

PLANNING APPLICATION SUBMISSION FOR:

BESPOKE

401-445 S B STREET

SAN MATEO, CA 94401



PLANNING APPLICATION SUBMISSION FOR:

4TH & RAILROAD

307 E 4TH AVENUE

SAN MATEO, CA 94401



**RMW**

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PROJECT NAME & ADDRESS:  
**BESPOKE**

445 S B STREET  
SAN MATEO, CA, 94401

ISSUE: Project Status  
ISSUE DATE: Issue Date

REVISIONS: DESCRIPTION DATE  
PLANNING APPLICATION 02/01/2023

SHEET INDEX

ISSUE LOG KEY:		02/01/2023				
<input checked="" type="checkbox"/>	ISSUED AS PART OF THIS SET					
<input type="checkbox"/>	ISSUED FOR REFERENCE ONLY					
		PLANNING APPLICATION				
		ISSUE #2	ISSUE #3	ISSUE #4	ISSUE #5	
SHEET #	SHEET NAME					REMARKS

ARCHITECTURAL						
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A0.11	NEIGHBORHOOD CONTEXT	<input checked="" type="checkbox"/>				
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A3.0	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>				
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A3.2	MATERIAL BOARD	<input checked="" type="checkbox"/>				
A4.0	BUILDING SECTIONS	<input checked="" type="checkbox"/>				
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A5.1	ACCESSIBILITY DETAILS	<input checked="" type="checkbox"/>				
SURVEY						
C.00	TOPOGRAPHIC SURVEY	<input checked="" type="checkbox"/>				
C1.00	EXISTING CONDITIONS	<input checked="" type="checkbox"/>				
C2.00	CONCEPT GRADING AND DRAINAGE	<input checked="" type="checkbox"/>				
C2.10	CONCEPT STREET IMPROVEMENT SITE PLAN	<input checked="" type="checkbox"/>				
C2.50	CONCEPT UTILITIES	<input checked="" type="checkbox"/>				
C3.00	CONCEPT STORMWATER MANAGEMENT PLAN	<input checked="" type="checkbox"/>				
C3.01	OFF-SITE CONCEPT STORMWATER MANAGEMENT PLAN	<input checked="" type="checkbox"/>				
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LANDSCAPE						
L0.0	OPEN SPACE DIAGRAMS	<input checked="" type="checkbox"/>				
L1.0	LANDSCAPE PLAN, GROUND LEVEL	<input checked="" type="checkbox"/>				
L1.1	LANDSCAPE PLAN DIAGRAM, 2ND, 3RD, 4TH & 5TH FLOORS	<input checked="" type="checkbox"/>				
L2.0	ILLUSTRATIVE RENDERINGS	<input checked="" type="checkbox"/>				
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RESIDENTIAL ARCHITECTURAL						
AR0.01	PROJECT INFORMATION	<input checked="" type="checkbox"/>				
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AR2.01	FLOOR 1	<input checked="" type="checkbox"/>				
AR2.02	FLOOR 2	<input checked="" type="checkbox"/>				
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AR2.04	ROOF PLAN	<input checked="" type="checkbox"/>				
AR3.00	BLOCK ELEVATIONS	<input checked="" type="checkbox"/>				
AR3.01	BUILDING ELEVATIONS	<input checked="" type="checkbox"/>				
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AR3.10	MATERIAL BOARD	<input checked="" type="checkbox"/>				
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AR3.21	STREET WALL SECTION EXHIBITS	<input checked="" type="checkbox"/>				
RESIDENTIAL LANDSCAPE						
LR1.0	LANDSCAPE PLAN LEVEL 2 AMENITY TERRACE	<input checked="" type="checkbox"/>				
LR2.0	LANDSCAPE RENDERINGS LEVEL 2 TERRACE	<input checked="" type="checkbox"/>				
SHEET TOTAL: 56						

SCALE: 12" = 1'-0"

PROJECT NUMBER: 2202017.3

DRAWN BY: Author

CHECKED BY: Checker

NOT FOR  
CONSTRUCTION

SHEET NAME:  
COVER SHEET

SHEET NUMBER:  
A0.1

GENERAL INFORMATION

ADDRESS OF PROJECT:	401-445 S B STREET
COMMERCIAL:	SAN MATEO, CA 94401
RESIDENTIAL:	307 E 4TH AVENUE
	SAN MATEO, CA 94401
ASSESSOR'S PARCEL NUMBER:	034-179-010, 034-179-020, 034-179-030, 034-179-040, 034-179-050, 034-179-060
EXISTING ZONING DISTRICT:	CENTRAL BUSINESS DISTRICT (CBD/R)
2009 DOWNTOWN PLAN AREA:	DOWNTOWN RETAIL CORE
LOT SIZE (SQ. FT.):	+/- 50,600 SQ. FT.
FLOOR AREA RATIO (FAR):	3.0
ALLOWABLE BUILDING AREA:	151,800 SQ. FT. (3.0 FAR)
FRONT SETBACK:	NONE
SIDE SETBACK:	NONE
REAR SETBACK:	NONE

