




-  COVERED OPEN SPACE
-  OPEN SPACE IN SUN BETWEEN NOON AND 2PM THE SPRING AND FALL EQUINOX PER SMMC 27.38.090
-  OPEN SPACE AT CORNER PLAZA & RETAIL STOREFRONTS

TOTAL OPEN SPACE	1773 SF
OPEN SPACE IN SUN BETWEEN NOON AND 2PM ON THE SPRING AND FALL EQUINOX PER SMMC 27.38.090	1225 SF

OPEN SPACE CALCULATIONS	
PER SMMC 27.38.090 OPEN SPACE REQUIREMENTS OPEN SPACE TO HAVE 25'-0" MIN WIDTH	
TOTAL OFFICE AREA:	162,586 SF
REQUIRED OPEN SPACE (1% OF OFFICE AREA):	1626 SF
(50% OF REQUIRED) OPEN SPACE IN SUN BETWEEN NOON AND 2PM ON THE SPRING AND FALL EQUINOX PER SMMC 27.38.090:	1225 SF
PROVIDED OPEN SPACE THAT IS COVERED	140 SF
TOTAL OPEN SPACE PROVIDED (1.1% OF OFFICE AREA)	1773 SF
TOTAL OPEN SPACE THAT IS ABOVE REQUIRED	147 SF

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HARVEST

  
PROMETHEUS

PROJECT NAME & ADDRESS:  
**401-445 S. B STREET**

**401-445 S. B STREET**  
**SAN MATEO, CA 94401**

ISSUE		
ISSUE DATE:		
REVISIONS :		
DESCRIPTION	DATE	
PLANNING SUBMISSION	2/01/2023	

SCALE:	
PROJECT NUMBER:	2202017.00
DRAWN BY:	TH
CHECKED BY:	CB
STAMP:	

**NOT FOR  
CONSTRUCTION**

SHEET NAME:  
**OPEN SPACE DIAGRAM**

SHEET NUMBER:  
**L0.0**



RAILROAD AVE.

STOP

25 FT SIGHT TRIANGLE

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PROJECT NAME & ADDRESS:

401-445 S. B STREET

401-445 S. B STREET  
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS:

PLANNING SUBMISSION

DESCRIPTION

DATE

2/01/2023

MATERIALS SCHEDULE

PAVEMENTS

- A1 CONCRETE PAV. CITY STANDARD
- B1 VEHICULAR CONCRETE
- C1 CITY STANDARD BRICK PAVING
- C2 CIP CONCRETE (NATURAL, BROOM FINISH)
- C3 CIP COLORED CONCRETE (MED. GREY)
- C4 PERMEABLE PAVERS (FURNISHING ZONE ON B)
- C5 CIP COLORED CONCRETE (LIGHT GREY)
- C6 CIP CONCRETE CONCRETE (DARK GREY)

PLANTER, CURBS

- G1 AT GRADE PLANTING AREA
- G2 RAISED PLANTING AREA
- G3 GREEN WALL
- G4 RAISED STORMWATER PLANTING AREA
- H1 PERMEABLE PAVING
- K2 CURB CUT
- K3 CURB EXTENSION
- K4 BULB-OUT
- P1 BENCH
- P2 MOVEABLE FURNITURE (TBD BY TENANT)
- P3 BIKE RACK(20 SPACES)
- P4 GARAGE ENTRY
- Q1 NOT USED
- Q2 LOADING & DROP OFF ZONE
- R1 EXISTING CURBLINE
- R2 PROPERTY LINE
- S1 EXISTING TREE
- S2 PROPOSED TREE

- STORMWATER PLANTER
- PLANTING AREA
- AT GRADE PLANTING



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CONSTRUCTION

SHEET NAME:

LANDSCAPE PLAN,  
GROUND LEVEL

SHEET NUMBER:

L.1.0

TREE SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING	QUANTITY	NOTES
	EXISTING TREE				NA	
	HANDROANTHUS HEPTAPHYLLUS	PINK TRUMPET TREE	2" CAL., 48 GAL.	AS SHOWN	7	STREET TREE REQ. 4th AVE.
	EUCALYPTUS ESPATHULATA	SWAMP MALLET	2" CAL., 48 GAL.	AS SHOWN	8	STREET TREE REQ. 5th AVE.
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	2" CAL., 48 GAL.	AS SHOWN	6	STREET TREE REQ. S. B ST.

LARGE SHRUB (UPPER TERRACES)						
SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING	QUANTITY	NOTES
	ARBUTUS MARINA	STRAWBERRY TREE	15 GALLON			2ND FLOOR TERRACE

RAISED PLANTERS AT UPPER TERRACES						
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT X SPRD.)	SPACING	NOTES
		POLYSTICHUM MUNIUM	SWORD FERN	#3	36" O.C.	
		SALVIA GREGGII	AUTUMN SAGE	#3	18" O.C.	
		BOUPELOUA GRACILIS	BLUE GRAMA GRASS	#3	18" O.C.	
		SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	#3	18" O.C.	
		ARMERIA MARITIMA 'ALBA'	'ALBA' SEA THRIFT	#3	6" O.C.	
		ROSMARINUS OFFICINALIS	TRAILING ROSEMARY			PLANTERS AT RAILING
		AKEBIA QUINATA	CHOCOLATE VINE	#3	AS SHOWN	NW CORNER PLAZA
		TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	#3	AS SHOWN	NW CORNER PLAZA
		TECOMA CAPENSIS	CAPE HONEYSUCKLE	#3	@ 48" O.C.	4TH AVE FACADE
		SOLANUM JASMINOIDES	POTATO VINE	#3	@ 48" O.C.	4TH AVE FACADE

PLANT SCHEDULE						
RAISED PLANTERS AT GROUND LEVEL						
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT X SPRD.)	SPACING	NOTES
		FESTUCA RUBRA	RED FESCUE	1 GAL.	12" O.C.	
		POLYSTICHUM MUNIUM	SWORD FERN	5 GAL.	12" O.C.	
		MAHONIA AQUIFOLIUM 'COMPACTA'	LOW ORANGE GRAPE	5 GAL.	12" O.C.	
		NEPETA X FASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	5 GAL.	18" O.C.	
		PENSTEMON ALOPECUROIDES 'HAMILTON'	DWARF FOUNTAIN GRASS	5 GAL.	18" O.C.	
		CISTUS SPP.	ROCKROSE	5 GAL.	7" O.C.	

AT GRADE STREETSCAPE PLANTING						
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT X SPRD.)	SPACING	NOTES
		FESTUCA IDAENSIS	IDAHO FESCUE	1 GAL.	12" O.C.	
		NANDINA DOMESTICA 'COMPACTA'	COMPACT HEAVENLY BAMBOO	5 GAL.	24" O.C.	
		SALVIA GREGGII	AUTUMN SAGE	5 GAL.	24" O.C.	
		POLYSTICHUM MUNIUM	SWORD FERN	5 GAL.	24" O.C.	

