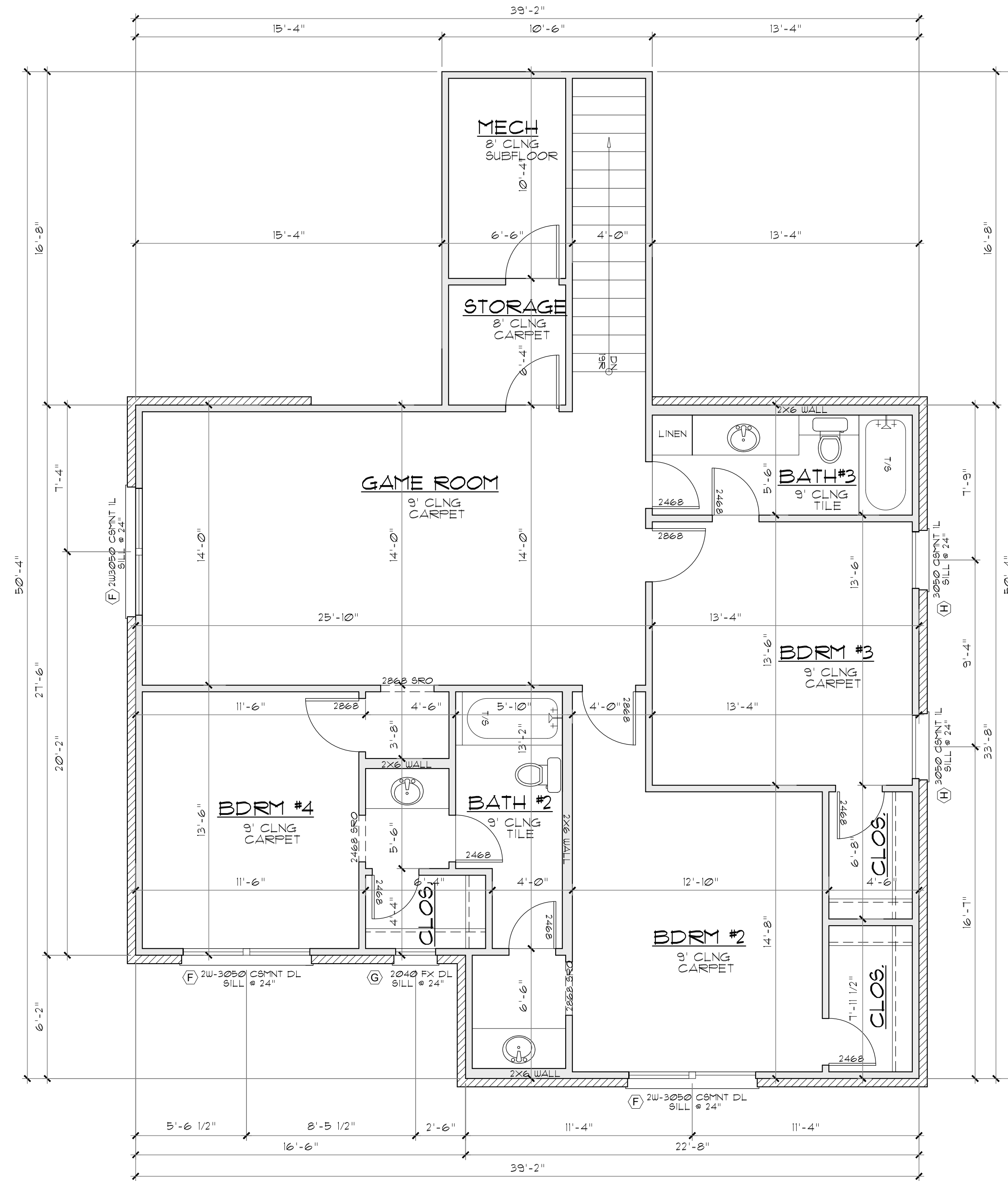
A-2

1/4" = 1'-0"



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① SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"