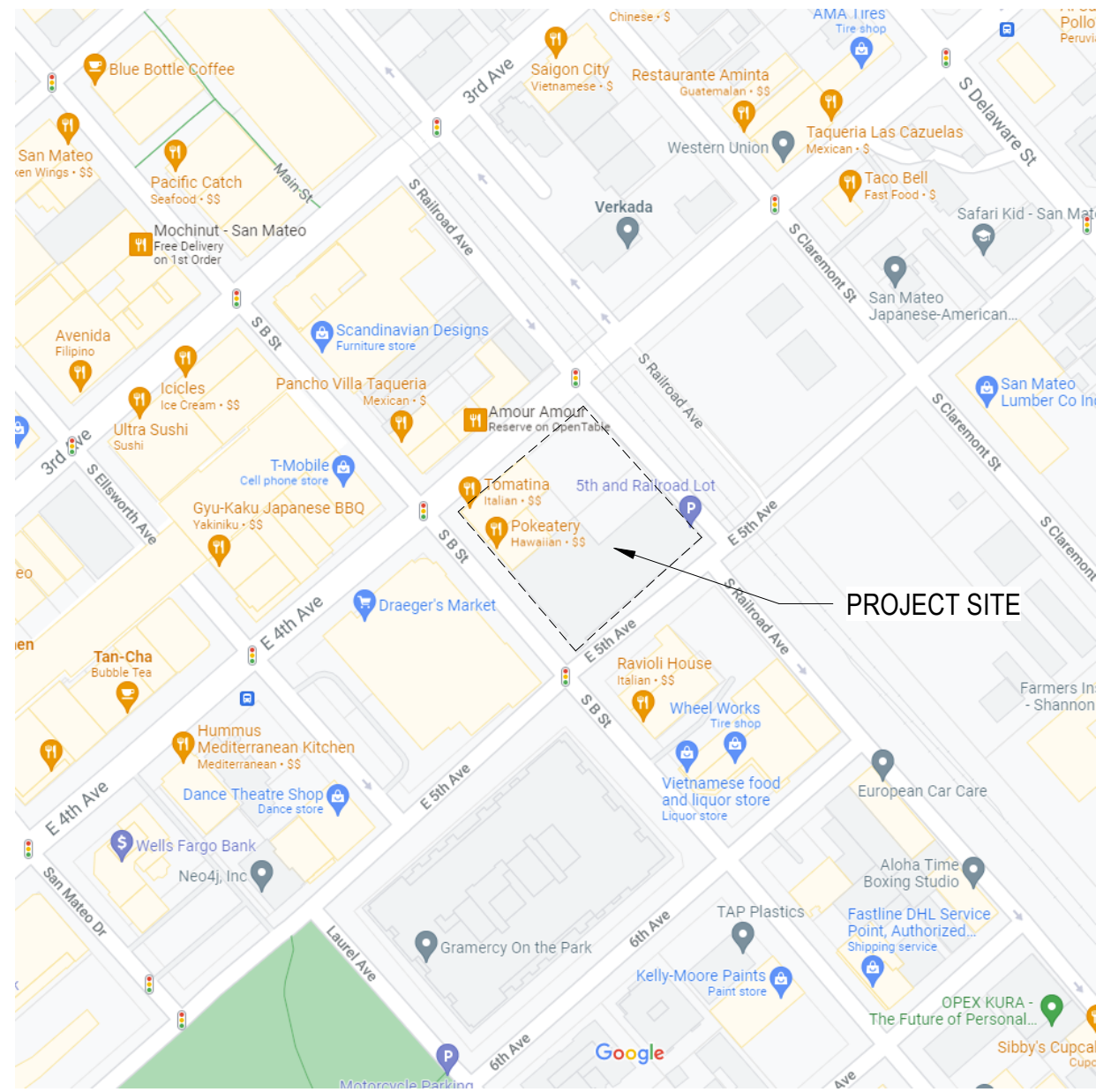
PARKING CALCULATIONS

PARKING ZONE:	CPID LIMITED PARKING ZONE (LPZ)
COMMERCIAL:	1ST FLOOR: 33,787 2ND FLOOR: 33,371 3RD FLOOR: 32,444 4TH FLOOR: 28,279 5TH FLOOR: 28,279 6TH FLOOR: 6,382 7TH FLOOR: 9,143 TOTAL: 162,542
RESIDENTIAL:	1ST FLOOR: 13,259 2ND FLOOR: 9,143 3RD FLOOR: 9,143 4TH FLOOR: 9,143 5TH FLOOR: 9,143 6TH FLOOR: 9,143 7TH FLOOR: 9,143 TOTAL: 68,117
TOTAL:	230,659 SF (4.56 FAR, INCREASED BY CA STATE DENSITY LAWS)
REQUIRED (SMMC 27.64.100):	23 STALLS 374 STALLS 30 STALLS
OFFICE (2.6/1,000):	
RESIDENTIAL (0.5/UNIT):	
NOTE: GOVERNMENT CODE SECTION 65863.2 (AB 2097) RELIEVES PROJECT OF PARKING REQUIREMENTS	
PROVIDED COMMERCIAL:	80
RESIDENTIAL:	38
TOTAL:	118
BIKE PARKING:	
COMMERCIAL:	
SHORT TERM REQ'D - OFFICE (1/20,000 SF):	8
SHORT TERM REQ'D - RETAIL (1/2,000 SF):	6
LONG TERM REQ'D - OFFICE (1/10,000 SF):	15
LONG TERM REQ'D - RETAIL (1/12,000 SF):	1
PROVIDED SHORT TERM:	14
PROVIDED LONG TERM:	56
RESIDENTIAL:	
SHORT TERM REQ'D - S & T BR (0.05/UNIT):	2
2 BR & 3 BR (1/UNIT):	4
LONG TERM REQ'D - S & T BR (1/UNIT):	26
2 BR (1.25/UNIT):	22
3 BR (1.5/UNIT):	26
PROVIDED SHORT TERM:	6
PROVIDED LONG TERM:	106

PROPOSED BUILDING DATA

PROPOSED BUILDING AREA PER SMMC 27.04.200:	
COMMERCIAL:	1ST FLOOR: 33,787 2ND FLOOR: 33,371 3RD FLOOR: 32,444 4TH FLOOR: 28,279 5TH FLOOR: 28,279 6TH FLOOR: 6,382 7TH FLOOR: 9,143 TOTAL: 162,542
RESIDENTIAL:	1ST FLOOR: 13,259 2ND FLOOR: 9,143 3RD FLOOR: 9,143 4TH FLOOR: 9,143 5TH FLOOR: 9,143 6TH FLOOR: 9,143 7TH FLOOR: 9,143 TOTAL: 68,117
TOTAL:	230,659 SF (4.56 FAR, INCREASED BY CA STATE DENSITY LAWS)

VICINITY MAP





BESPOKE  
401-445 S B STREET  
SAN MATEO, CA 94401



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CLIENT:



HARVEST  
PROPERTIES

PROJECT NAME & ADDRESS:

BESPOKE

445 S B STREET  
SAN MATEO, CA, 94401

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ISSUE DATE: Issue Date

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PLANNING APPLICATION 02/01/2023

PROJECT TEAM

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MOANA REYNAU - SR. ASSOCIATE

PROJECT DESCRIPTION

THIS SET OF DRAWINGS IS FOR A NEW 5-STORY + BASEMENT OFFICE BUILDING OF APPROXIMATELY 162,542 SF AT THE INTERSECTION OF S. B STREET AND 4TH AVENUE IN THE DOWNTOWN CORE OF SAN MATEO, CA. THIS PROJECT INCLUDES ON- AND OFF-SITE IMPROVEMENTS INCLUDING GROUND-LEVEL AND TERRACE LANDSCAPING, A CORNER RETAIL PLAZA, AND PUBLIC RIGHT-OF-WAY IMPROVEMENTS.

NEW BUILDING CONSTRUCTION WILL PURSUE USGBC LEED GOLD STANDARDS, AND WILL BE IN FULL COMPLIANCE WITH CALIFORNIA GREEN BUILDING CODE. THE BUILDING IS ALSO EXPECTED TO RUN ON ALL-ELECTRIC SYSTEMS WITH A POTENTIAL EXCEPTION FOR A FUTURE RESTAURANT TENANT.

APPLICABLE CODES

2022 CALIFORNIA BUILDING STANDARDS CODE (TITLE 24), EFFECTIVE JANUARY 1, 2023:

- PART 1 - CALIFORNIA ADMINISTRATIVE CODE
- PART 2 - CALIFORNIA BUILDING CODE, VOLUMES 1 AND 2
- PART 2.5 - CALIFORNIA RESIDENTIAL CODE
- PART 3 - CALIFORNIA ELECTRICAL CODE
- PART 4 - CALIFORNIA MECHANICAL CODE
- PART 5 - CALIFORNIA PLUMBING CODE
- PART 6 - CALIFORNIA ENERGY CODE
- PART 7 - VACANT/ NOT USED
- PART 8 - CALIFORNIA HISTORICAL BUILDING CODE
- PART 9 - CALIFORNIA FIRE CODE
- PART 10 - CALIFORNIA EXISTING BUILDING CODE
- PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN CODE)
- PART 12 - CALIFORNIA REFERENCED STANDARDS CODE
- CAL OSHA - TITLE 8, 2019 ELEVATOR SAFETY CODE
- STANDARD SPECIFICATIONS AND DETAILS AND OTHER APPLICABLE REGULATIONS ISSUED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- THE WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CODES NO REGULATIONS LISTED ABOVE, INCLUDING SUPPLEMENTS AND AMENDMENTS IN EFFECT AT THE TIME THE DOCUMENTS WERE ISSUED

PLUMBING FIXTURE CALCULATIONS

LEVEL	OCC GROUP	AREA	LOAD FACTOR	OCC (MW)	FIXTURES REQUIRED		
					WOMEN	MEN	DF
FLR 1	A3	1,464 SF	30	29/25	1 WC / 1 LAVS	1 WC / 1 UR / 1 LAVS	1
FLR 1	M	12,089 SF	100	61/61	2 WC / 1 LAVS	1 WC / 1 UR / 1 LAVS	1
FLR 2	B	31,965 SF	200	80/80	4 WC / 2 LAVS	2 WC / 1 UR / 2 LAVS	1
FLR 3	B	31,105 SF	200	78/78	4 WC / 2 LAVS	2 WC / 1 UR / 2 LAVS	1
FLR 4	B	27,066 SF	200	68/68	4 WC / 2 LAVS	2 WC / 1 UR / 1 LAVS	1
FLR 5	B	26,808 SF	200	67/67	4 WC / 2 LAVS	2 WC / 1 UR / 1 LAVS	1

FIXTURES REQUIRED TOTAL	409/409	21 WC / 11 LAVS	11 WC / 7 UR / 9 LAVS	7
FIXTURES PROVIDED		20 WC / 10 LAVS	10 WC / 10 UR / 10 LAVS	10

- NOTES:
- REQUIREMENTS PER 2022 CPC TABLE 422.1.
  - SQUARE FEET AREAS SHOWN ARE USABLE SPACES LESS ACCESSORY AREAS (HALLWAYS, RESTROOMS, STAIR ENCLOSURE, UTILITY ROOMS AND STORAGE.) PER CPC TABLE A EXCEPTION
  - OCCUPANT LOAD FACTORS:
    - A. ASSEMBLY: A3 30 SF
    - B. OFFICE: B 200 SF
    - C. MERCANTILE: M 100 SF
  - CPC 2022 - 422.0 - 3 THE TOTAL NUMBER OF REQUIRED WATER CLOSETS FOR FEMALES SHALL BE NOT LESS THAN THE TOTAL NUMBER OF REQUIRED WATER CLOSETS AND URINALS FOR MALES. (BSO) THIS REQUIREMENT SHALL NOT APPLY WHEN SINGLE OCCUPANCY TOILET FACILITIES ARE PROVIDED FOR EACH SEX IN AN A OR E OCCUPANCY WITH AN OCCUPANT LOAD OF LESS THAN 50. EITHER THE REQUIRED URINAL SHALL BE PERMITTED TO BE OMITTED OR IF INSTALLED, THE URINAL SHALL NOT REQUIRE A SECOND WATER CLOSET TO BE PROVIDED FOR THE FEMALE.
  - RESTROOMS SERVING M OCCUPANCY SPACES ARE PROVIDED IN FUTURE TENANT IMPROVEMENTS.