PLANTING NOTES

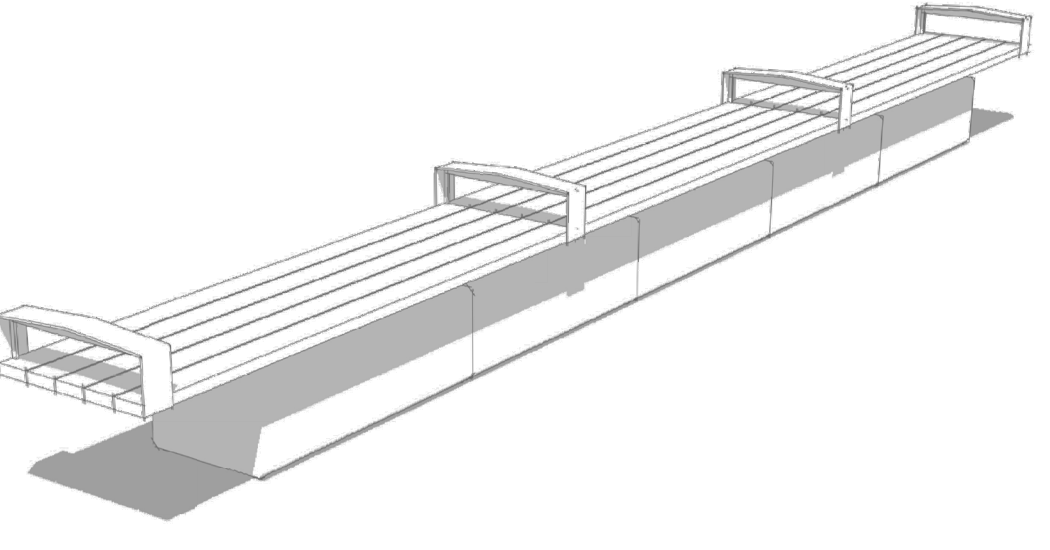
- 1. PLANTINGS TO BE 1 GAL. 24" O.C.

STORM FACILITY PLANTING SCHEDULE (INCLUDE ROW STORMWATER AREAS)

SYMBOL	%	PLANT SPECIES	MINIMUM SIZE	SPACING
	25	SALVIA LEUCOPHYLLA	#1 CONT.	1.5' O.C.
	25	CHONDROPETALUM TECHTUM	#1 CONT.	1.5' O.C.
	25	JUNCUS PATENS 'ELK BLUE'	#1 CONT.	1.5' O.C.
	25	DESCHAMPSIA CESPITOSA	#1 CONT.	1.5' O.C.

- NOTE:  
1. PLANT QUANTITIES IN 'STORM FACILITY PLANTING SCHEDULE' ARE BROKEN OUT FOR PERMIT REVIEW.  
2. STORM FACILITY PLANT QUANTITIES ARE CALCULATED TO OVERFLOW LEVEL OF BASIN.

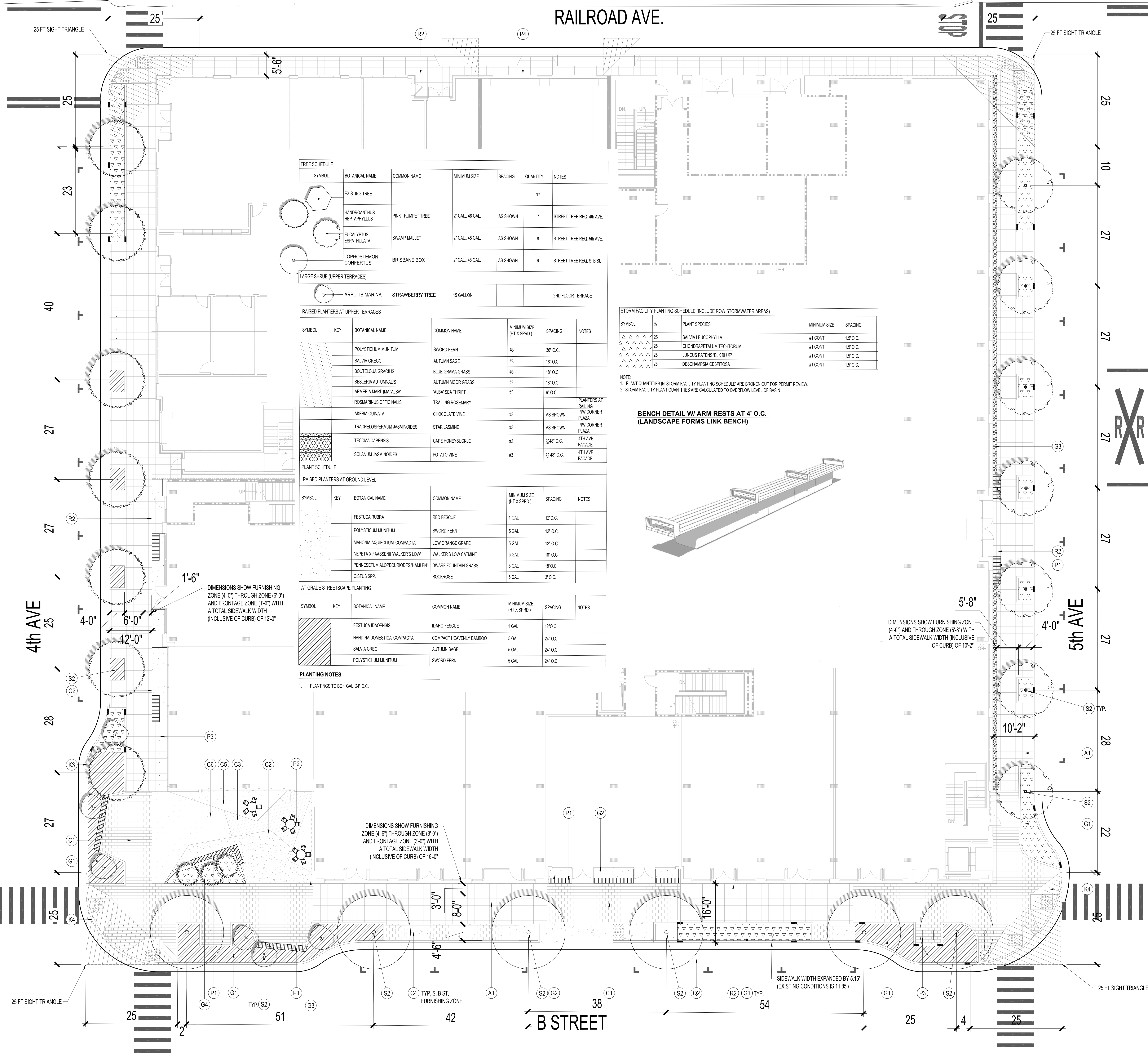
BENCH DETAIL W/ ARM RESTS AT 4' O.C.  
(LANDSCAPE FORMS LINK BENCH)