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 DALLAS COUNTY, TEXAS

PLAN NUMBER

DATE
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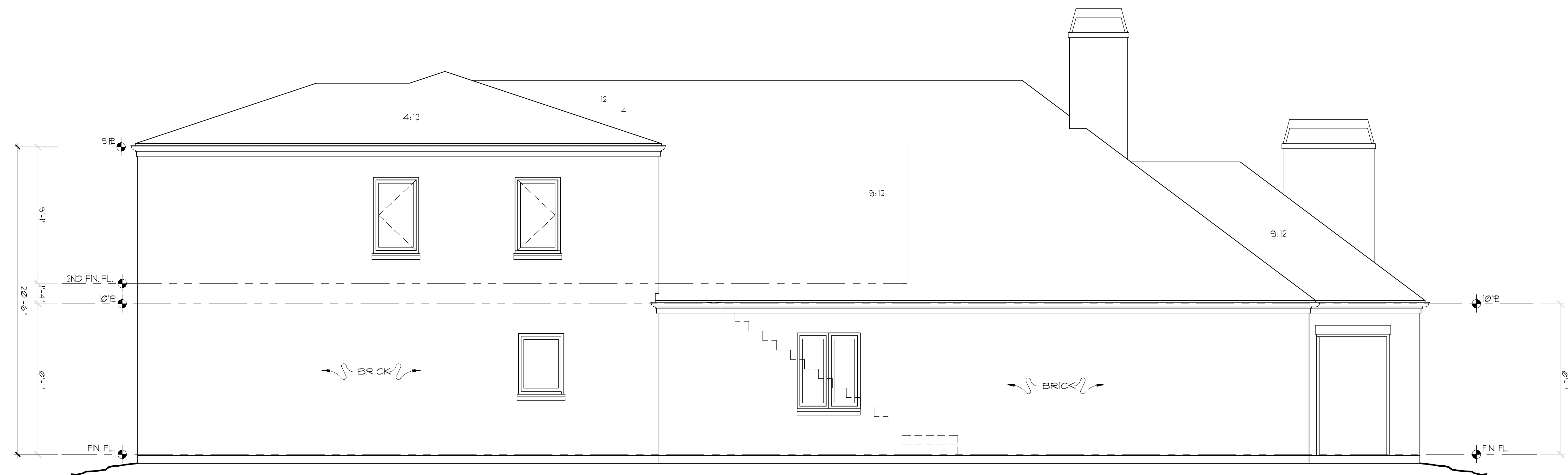
SHEET NUMBER

A-3

1/4" = 1'-0"



① FRONT ELEVATION
SCALE: 1/4"=1'-0"



② RIGHT ELEVATION
SCALE: 1/4"=1'-0"