PROPOSED BUILDING DATA

OCCUPANCY TYPE: B, M

CONSTRUCTION TYPE: III-A (CBC TABLE 503, 601)

SPRINKLERED: YES (TO MEET NFPA 13 STANDARDS)

ALLOWABLE HEIGHT: 85' - 0" (CBC TABLE 504.3)

PROPOSED HEIGHT: 74'-0"

ALLOWABLE NUMBER OF STORIES: 6 STORIES ABOVE GRADE PLANE (CBC TABLE 504.4)

PROPOSED NUMBER OF STORIES: 5 (BASEMENT + 5 STORIES ABOVE GRADE)

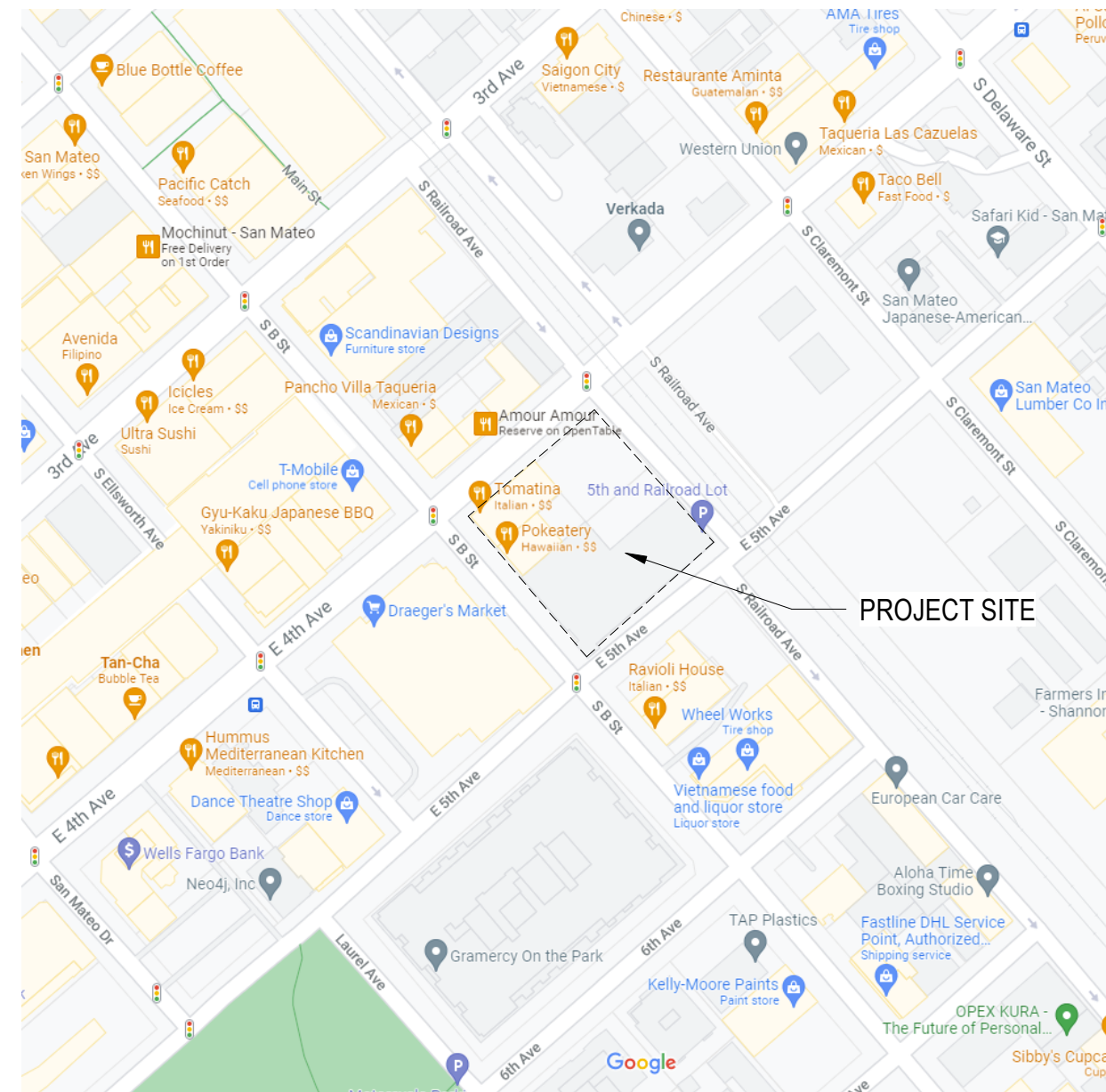
ALLOWABLE BUILDING AREA: 448,000 SF (CBC 506 & 508)

PROPOSED BUILDING AREA:

LEVEL 1	34,319 SF
LEVEL 2	33,371 SF
LEVEL 3	32,444 SF
LEVEL 4	28,279 SF
LEVEL 5	28,279 SF
PENTHOUSE	6,382 SF
TOTAL	163,074 SF

NOTE:  
PROPOSED BUILDING TO BE FULLY SPRINKLERED. BASE FIRE SPRINKLER SYSTEM TO MEET NFPA13 REQUIREMENTS

VICINITY MAP



SCALE: 1/2" = 1'-0"

PROJECT NUMBER: 2202017.3  
DRAWN BY: Author  
CHECKED BY: Checker

STAMP:

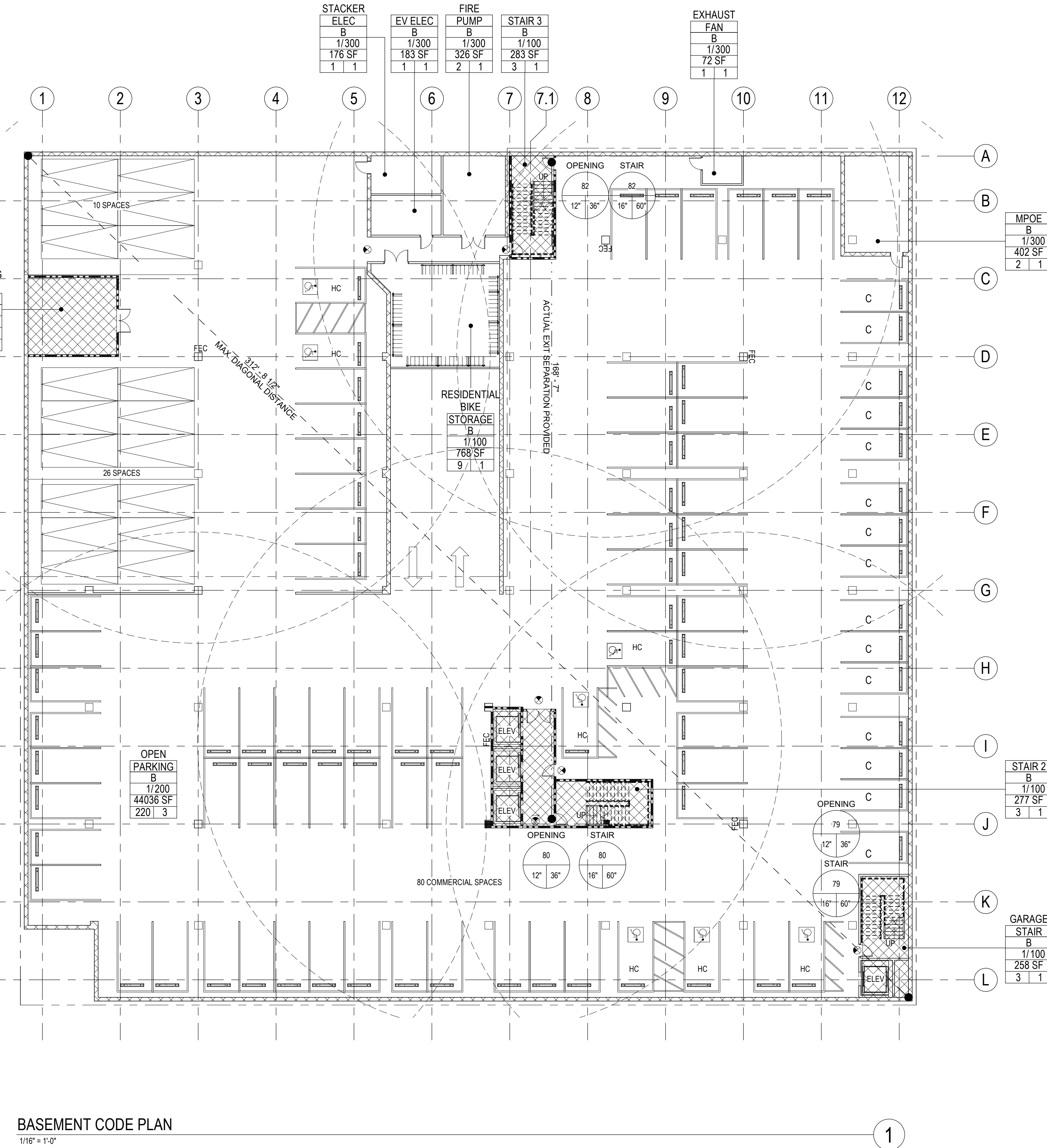
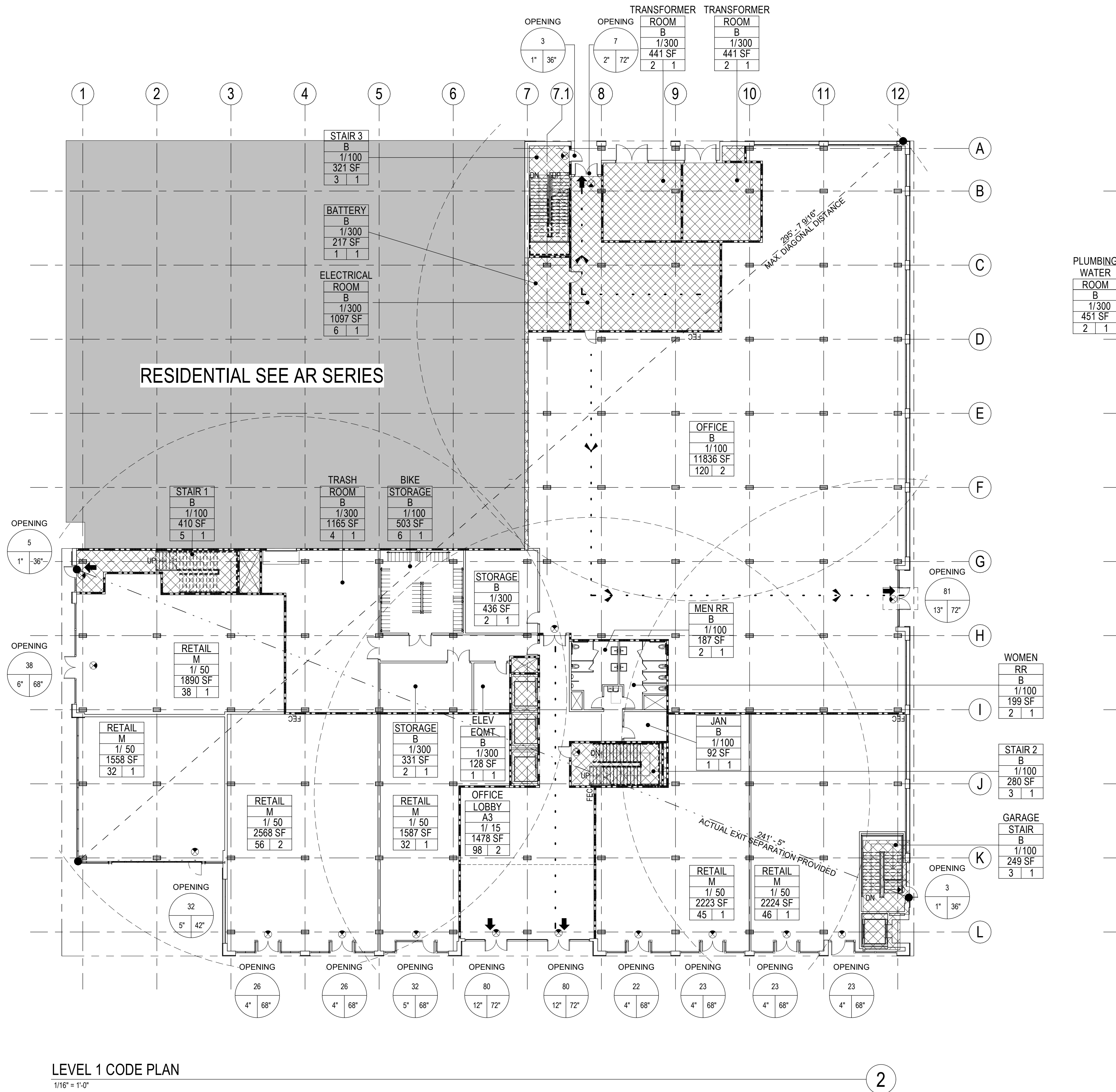
NOT FOR  
CONSTRUCTION

SHEET NAME:  
PROJECT  
INFORMATION

SHEET NUMBER:

A0.2





SHEET NOTES

- SHEET NOTES AND KEY NOTES ARE FOR THE C+S SCOPE OF WORK AND ARE SPECIFIC TO THIS SHEET ONLY. UON THE ITEMS BELOW ARE HIGHLIGHTS ONLY. ALL 2022 CBC REQUIREMENTS SHALL BE ADHERED TO.
- THE OCCUPANCIES FOR THE TENANT SPACES WERE CALCULATED PER CBC TABLE 1006.1.2.
- REQUIRED EXITS ARE PLACED AT LEAST 10 THE CALCULATED DISTANCE FROM THE FARTHEST POINTS OF THE NEW SPACE. (CBC SECTION 1007.1.1 EXCEPTION 2).
- MAXIMUM EXIT TRAVEL DISTANCE IS 300' FOR A OCCUPANCY AND 300' FOR B OCCUPANCY. CBC TABLE 1017.2.
- EGRESS WIDTH CALCULATIONS FOR OPENINGS AND STAIRS IS BASED UPON CBC. SECTION 1005.3.1 AND 1005.3.2. EXCEPTION 1.
- EXIT OPENING WIDTH FACTOR = 0.15 X OCCUPANT LOAD
- STAIR WIDTH FACTOR = 0.2 X OCCUPANT LOAD
- EGRESS WIDTH AND EXIT COMPONENTS IS BASED UPON CBC SECTION 1005.3.
- THE NUMBER OF REQUIRED EXITS IS BASED UPON CBC TABLE 1006.1.1.
- REFER TO DOOR SCHEDULE FOR DOOR AND FRAME TYPES, RATINGS, SIZE AND HARDWARE TYPES.
- ALL DOORS SHALL HAVE CLEAR WIDTH NOT LESS THAN 32" PER CBC SECTION 1010.1.1. UON.
- PROVIDE TEMPORARY FIRE EXTINGUISHERS FOR C+S SCOPE OF WORK. LOCATE A MAXIMUM OF 75 FEET FROM ANY LOCATION WITHIN THE PROJECT AREA AND 100 FEET BETWEEN INDIVIDUAL FEC UNITS. 3,000 SF PER CABINET. LOCATE UNITS WHERE SHOWN OR AS DIRECTED BY THE FIRE MARSHAL. FIRE EXTINGUISHERS SHALL COMPLY WITH 2022 CBC SECTION 906 AND TABLE 906.3.1.1. FIRE EXTINGUISHERS TO BE MOUNTED ON FREE STANDING PEDESTALS. LARSEN'S MPS WITH RATING 2A 10B-C, 5 LBS CAPACITY. SIGNAGE SHALL COMPLY WITH CBC 118-710 FOR SIGNAGE.
- PROVIDE SYMBOL OF ACCESSIBILITY AT FRONT ENTRANCE.
- PROVIDE STAIRWELL TACTILE EXIT SIGNAGE PER CODE REQUIREMENT. REFER TO TACTILE SIGNAGE NOTES (2022 CBC SECTION 1023.9 AND 118-60.8). REFER TO ENLARGED STAIR PLANS.
- ALL INTERIOR TACTILE EGRESS SIGNAGE TO BE PROVIDED DURING FUTURE T1 PHASE.
- ALL FIRE PROTECTION EQUIPMENT AND ROOMS CONTAINING CONTROLS FOR AIR-CONDITIONING SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED BY APPROVED SIGNAGE AND ACCESSIBLE BY FIRE DEPARTMENT PER SECTION 909, 2022 CALIFORNIA FIRE CODE. COORDINATE SIGNAGE REQUIREMENTS AND ACCESS WITH LOCAL FIRE MARSHAL JURISDICTION.
- PROVIDE EMERGENCY VOICELARIM COMMUNICATION SYSTEM.
- THE MAXIMUM REQUIRED EXIT SEPARATION IS BASED UPON CBC. SECTION 1007.1.
- RESTROOM FIXTURE CALCULATION BASED UPON 2022 CPC CODE:
  - A. REQUIREMENTS PER CBC TABLE 402.1.
  - B. AREA SQUARE FOOTAGE SHOWN INCLUDES USABLE SPACES, LESS ACCESSORY AREAS, (HALLWAYS, CIRCULATION, RESTROOM, STAIR ENCLOSURE, UTILITY/STORAGE ROOMS, PER TABLE A EXCEPTION).
  - C. OCCUPANCY LOAD FACTORS USED INCLUDE:
    - ASSEMBLY: A2, A3 = 150
    - BUSINESS: B = 1200
- ALL REQUIRED OCCUPANCY SEPARATIONS FOR THE FUTURE MIXED OCCUPANCY ZONES TO BE DETERMINED DURING THE FUTURE T1 SCOPE OF WORK.