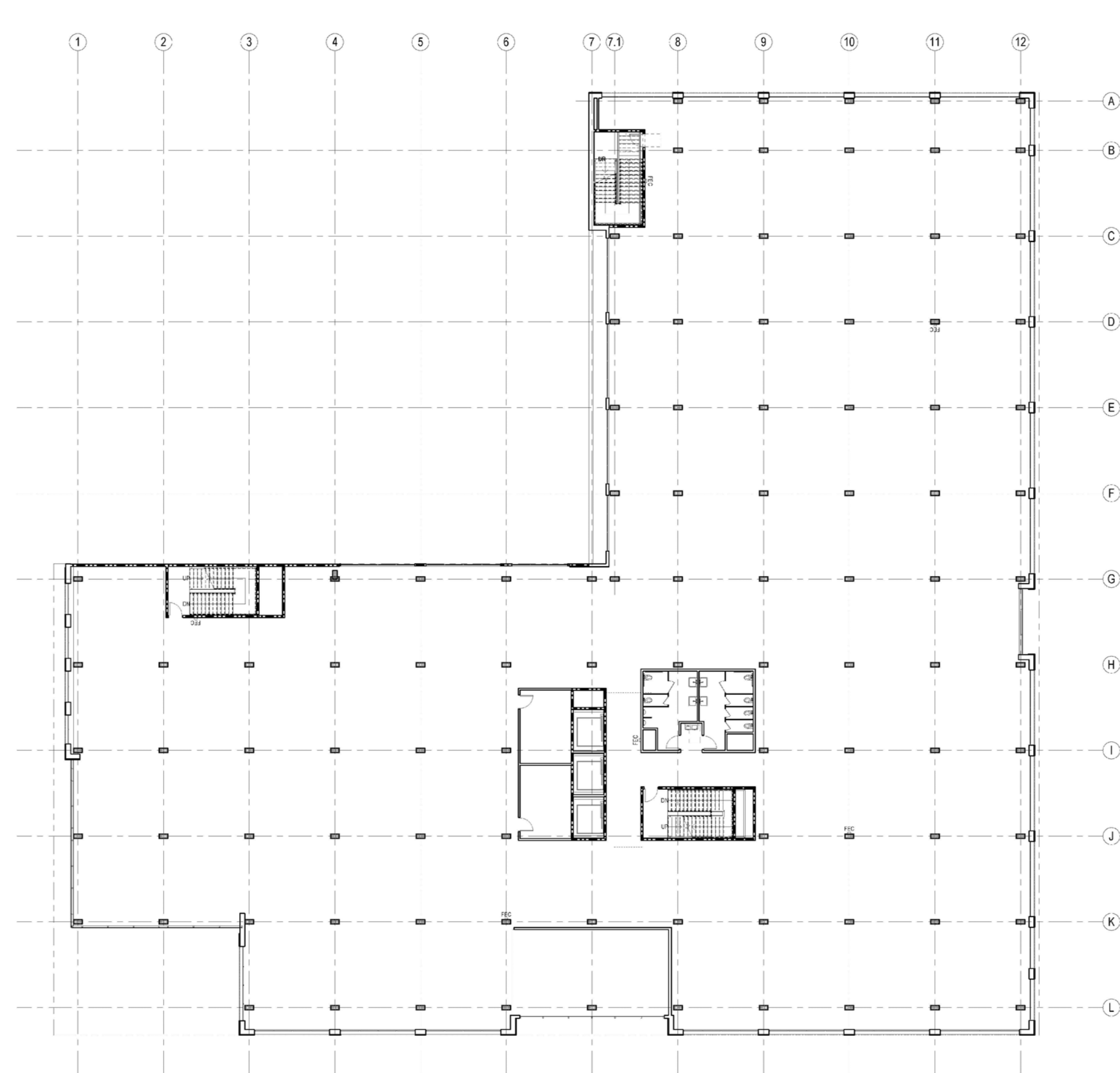
DIMENSIONS SHOW FURNISHING ZONE (4'-0") AND THROUGH ZONE (5'-8") WITH A TOTAL SIDEWALK WIDTH (INCLUSIVE OF CURB) OF 10'-2"

DIMENSIONS SHOW FURNISHING ZONE (4'-0") THROUGH ZONE (8'-0") AND FRONTAGE ZONE (3'-0") WITH A TOTAL SIDEWALK WIDTH (INCLUSIVE OF CURB) OF 16'-0"

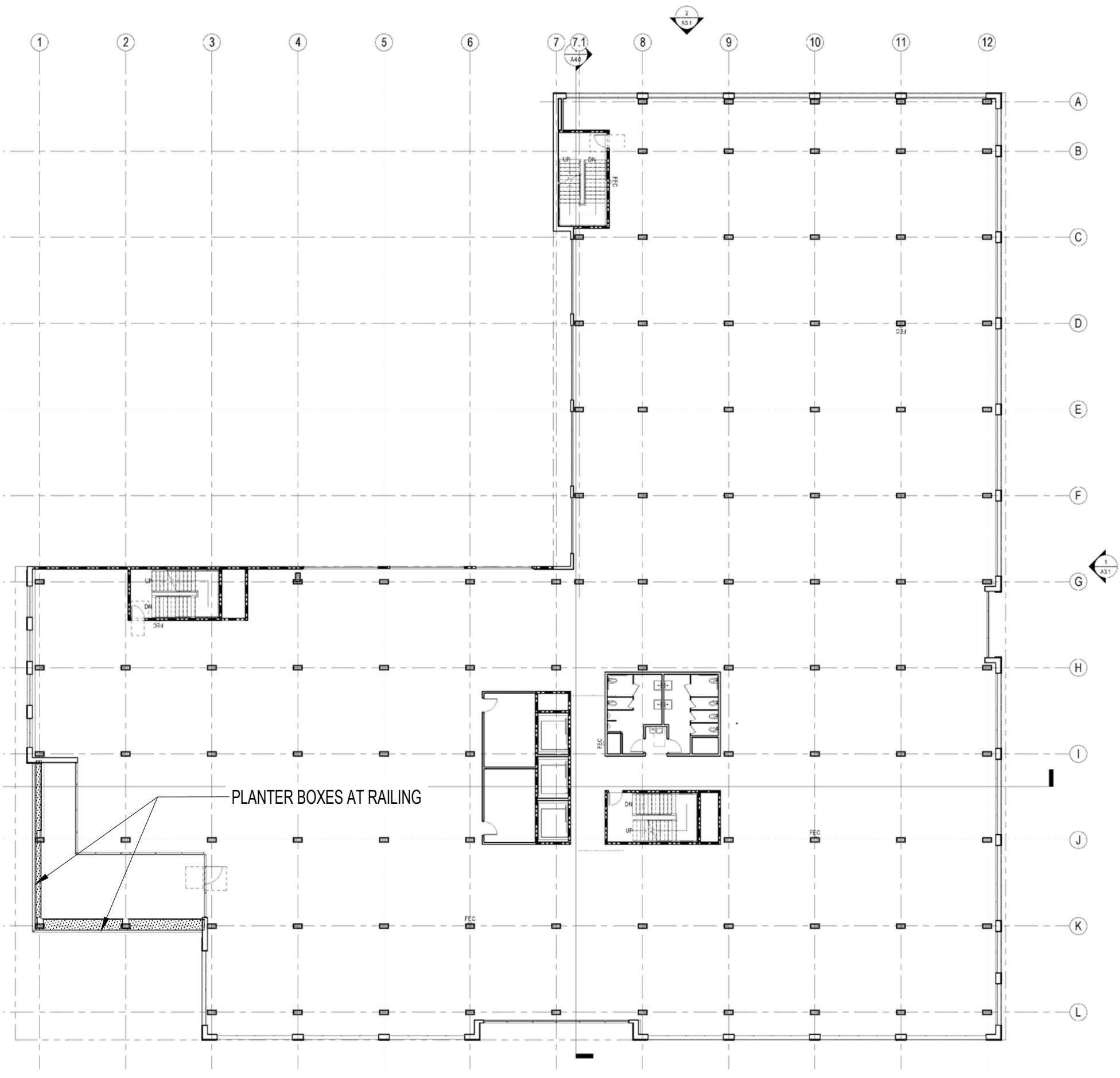
SIDEWALK WIDTH EXPANDED BY 5.15' (EXISTING CONDITIONS IS 11.85')