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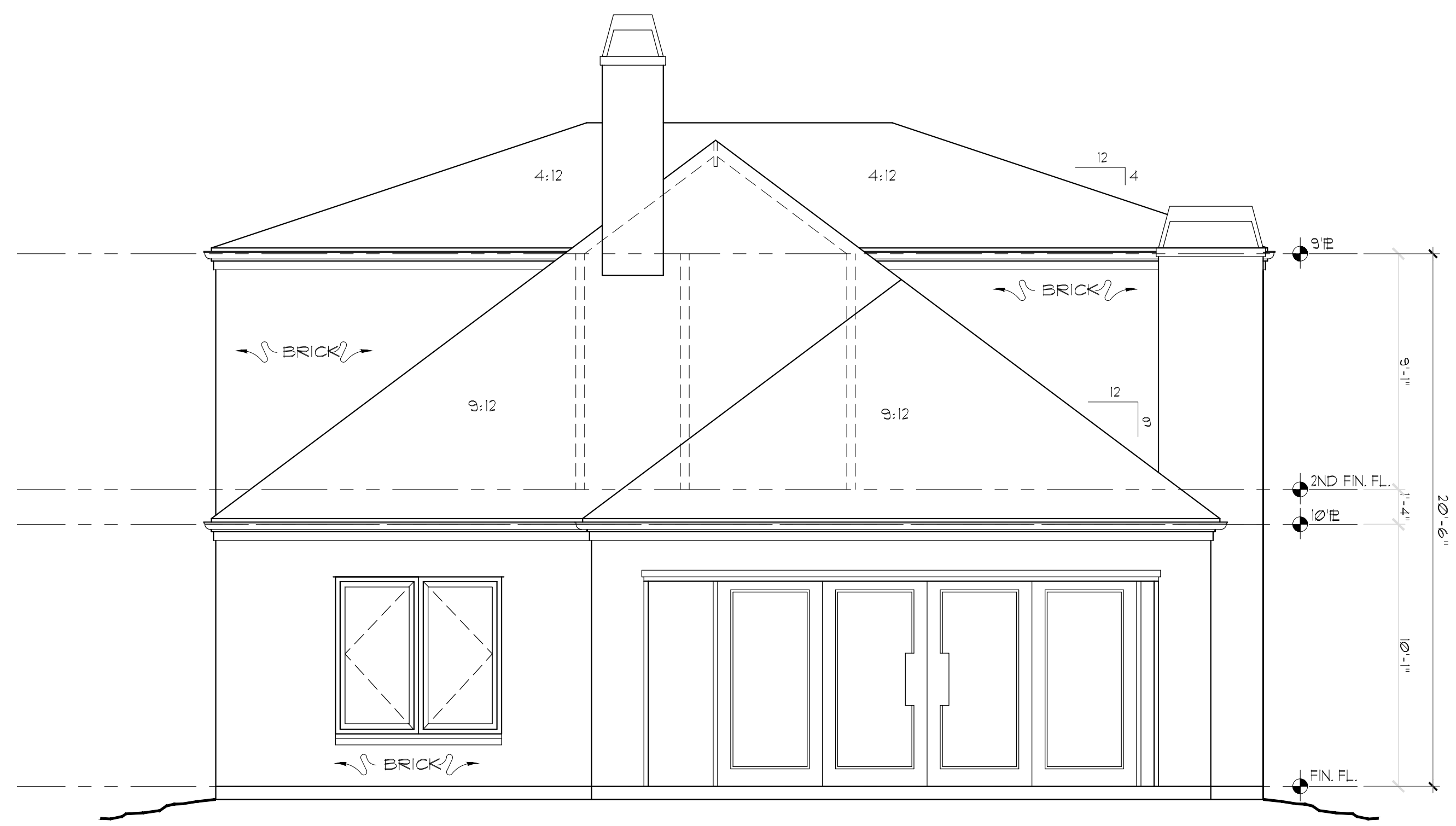
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DATE
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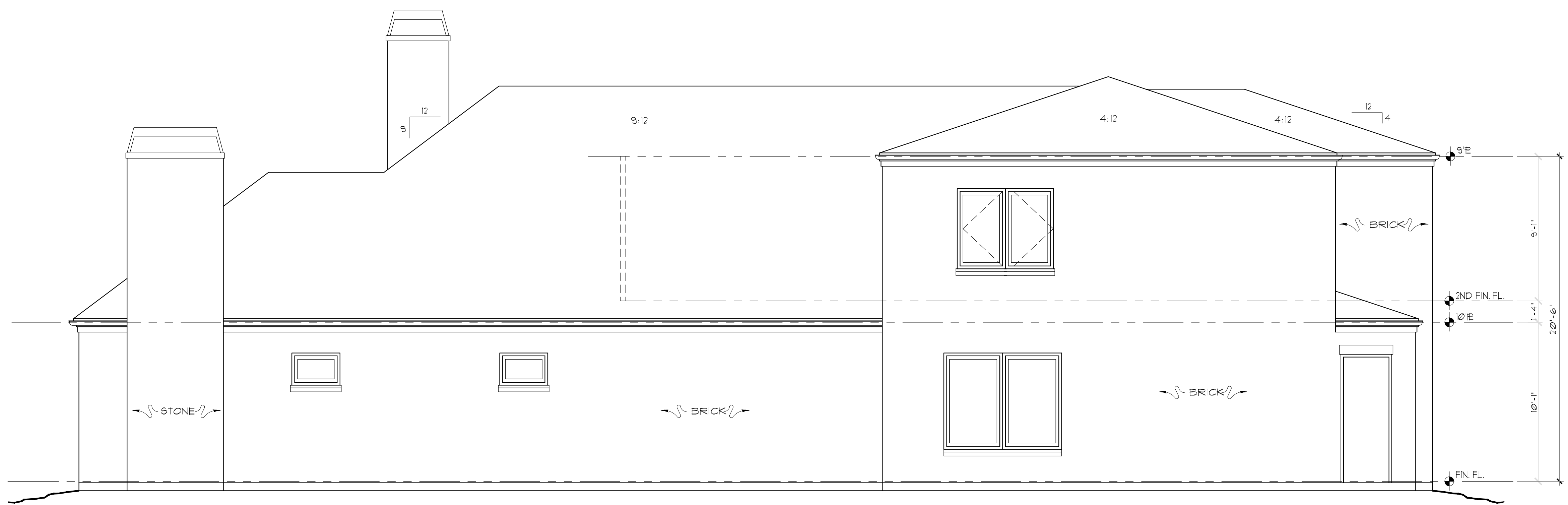
SHEET NUMBER