EXIT WIDTH CALCULATION

LEVEL	OCCUPANT LOAD	TOTAL NUMBER OF EXITS		TOTAL EGRESS WIDTH		TOTAL STAIR WIDTH	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
BASEMENT	239 OCC	3	3	36"	108"	48"	180"
FLR 1	496 OCC	3	14	75"	874"	NA	NA

- NOTES:
- CALCULATIONS IN THIS TABLE ARE BASED ON 2022 CBC SECTION 1005.3
  - EGRESS WIDTHS BASED ON CBC SECTION 1005.3.1 AND 1005.3.2
  - EGRESS WIDTH MEETS CBC SECTION 1005.5 FOR DISTRIBUTION OF MINIMUM WIDTH AND REQUIRED CAPACITY

OCCUPANT LOAD CALCULATION

Code Plan-Occupancy Schedule - Basement				
NAME	OCCUPANCY	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
EV ELEC	B	183 SF	300	1
EXHAUST FAN	B	72 SF	300	1
FIRE PUMP	B	326 SF	300	2
MPOE	B	402 SF	300	2
OPEN PARKING	B	44036 SF	200	221
PLUMBING WATER ROOM	B	451 SF	300	2
RESIDENTIAL BIKE STORAGE	B	768 SF	100	8
STACKER ELEC	B	176 SF	300	1
		46414 SF		238

Code Plan-Occupancy Schedule - Level 1				
NAME	OCCUPANCY	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
BATTERY	B	217 SF	300	1
BIKE STORAGE	B	503 SF	100	6
ELECTRICAL ROOM	B	1097 SF	300	4
JAN	B	92 SF	300	1
MEN RR	B	187 SF	100	2
OFFICE	B	11836 SF	100	119
OFFICE LOBBY	A3	1478 SF	15	99
RETAIL	M	1558 SF	50	32
RETAIL	M	2568 SF	50	52
RETAIL	M	1587 SF	50	32
RETAIL	M	1890 SF	50	38
RETAIL	M	2224 SF	50	45
RETAIL	M	2223 SF	50	45
STORAGE	B	331 SF	100	4
STORAGE	B	436 SF	100	5
TRANSFORMER ROOM	B	441 SF	300	2
TRANSFORMER ROOM	B	441 SF	300	2
TRASH ROOM	B	1165 SF	300	4
WOMEN RR	B	199 SF	100	2
		30472 SF		495

LEGEND

OFFICE  
Occupancy  
1/100  
150 SF  
15 1 1

ROOM TYPE  
OCCUPANCY TYPE  
LOAD FACTOR  
ROOM AREA  
NO. OF REQD EXITS

CODE ROOM TAG

NEW PARTITION, SEE FLOOR PLANS FOR PARTITION TYPE

1 - HOUR RATED PARTITION, SEE FLOOR PLANS FOR PARTITION TYPE

2 - HOUR RATED PARTITION, SEE FLOOR PLANS FOR PARTITION TYPES

T1 AREA NON-RATED

1 - HOUR RATED ROOM

2 - HOUR RATED ROOM

CALCULATED OCCUPANCY LOAD

OCC LOAD SERVED  
REQD WIDTH

EGRESS LOADS/WIDTHS FOR EXIT OPENING AND STAIR

EGRESS LOADS/WIDTHS FOR EXIT OPENING AND STAIR  
(SEE EXIT WIDTH CALCS AT POINT OF EGRESS CHART)

REQUIRED POINT OF EGRESS

PATH OF EGRESS ROUTE

MAX DIAGONAL DISTANCE

ACTUAL EXIT SEPARATION, CBC SECTION 1007.1.1, EXCEPTION 2

COMMON PATH OF EGRESS TRAVEL, (MAX 100 FEET PER CBC TBL 1006.3.2(2))

MAXIMUM EXIT TRAVEL DISTANCE ROUTE (MAX 300 FEET PER CBC TBL 1017.2)

TRAVEL ROUTE AND DISTANCE TO NEAREST FEC (MAX 75')

ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROWS (WHERE SHOWN)

ACCESSIBLE ENTRANCE / EXIT WITH ADA COMPLIANT SIGNAGE

FIRE EXTINGUISHER CABINET - RECESSED MOUNTED, UON

FIRE EXTINGUISHER SEPARATION - ACCESS RADIUS RANGE OF 75' MAXIMUM

KEYNOTES

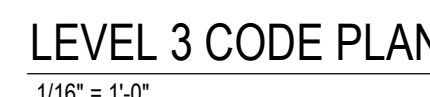
KEY NOTE SYMBOL USED ON DRAWINGS

NOT FOR  
CONSTRUCTION

SHEET NAME:  
**BASEMENT AND FIRST  
FLOOR CODE PLANS**

SHEET NUMBER:  
**A0.3**





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SHEET NOTES

- SHEET NOTES AND KEY NOTES ARE FOR THE C+S SCOPE OF WORK AND ARE SPECIFIC TO THIS SHEET ONLY. USE THE ITEMS BELOW ARE HIGHLIGHTS ONLY. ALL 2022 CBC REQUIREMENTS SHALL BE ADHERED TO.
1. REQUIREMENTS FOR THE TENANT SPACES SHALL BE BASED ON THE 2022 CBC PER CBC TABLE 1004.1.2.
2. REQUIRED EXITS ARE PLACED AT LEAST 10' THE CALCULATED DISTANCES FROM THE FARTHEST POINTS OF THE SPACE. (CBC SECTION 1007.1.1 EXEMPTION 2).
3. MAXIMUM TRAVEL DISTANCE IS 20' OF 20' OF OCCUPANCY AND 300' FOR B OCCUPANCY. CBC TABLE 1017.2.
4. EGRESS WITH CALCULATIONS FOR OPENINGS AND STAIRS IS BASED UPON CBC. SECTION 1005.3.1 AND 1005.3.2.
5. EXEMPTION 1
6. -EXIT OPENING WIDTH FACTOR = 0.15 X OCCUPANT LOAD
7. -STAIR WIDTH FACTOR = 0.2 X OCCUPANT LOAD
8. EGRESS WIDTH AND EXIT COMPONENTS IS BASED UPON CBC SECTION 1005.3.
9. THE NUMBER OF REQUIRED EXITS IS BASED UPON CBC TABLE 1006.2.1.
10. REFER TO DOOR SCHEDULE FOR DOOR AND FRAME TYPES, RATINGS, SIZE AND HARDWARE TYPES.
11. ALL DOORS SHALL HAVE CLEAR WIDTH NOT LESS THAN 32" PER CBC SECTION 1010.1.1, UOI.
12. ALL TEMPORARY FIRE EXTINGUISHERS SHALL BE LOCATED 20' FROM LOCATIONS OF 75 FEET FROM ANY LOCATION WITHIN THE PROJECT AREA AND 100' FEET BETWEEN INDIVIDUAL FIRE UNITS. 3,000 SF PER CABINET. LOCATE ZONES WHERE SHOWN OR AS DIRECTED BY THE FIRE MARSHAL. FIRE EXTINGUISHERS SHALL COMPLY WITH 2022 CBC SECTION 1005.3.1 AND 1005.3.2.
13. FIRE EXTINGUISHERS TO BE MOUNTED ON FREE STANDING PEDESTALS. LARGENS MPFS WITH RATING 2A, 0.55 CAPACITY. SIGNAGE SHALL COMPLY WITH CBC 11B-703 FOR SIGNAGE.
14. PROVIDE SIGNAGE TO ADOPT ACCESSIBILITY AT FRONT ENTRANCE.
15. PROVIDE STARWELL TACTILE EXIT SIGNAGE PER CODE REQUIREMENTS. PROVIDE TO TACTILE SIGNAGE NOTATIONS (2022 CBC SECTION 1023.9 AND 11B-504.8) EXCEPT TO ENLARGED STAIR CLAIM.
16. THE ENTIRE TACTILE EGRESS SIGNAGE SHALL BE TO THE FUTURE II PHASE.
17. ALL FIRE PROTECTION EQUIPMENT AND ROOMS CONTAINING CONTROLS FOR AIR-CONDITIONING SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED BY APPROVED SIGNAGE.
18. SIGNAGE IDENTIFIABLE BY FIRE DEPARTMENT. PER SECTION 1009.2, 2022 CALIFORNIA FIRE CODE. COORDINATE SIGNAGE REQUIREMENTS AND ACCESS WITH LOCAL FIRE MARSHAL JURISDICTION.
19. PROVIDE EMERGENCY VOICECALL/ALARM COMMUNICATION SYSTEM.
20. MAXIMUM REQUIRED EXIT SEPARATION PER SECTION 1007.2, 2022 CALIFORNIA FIRE CODE. COORDINATE SIGNAGE REQUIREMENTS AND ACCESS WITH LOCAL FIRE MARSHAL JURISDICTION.
21. RESTROOM FUTURE CALCULATION BASED UPON 2022 CPC CODE.
22. A. REQUIREMENTS PER 1029 CPC TABLE 422.1
23. B. REQUIRE SQUARE FOOTAGE SIGNAGE INCLUDING USABLE SPACES, LESS ACCESSORY AREAS, (HALLWAYS, CIRCULATION, RESTROOM, STAIR ENCLOSURES, UTILITY/STORAGE ROOMS, PER TABLE A EXEMPTION.
24. C. OCCUPANT LOAD FACTORS USED INCLUDE:
25. ASSEMBLY: A2 UOI = 100
26. BUSINESS: B = 1000
27. ALL REQUIRED OCCUPANT SEPARATIONS PER THE FUTURE MDD OCCUPANCY ZONES TO BE DETERMINED DURING THE