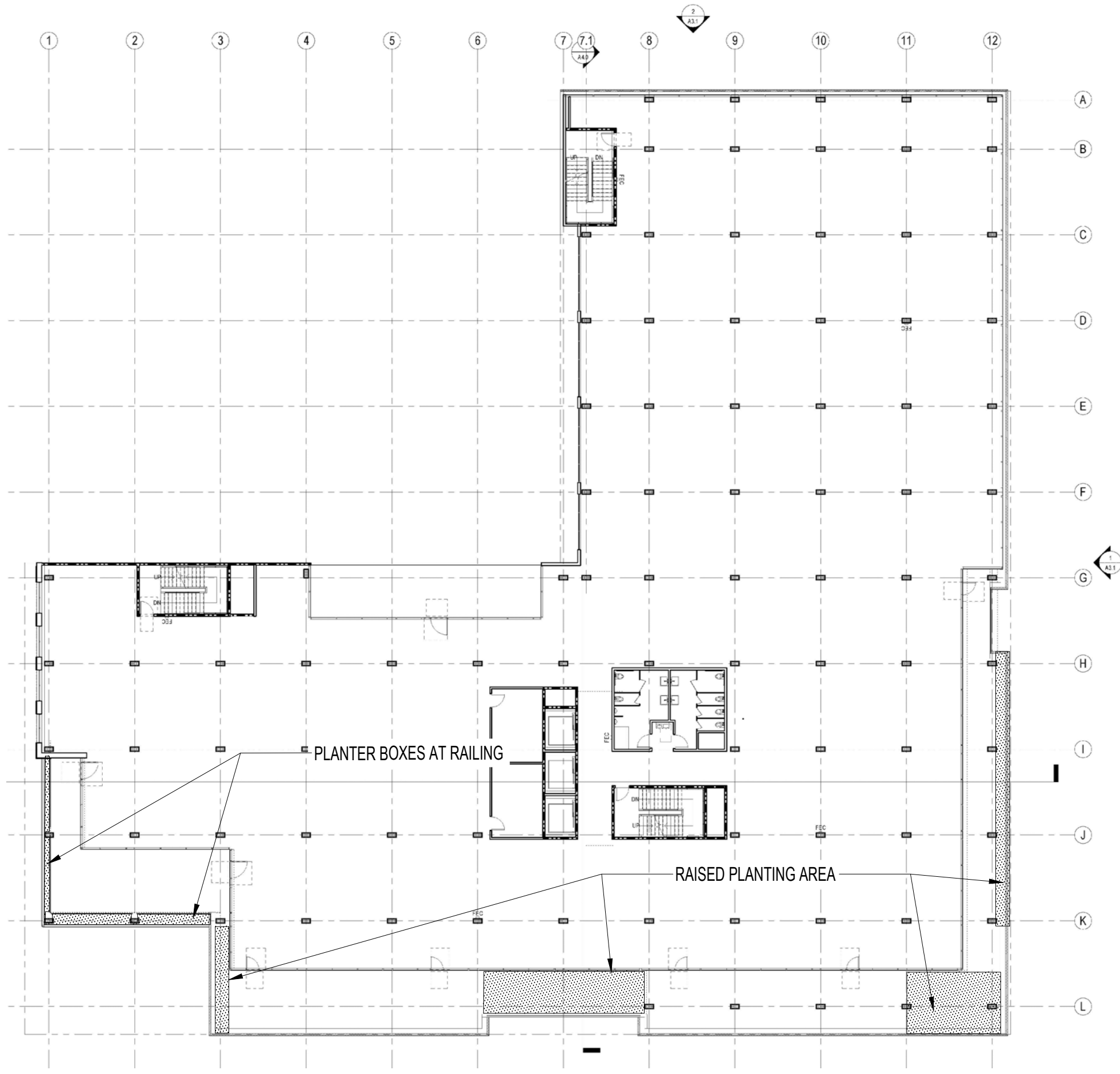




2ND FLOOR



3RD FLOOR



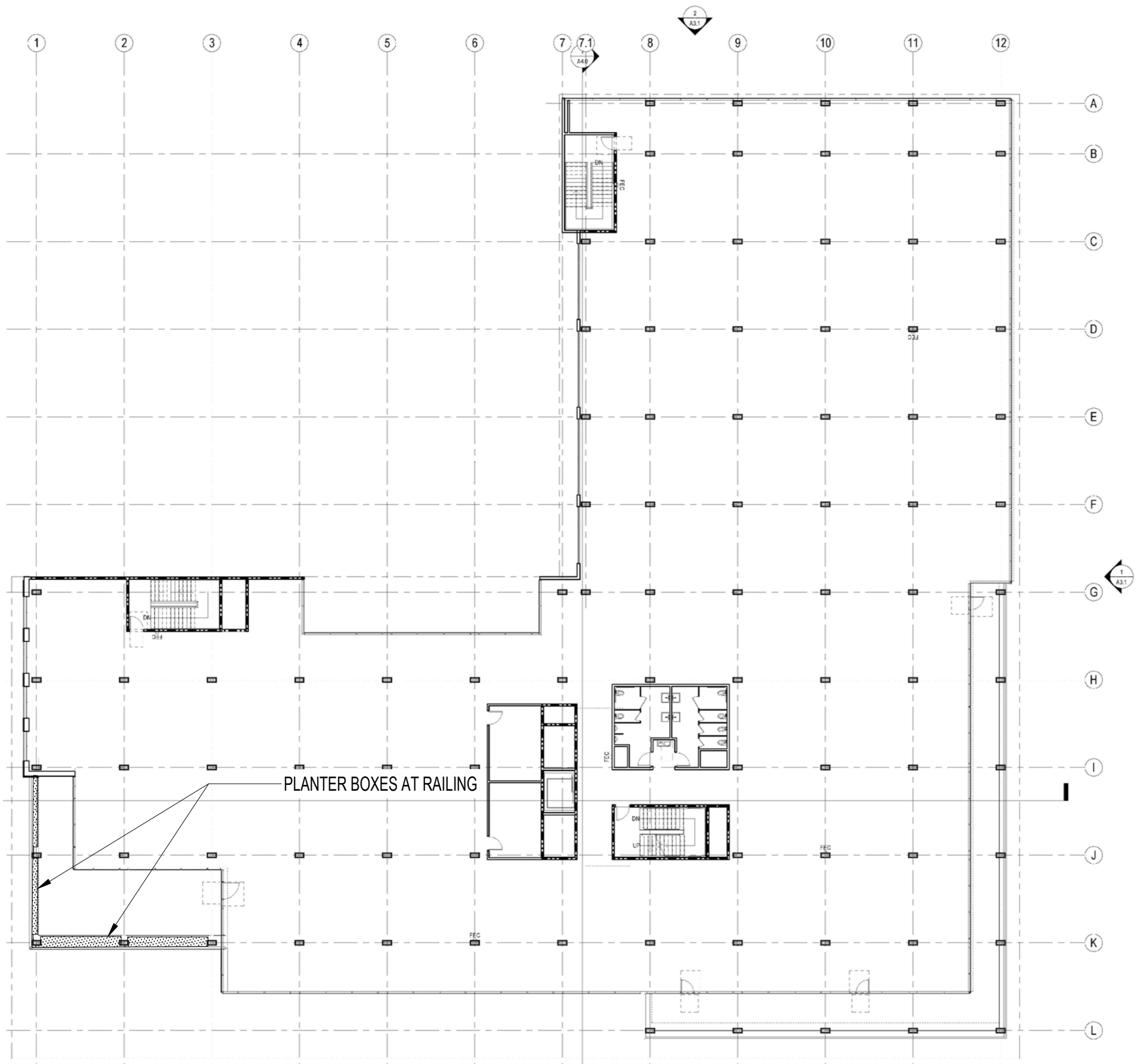
4TH FLOOR

TREE SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING	QUANTITY	NOTES
	EXISTING TREE				NA	
	HANDROANTHUS HEPTAPHYLLUS	PINK TRUMPET TREE	2' CAL., 48 GAL.	AS SHOWN	7	STREET TREE REQ. 4th AVE.
	EUCALYPTUS EUCALYPTUS	SWAMP MALLET	2' CAL., 48 GAL.	AS SHOWN	8	STREET TREE REQ. S. B ST.
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	2' CAL., 48 GAL.	AS SHOWN	6	STREET TREE REQ. 5th AVE.
LARGE SHRUB (UPPER TERRACES)						
	ARBUTIS MARINA	STRAWBERRY TREE	15 GALLON			2ND FLOOR TERRACE
RAISED PLANTERS AT UPPER TERRACES						
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT X SPRD.)	SPACING	NOTES
		POLYSTICHUM MUNTIUM	SWORD FERN	#3	36" O.C.	
		SALVIA GREGGI	AUTUMN SAGE	#3	18" O.C.	
		BOUTELOUA GRACILIS	BLUE GRAMA GRASS	#3	18" O.C.	
		SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	#3	18" O.C.	
		ARMERIA MARITIMA 'ALBA'	'ALBA' SEA THRIFT	#3	6" O.C.	
		ROSMARINUS OFFICINALIS	TRAILING ROSEMARY			PLANTERS AT RAILING
		AKEBIA QUINATA	CHOCOLATE VINE	#3	AS SHOWN	NW CORNER PLAZA
		TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	#3	AS SHOWN	NW CORNER PLAZA
		TECOMA CAPENSIS	CAPE HONEYSUCKLE	#3	@48" O.C.	4TH AVE FACADE
		SOLANUM JASMINOIDES	POTATO VINE	#3	@ 48" O.C.	4TH AVE FACADE
PLANT SCHEDULE						
RAISED PLANTERS AT GROUND LEVEL						
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT X SPRD.)	SPACING	NOTES
		FESTUCA RUBRA	RED FESCUE	1 GAL.	12" O.C.	
		POLYSTICHUM MUNTIUM	SWORD FERN	5 GAL.	12" O.C.	
		MAHONIA AQUIFOLIUM 'COMPACTA'	LOW ORANGE GRAPE	5 GAL.	12" O.C.	
		NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	5 GAL.	18" O.C.	