A-4

1/4" = 1'-0"



① REAR ELEVATION
SCALE: 1/4"=1'-0"



② LEFT ELEVATION
SCALE: 1/4"=1'-0"



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PLAN NUMBER

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SHEET NUMBER

A-5

1/4" = 1'-0"



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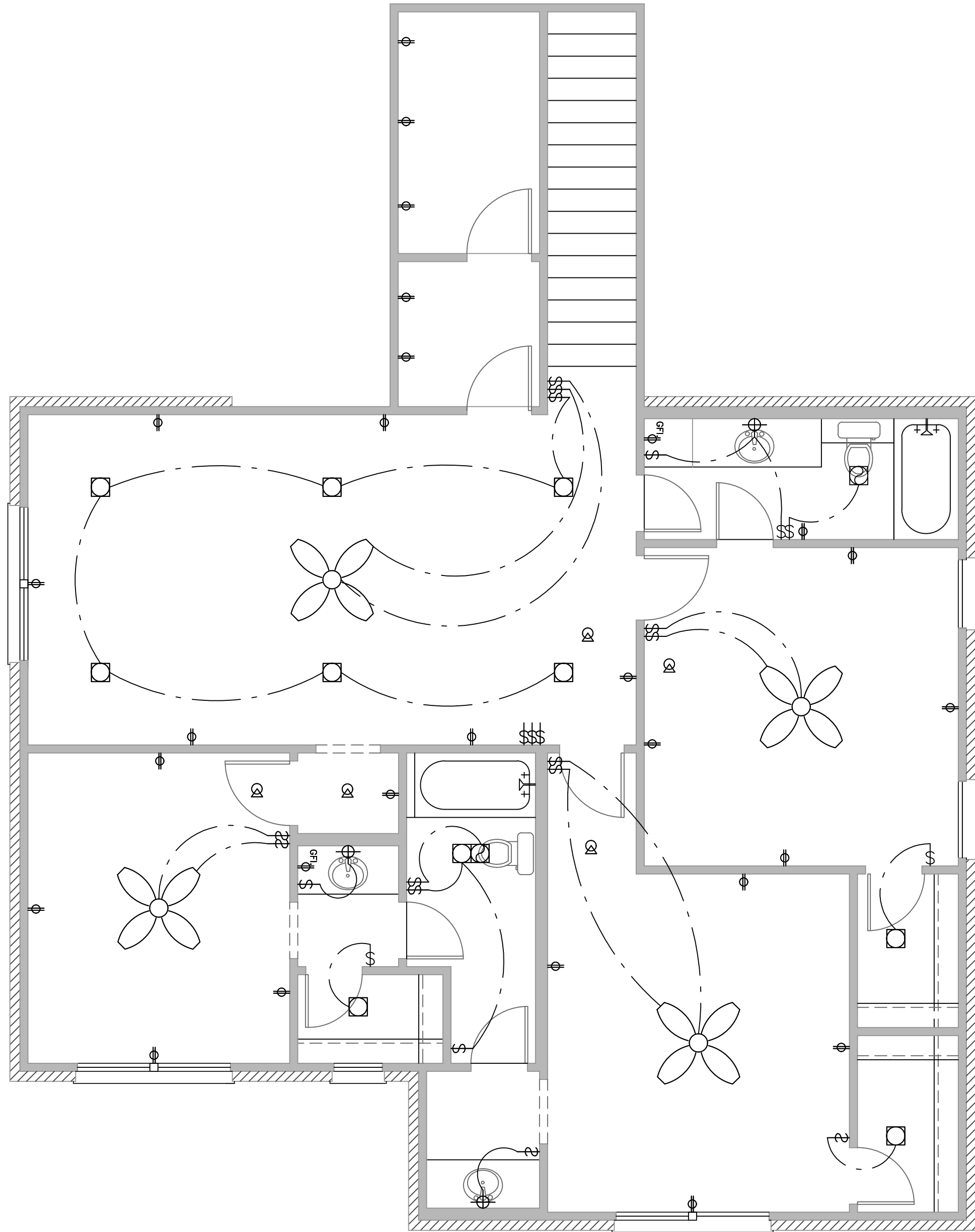
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DATE
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SHEET NUMBER