## EXIT WIDTH CALCULATION

LEVEL	OCCUPANT LOAD	TOTAL NUMBER OF EXITS		TOTAL EGRESS WIDTH		TOTAL STAIR WIDTH	
				FACTOR = 0.15		FACTOR = 0.2	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
FLR 2	326 OCC	3	3	49"	108"	66"	180"
FLR 3	367 OCC	3	3	56"	108"	74"	180"

## NOTES

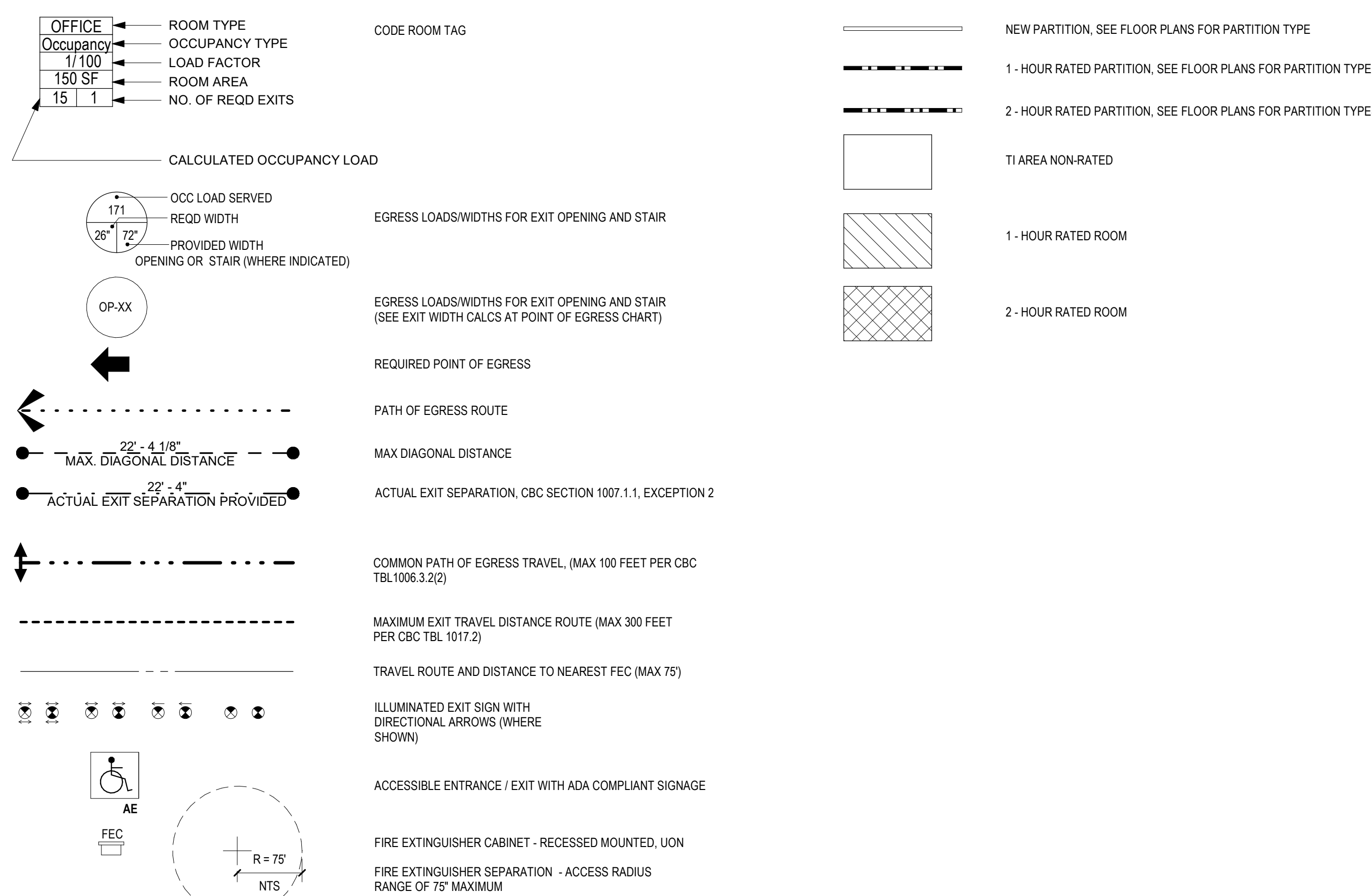
- NOTES:
1. CALCULATIONS IN THIS TABLE ARE BASED ON 2019 CBC SECTION 1005.3
  2. EGRESS WIDTHS BASED ON CBC SECTION 1005.3.1 AND 1005.3.2
  3. EGRESS WIDTH MEETS CBC SECTION 1005.5 FOR DISTRIBUTION OF MINIMUM WIDTH AND REQUIRED CAPACITY

## OCCUPANT LOAD CALCULATION

Code Plan-Occupancy Schedule - Level 2				
NAME	OCCUPANCY	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
ELECTRICAL	B	204 SF	300	
IDF	B	204 SF	300	
MEN RR	B	187 SF	100	
OFFICE	B	31031 SF	100	31
WOMEN RR	B	198 SF	100	
		31826 SF		31

Code Plan-Occupancy Schedule - Level 3				
NAME	OCCUPANCY	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
ELECTRICAL	B	204 SF	300	
IDF	B	204 SF	300	
MEN RR	B	187 SF	100	
OFFICE	B	30906 SF	100	31
TERRACE	A2	923 SF	15	6
WOMEN RR	B	198 SF	100	
		32624 SF		37