		PENNESETUM ALOPECUROIDES 'HAMLEN'	DWARF FOUNTAIN GRASS	5 GAL.	18" O.C.	
		CISTUS SPP.	ROCKROSE	5 GAL.	3' O.C.	
AT GRADE STREETSCAPE PLANTING						
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT X SPRD.)	SPACING	NOTES
		FESTUCA IDAENSIS	IDAHO FESCUE	1 GAL.	12" O.C.	
		NANDINA DOMESTICA 'COMPACTA'	COMPACT HEAVENLY BAMBOO	5 GAL.	24" O.C.	
		SALVIA GREGGI	AUTUMN SAGE	5 GAL.	24" O.C.	
		POLYSTICHUM MUNTIUM	SWORD FERN	5 GAL.	24" O.C.	

- PLANTING NOTES**
1. PLANTINGS TO BE 1 GAL. 24" O.C.

STORM FACILITY PLANTING SCHEDULE (INCLUDE ROW STORMWATER AREAS)					
SYMBOL	%	PLANT SPECIES	MINIMUM SIZE	SPACING	QUANTITY
	25	SALVIA LEUCOPHYLLA	#1 CONT.	1.5' O.C.	
	25	CHONDRAPETALUM TECHTORIUM	#1 CONT.	1.5' O.C.	
	25	JUNCUS PATENS 'ELK BLUE'	#1 CONT.	1.5' O.C.	
	25	DESCHAMPSIA CESPITOSA	#1 CONT.	1.5' O.C.	

NOTE:  
1. PLANT QUANTITIES IN 'STORM FACILITY PLANTING SCHEDULE' ARE BROKEN OUT FOR PERMIT REVIEW.  
2. STORM FACILITY PLANT QUANTITIES ARE CALCULATED TO OVERFLOW LEVEL OF BASIN.



5TH FLOOR

RAW

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PROMETHEUS

PROJECT NAME & ADDRESS:

401-445 S. B STREET

401-445 S. B STREET  
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS:

DESCRIPTION	DATE
PLANNING SUBMISSION	2/01/2023

SCALE:

PROJECT NUMBER: 2202017.00  
DRAWN BY: TH  
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STAMP:

NOT FOR  
CONSTRUCTION

SHEET NAME:  
LANDSCAPE  
PLAN-DIAGRAMS, 2ND,  
3RD, 4TH & 5TH FLOORS

SHEET NUMBER:

L.1.1



FOR ILLUSTRATIVE PURPOSES ONLY



CORNER PLAZA AT 4TH AVE & S. B STREET. GREENWALL ON NORTH FACADE WITH PLANTING AT UPPER TERRACES. PALMS LINK THE LARGE CORNER PLANTER TO THE UPPER LEVELS WITH VEGETATION.