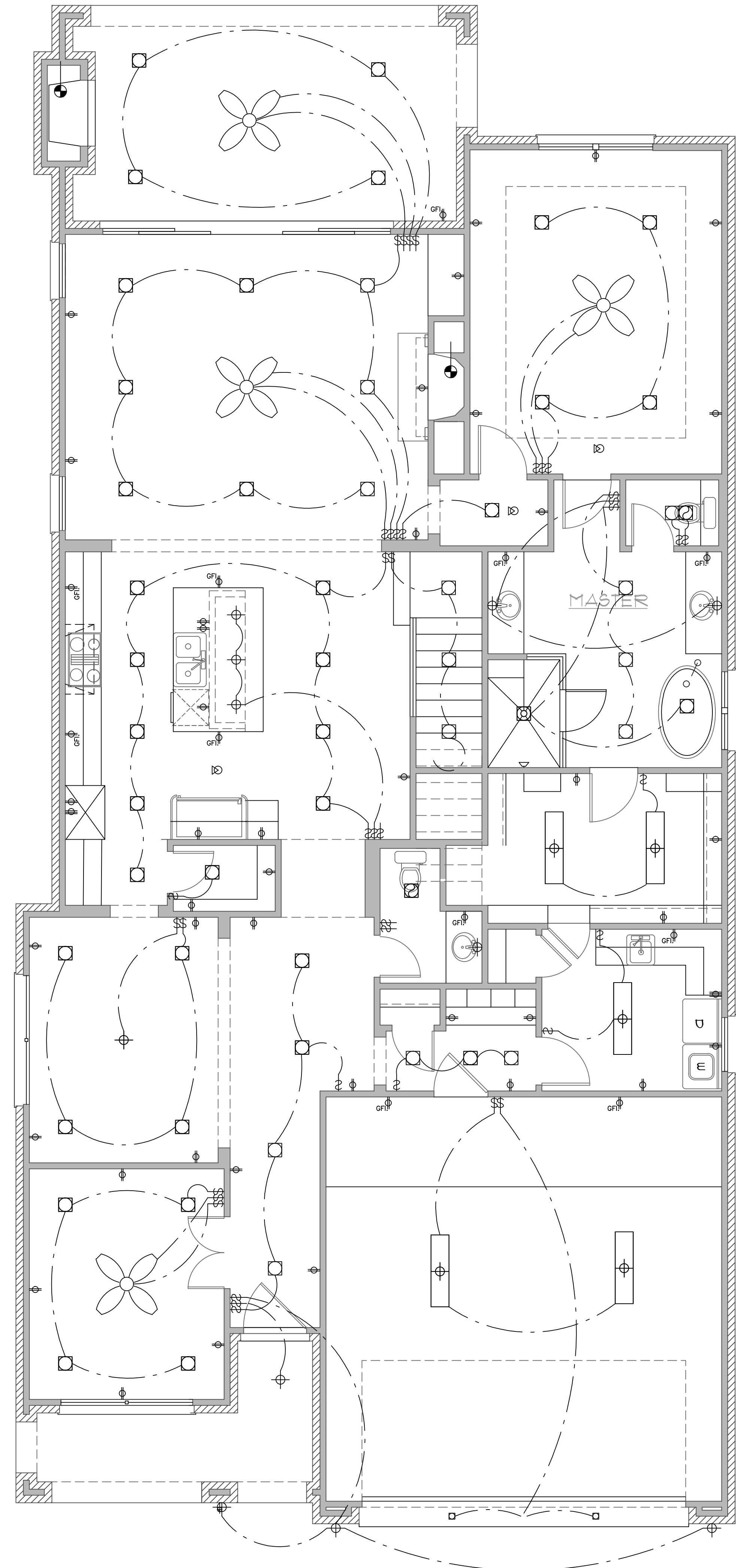
A-6

1/4" = 1'-0"



① SECOND FLOOR ELECTRICAL
 SCALE: 1/4"=1'-0"

- 110 V. RECEPTACLE
- 110 V. HALF HOT RECEPT.
- 220V. RECEPTACLE
- 110V. W/ GFI. INTERRUPTION
- 110V. WATERPROOF GFI. SWITCH
- 3 WAY SWITCH
- LIGHT
- CANLIGHT
- SPOT LIGHT
- CEILING FAN
- FLOOR LIGHT STRIP.
- EXHAUST FAN
- WALL MOUNT LIGHT
- DOUBLE EXT. FLOODLIGHT
- SINGLE EXT. FLOODLIGHT
- PHONE JACK
- T.V. ANT. JACK
- SMOKE DETECTOR



① FIRST FLOOR ELECTRICAL
 SCALE: 1/4"=1'-0"