## LEGEND



## KEYNOTES

 KEY NOTE SYMBOL USED ON DRAWING

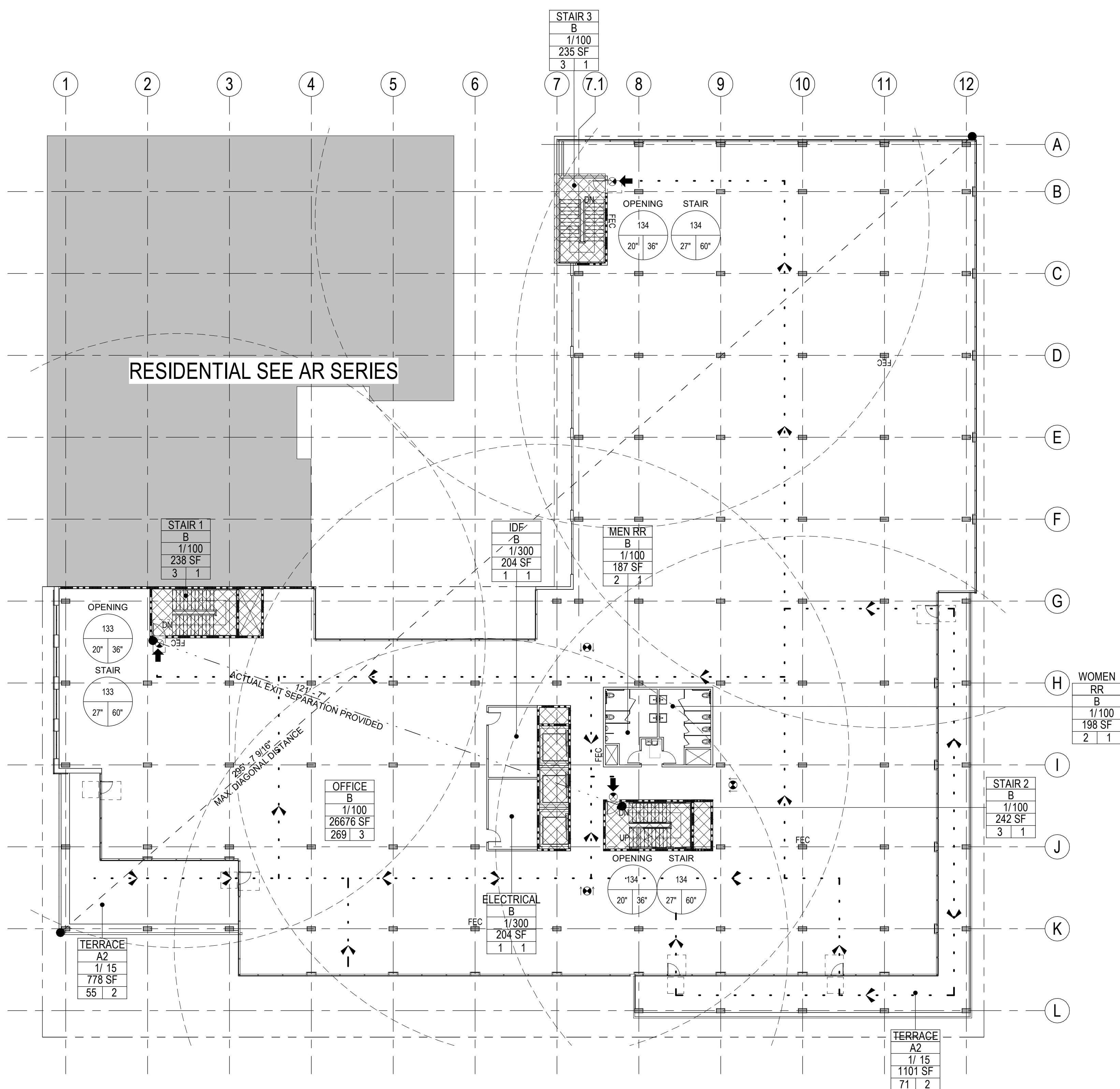
**NOT FOR  
CONSTRUCTION**

SHEET NAME:  
**SECOND AND THIRD  
FLOOR CODE PLANS**

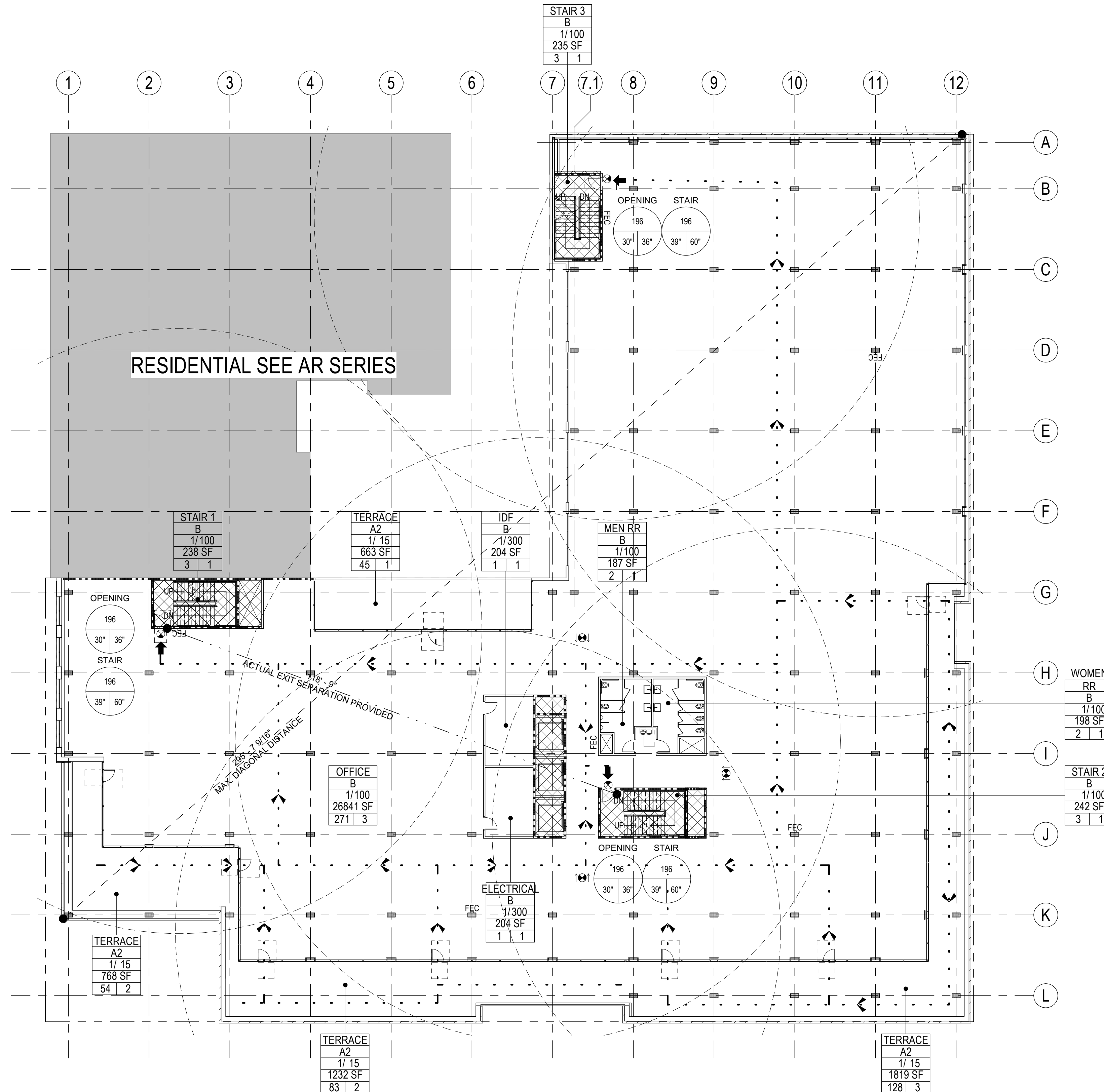
SHEET NUMBER

## A0.4





### LEVEL 5 CODE PLAN



#### LEVEL 4 CODE PLAN

## SHEET NOTES

- 1 SHEET NOTES AND KEY NOTES ARE FOR THE C+S SCOPE OF WORK AND ARE SPECIFIC TO THIS SHEET ONLY. UNLESS  
2 THE ITEMS BELOW ARE HIGHLIGHTED ONLY ALL 2022 CIBC SCOPE REQUIREMENTS SHALL BE ADHERED TO.  
3 REQUIREMENTS FOR THE TENANT SPACES ARE TO BE DETERMINED BY THE PROJECT ARCHITECT. REFER CIBC TABLE 100.1.2.  
4 REQUIRED EXITS ARE PLACED AT LEAST 10' TO THE CALCULATED DISTANCE FROM THE FARTHEST POINTS OF THE  
5 SPACE. (CBC SECTION 1007.1.1 EXEMPTION 2.)  
6 EXISTING EXIT LEVEL SHALL BE AT LEAST 25' OF CLEAR OCCUPANCY AND 300'-0" FOR B OCCUPANCY. CIBC TABLE 1017.2  
7 EGRESS WIDTH CALCULATIONS FOR OPENINGS AND STAIRS IS BASED UPON CBC SECTION 1005.3.1 AND 1005.3.2.  
8 EXEMPTION 1  
9 -EXIT OPENING WIDTH FACTOR = 0.615 OCCUPANT LOAD  
10 -STAIR WIDTH FACTOR = 0.2 X OCCUPANT LOAD  
11 -EGRESS WIDTH AND EXIT COMPONENTS IS BASED UPON CBC SECTION 1005.3.  
12 THE NUMBER OF REQUIRED EXITS IS BASED ON:  
13 REFER TO SCHEDULE FOR DOOR AND FRAME TYPES, RATINGS, SIZE AND HARDWARE TYPES.  
14 ALL DOORS SHALL HAVE CLEAR WIDTH NOT LESS THAN 32" PER CBC SECTION 1010.1.1, UNLESS  
15 OTHERWISE SPECIFIED BY FIRE EXTINGUISHER SIGNAGE. ALL WORK LOCATIONS SHALL BE WITHIN 100' FEET FROM ANY  
16 LOCATION WITHIN THE PROJECT AREA AND 100' FEET BETWEEN INDIVIDUAL FIRE UNITS. 3,000 SF PER CABINET. LOCATE  
17 EXITS WHERE SHOWN OR AS DIRECTED BY THE FIRE MARSHAL. FIRE EXTINGUISHERS SHALL COMPLY WITH 2002 CIBC  
18 TABLE 1008.1 AND TABLE 1008.2.  
19 EXTINGUISHERS TO BE MOUNTED ON FREE STANDING PEDESTALS. LARSEN'S MPS WITH RATING 2A 10BC. 5 LBS CAPACITY  
20 SIGNAGE SHALL COMPLY WITH CBC 11B-703 FOR SIGNAGE.  
21 PROVIDE SIGNAGE OF ACCESSIBILITY AT EACH EXIT.  
22 PROVIDE STAIRWELL TAUGHT EXIT SIGNAGE PER CODE REQUIREMENT. REFER TO TACTILE SIGNAGE NOTES (2022 CBC  
23 SECTION 1023.8 AND 1023.9) REFER TO ENLARGED STAIR PLAN.  
24 REFER TO TACTILE EXIT SIGNS FOR TACTILE EXIT SIGNAGE. REFER TO TACTILE EXIT PHASE  
25 ALL FIRE PROTECTION EQUIPMENT AND ROOMS CONTAINING CONTROLS FOR AIR-CONDITIONING SYSTEMS, SPRINKLER  