MID BLOCK ENTRY, SHOWING WIDENED SIDEWALK AND SEATING AREAS IN FRONTAGE ZONE.



CORNER PLAZA AT 4TH AVE & S. B STREET. LARGE CORNER PLANTER RECHARGES GROUNDWATER. BULBOUT AND CURB EXTENSIONS ALLOW FOR ENHANCED PLANTING AND ALCOVES FOR SEATING. (BIRDSEYE)



GROUND LEVEL PLANTING AREAS BRIDGE TO THE UPPER LEVELS VIA PALMS AND GREEN WALL FEATURE. LOOKING DIAGONALLY FROM THE NORTHEAST CORNER OF 4TH AVE AND S. B STREET.

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ISSUE DATE:

REVISIONS:

DESCRIPTION	DATE
PLANNING SUBMISSION	2/01/2023

SCALE:

PROJECT NUMBER:	2202017.00
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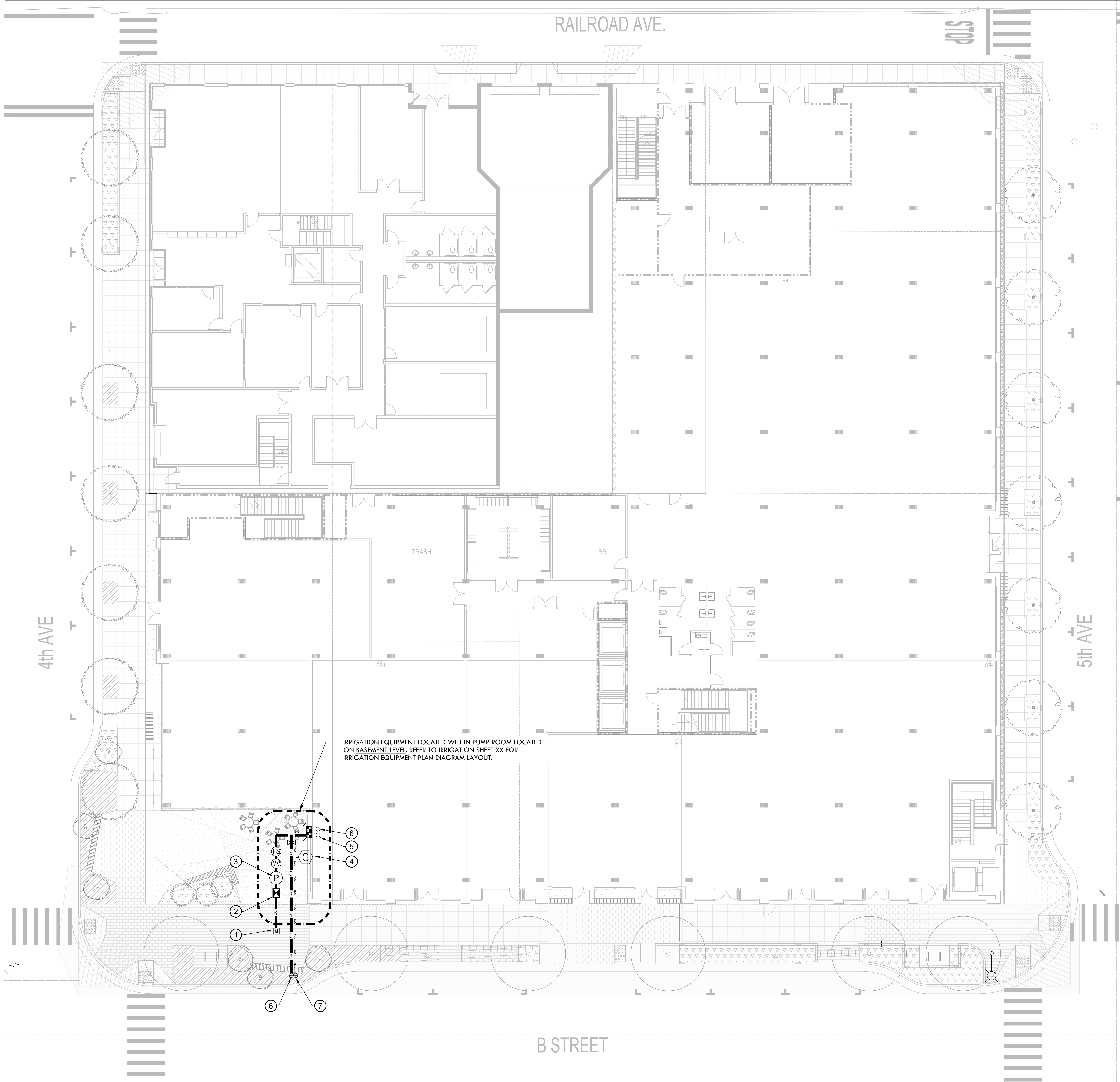
NOT FOR  
CONSTRUCTION

SHEET NAME:  
ILLUSTRATIVE  
RENDERINGS

SHEET NUMBER:

L2.0





PLAN NOTES LEGEND

- 1 1" METER FOR IRRIGATION AT THIS APPROXIMATE LOCATION. REFER TO CIVIL DRAWINGS FOR EXACT LOCATION OF METER. MAXIMUM IRRIGATION DEMAND: 13 GPM AT APPROXIMATELY XX PSI STATIC PRESSURE AT WATER METER LOCATION.
- 2 1" BACKFLOW PREVENTER FOR IRRIGATION SYSTEM.
- 3 APPROXIMATE LOCATION OF IRRIGATION BOOSTER PUMP BY OTHERS. PRESSURE ON DISCHARGE SIDE OF BOOSTER PUMP SHALL BE 55 PSI.
- 4 IRRIGATION CONTROLLER "C", MOUNT ON INTERIOR WALL AT THIS LOCATION AS DETAILED AND AS DIRECTED BY ARCHITECT. CONNECT TO 120 VOLT A.C. ELECTRICAL SERVICE INSTALLED AT THIS LOCATION UNDER ELECTRICAL CONTRACT. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION.
- 5 1" COPPER PIPE STUB-OUTS FOR IRRIGATION FOR PLANTERS AT LEVELS 2 & 4 TO BE PROVIDED AND INSTALLED UNDER PLUMBING CONTRACT. COORDINATE INSTALLATION OF PIPES WITH GENERAL/PLUMBING CONTRACTOR(S) PRIOR TO CONSTRUCTION .
- 6 1" COPPER PIPE STUB-OUTS FOR IRRIGATION FOR PLANTERS AT LEVELS 3, 4 & 5 TO BE PROVIDED AND INSTALLED UNDER PLUMBING CONTRACT. COORDINATE INSTALLATION OF PIPES WITH GENERAL/PLUMBING CONTRACTOR(S) PRIOR TO CONSTRUCTION .
- 7 1.25" COPPER PIPE STUB-OUT FOR IRRIGATION FROM MECHANICAL ROOM TO THIS APPROXIMATE LOCATION TO SERVICE SITE LEVEL PLANTERS TO BE PROVIDED AND INSTALLED UNDER PLUMBING CONTRACT . COORDINATE INSTALLATION OF PIPES WITH GENERAL/PLUMBING CONTRACTOR(S) PRIOR TO CONSTRUCTION .
- 8 1.25" ELECTRICAL CONDUIT AND SPICE BOX FOR IRRIGATION 2-WIRE CABLE TO BE PROVIDED AND INSTALLED FROM IRRIGATION CONTROLLER "C" TO THIS APPROXIMATE LOCATION UNDER ELECTRICAL CONTRACT. COORDINATE INSTALLATION OF CONDUIT WITH GENERAL/ELECTRICAL CONTRACTOR(S) PRIOR TO CONSTRUCTION.

NOTES:

- 1. ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLERS AS DETAILED.
- 2. IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITH SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- 3. UNSIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
- 4. SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

0.75"	0-6 GPM
1"	7-12 GPM
1.25"	13-20 GPM
- 5. SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:

0.75	0-500 FT
1"	501-1100 FT
1.25"	1101-2000 FT

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HARVEST

LANDSCAPE

PROMETHEUS

PROJECT NAME & ADDRESS:  
BESPOKE

401-445 S. B STREET  
SAN MATEO, CA 94401

ISSUE:  
ISSUE DATE:

REVISIONS :

	DESCRIPTION	DATE
1	PRE-APPLICATION	1/31/2022
2	PRE-APPLICATION RESUBMISSION	6/10/2022
	PLANNING SUBMISSION	2/01/2023

SCALE:

PROJECT NUMBER: 2202017.00

DRAWN BY: TH

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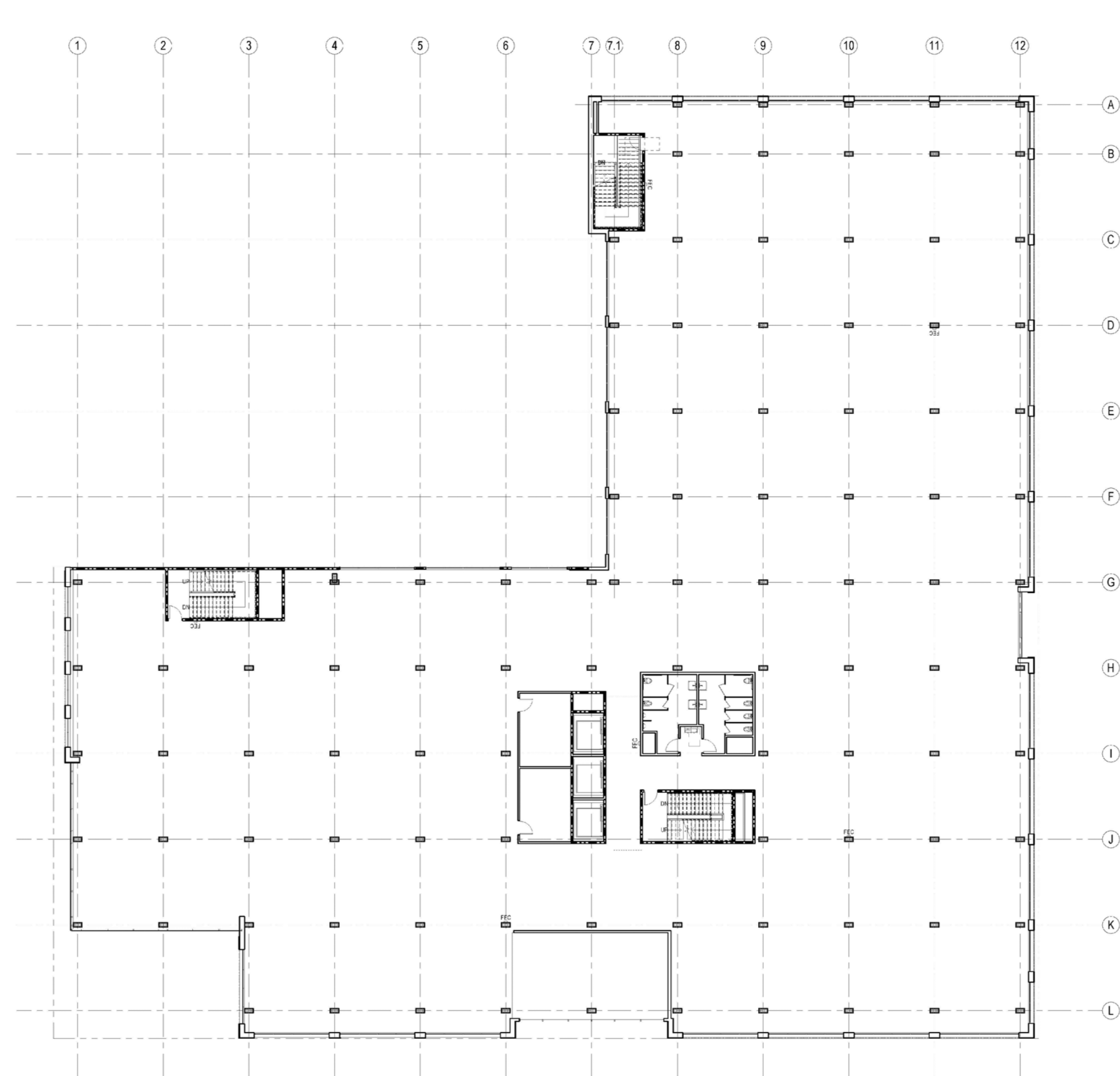
SHEET NAME:  
IRRIGATION PLAN,  
GROUND LEVEL

Irrigation Consultant:  
Russell D. Mitchell Associates, Inc.  
2760 Camino Diablo  
Walnut Creek, CA 94597  
tel 925.939.3985 ♦ fax 925.932.5671  
www.rmairrigation.com