26 RISERS AND VALVES, OR OTHER SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED BY APPROVED SIGNAGE.  
27 IDENTIFIED BY FIRE EXTINGUISHER SIGNAGE PER CBC SECTION 1020.2. CALIFORNIA FIRE CODE, COORDINATE SIGNAGE  
28 REQUIREMENTS AND ACCESS WITH LOCAL FIRE MARSHAL JURISDICTION.  
29 PROVIDE EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM.  
30 MAXIMUM REQUIRED SEATING SEPARATION PER CBC SECTION 1007.1.  
31 RESTROOM FIXTURE CABINET BASED UPON 2022 CPC CODE.  
32 A. REQUIREMENTS PER 1029.CPC TABLE 4.2.1.  
33 B. REQUIRED TO ACQUIRE FOOTCLOTHES INCLUDING USABLE SPACES, LESS ACCESSORY AREAS, (HALLWAYS, CIRCULATION,  
34 RESTROOM, STAIR ENCLOSURE, UTILITY/STORAGE ROOMS, PER TABLE A EXEMPTION 1.  
35 C. OCCUPANCY LOAD FOOTCLOTHES USING INCLUDE:  
36 ASSEMBLY: 42.3 /1000  
37 BUSINESS: 8.5 /1000  
38 ALL OCCUPANCY SEPARATIONS FOR THE PROJECT MIXED OCCUPANCY ZONES TO BE DETERMINED DURING THE  
39 PROJECT TIME SCOPE OF WORK.

## KEYNOTES

○ KEY NOTE SYMBOL USED ON DRAWING

### EXIT WIDTH CALCULATION

LEVEL	OCCUPANT LOAD	TOTAL NUMBER OF EXITS		TOTAL EGRESS WIDTH		TOTAL STAIR WIDTH	
				FACTOR = 0.15		FACTOR = 0.2	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
FLR 4	588 OCC	3	3	88.2"	108"	117.6"	180"
FLR 5	401 OCC	3	3	61"	108"	81"	180"

## NOTES

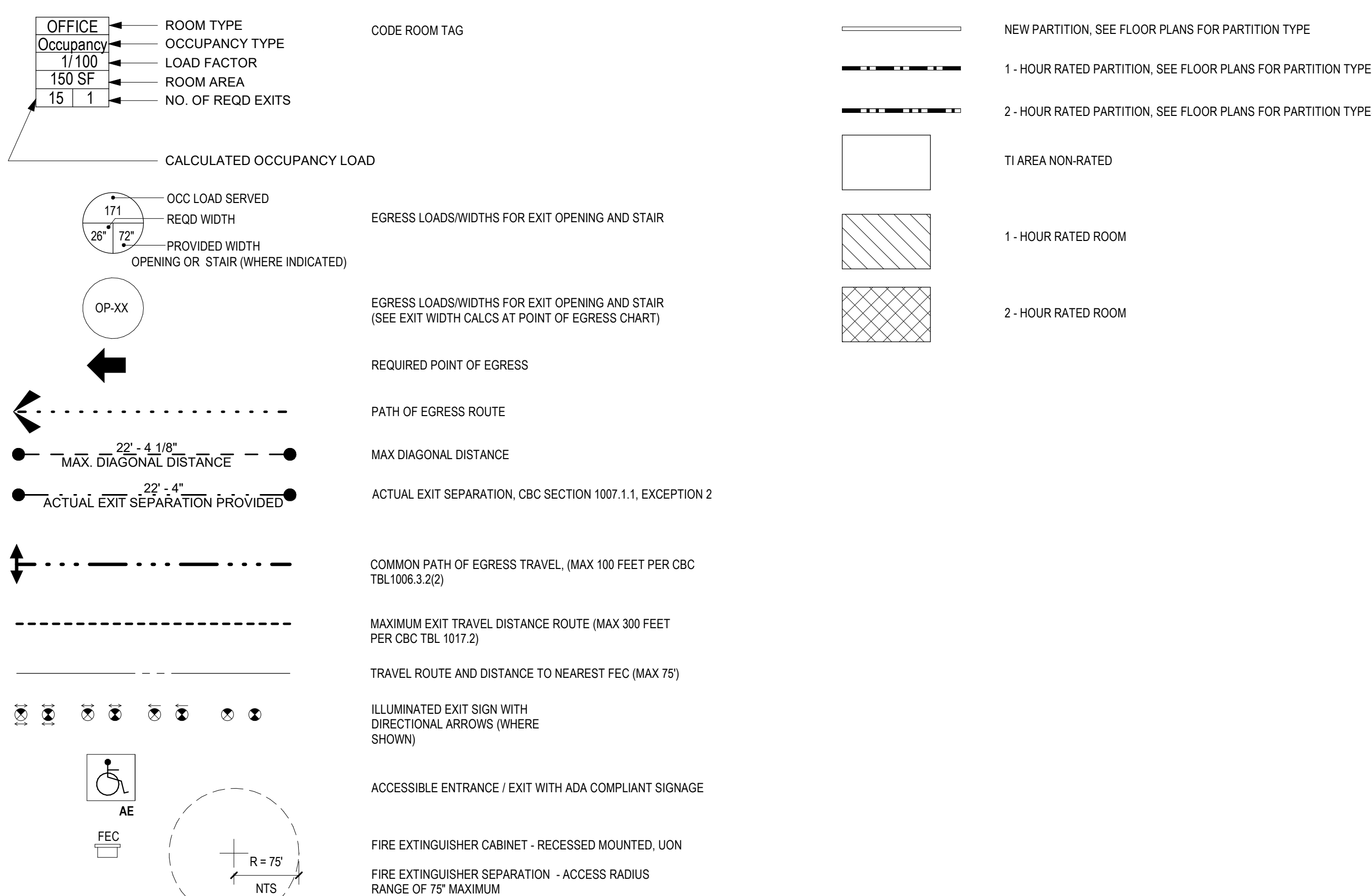
- NOTES:
1. CALCULATIONS IN THIS TABLE ARE BASED ON 2022 CBC SECTION 1005.3
  2. EGRESS WIDTHS BASED ON CBC SECTION 1005.3.1 AND 1005.3.2
  3. EGRESS WIDTH MEETS CBC SECTION 1005.5 FOR DISTRIBUTION OF MINIMUM WIDTH AND REQUIRED CAPACITY

## OCCUPANT LOAD CALCULATION

Code Plan-Occupancy Schedule - Level 4				
NAME	OCCUPANCY	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
ELECTRICAL	B	204 SF	300	1
IDF	B	204 SF	300	1
MEN RR	B	187 SF	100	2
OFFICE	B	2684 SF	180	26
TERRACE	A2	663 SF	15	45
TERRACE	A2	1232 SF	15	83
TERRACE	A2	1819 SF	15	122
TERRACE	A2	768 SF	15	52
WOMEN RR	B	198 SF	100	2
		32118 SF		57

Code Plan-Occupancy Schedule - Level 5				
NAME	OCCUPANCY	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
ELECTRICAL	B	204 SF	300	1
IDF	B	204 SF	300	1
MEN RR	B	167 SF	100	2
OFFICE	B	26676 SF	100	267
TERRACE	A2	1101 SF	15	74
TERRACE	A2	778 SF	15	52
WOMEN RR	B	196 SF	100	2

## LEGEND



**NOT FOR  
CONSTRUCTION**

SHEET NAME:  
FOURTH AND FIFTH  
FLOOR CODE PLANS

SHEET NUMBER:

# A0.5