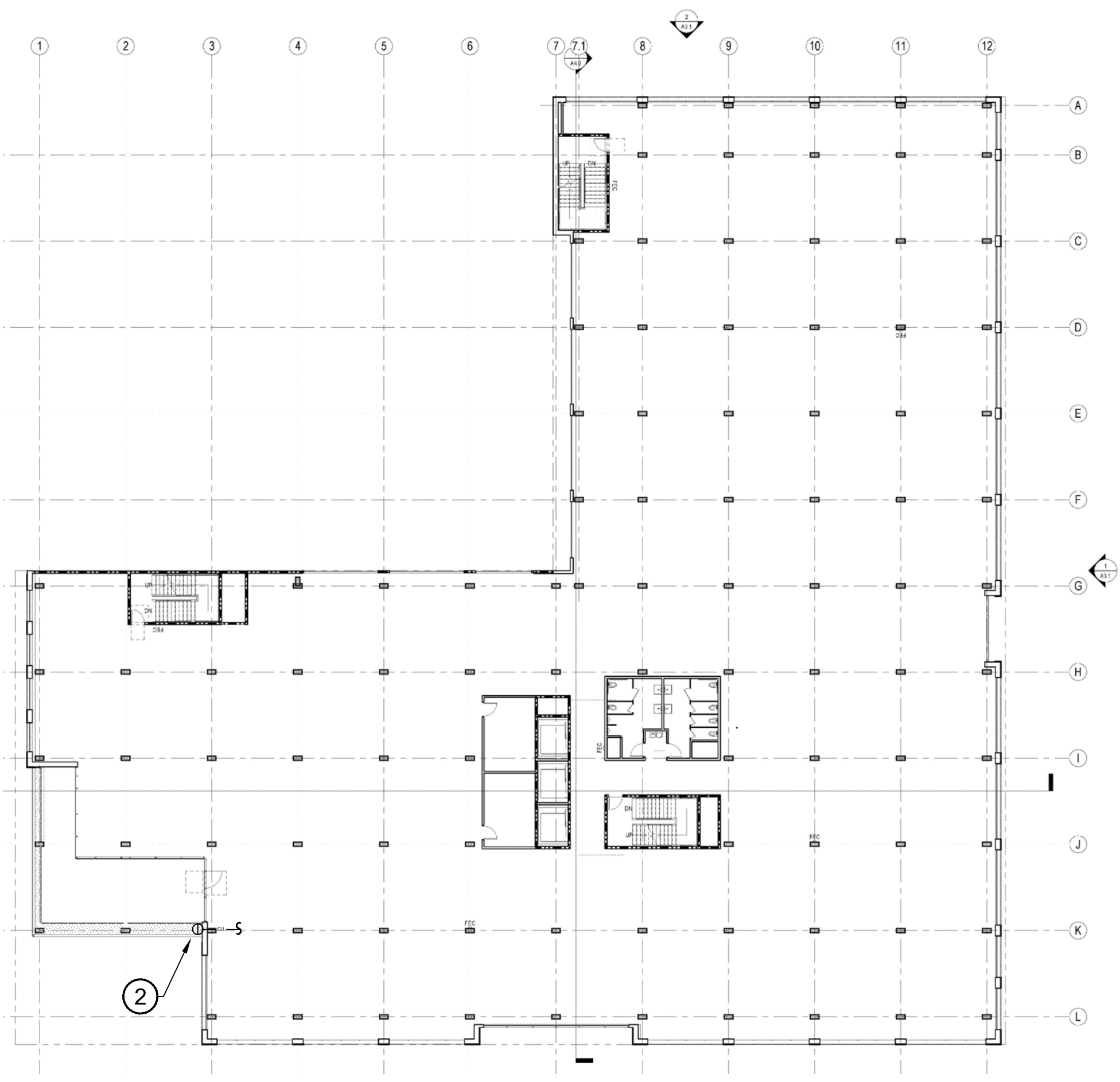


SHEET NUMBER:  
L.3.0

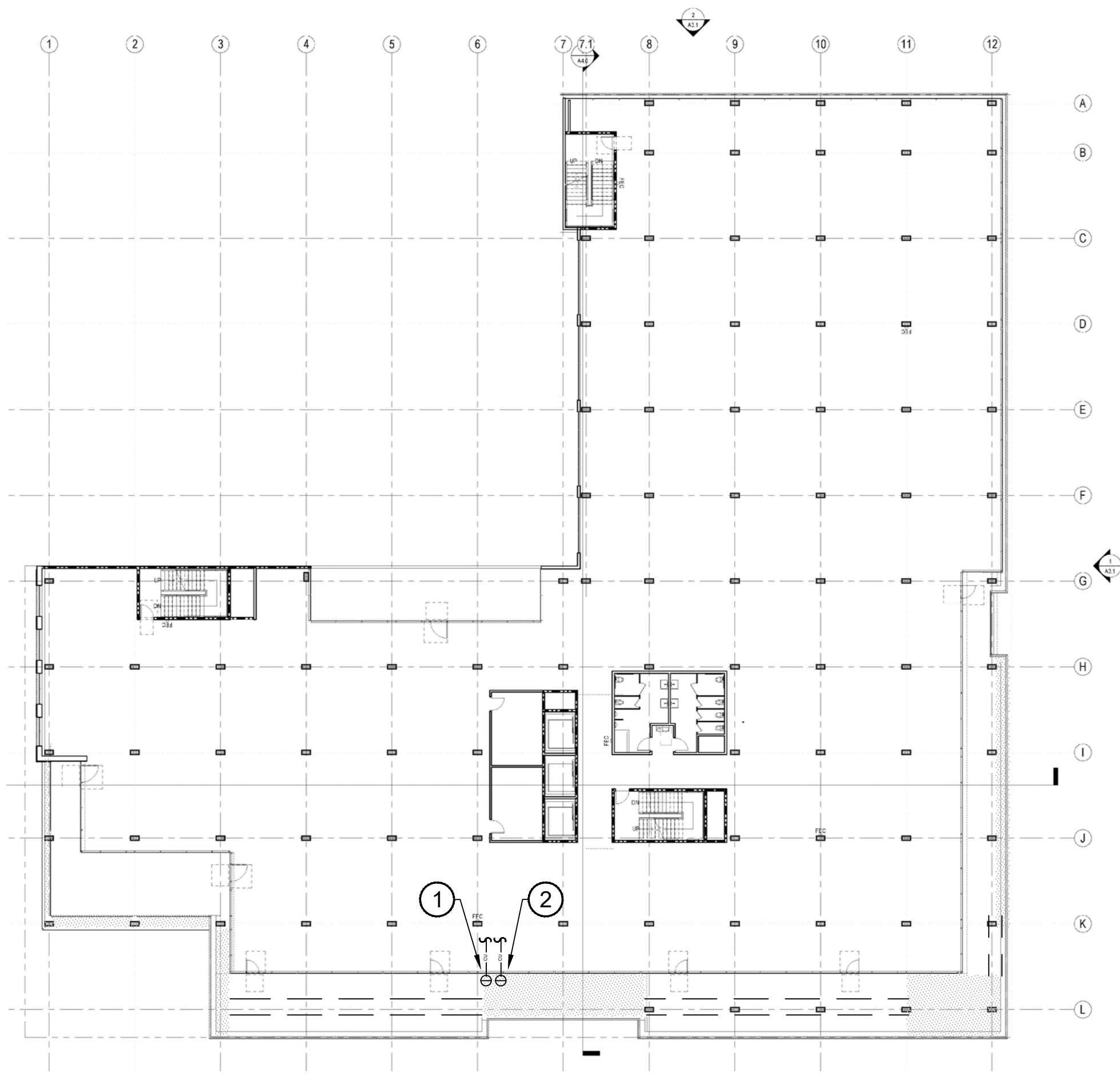




2ND FLOOR



3RD FLOOR



4TH FLOOR

PLAN NOTES LEGEND

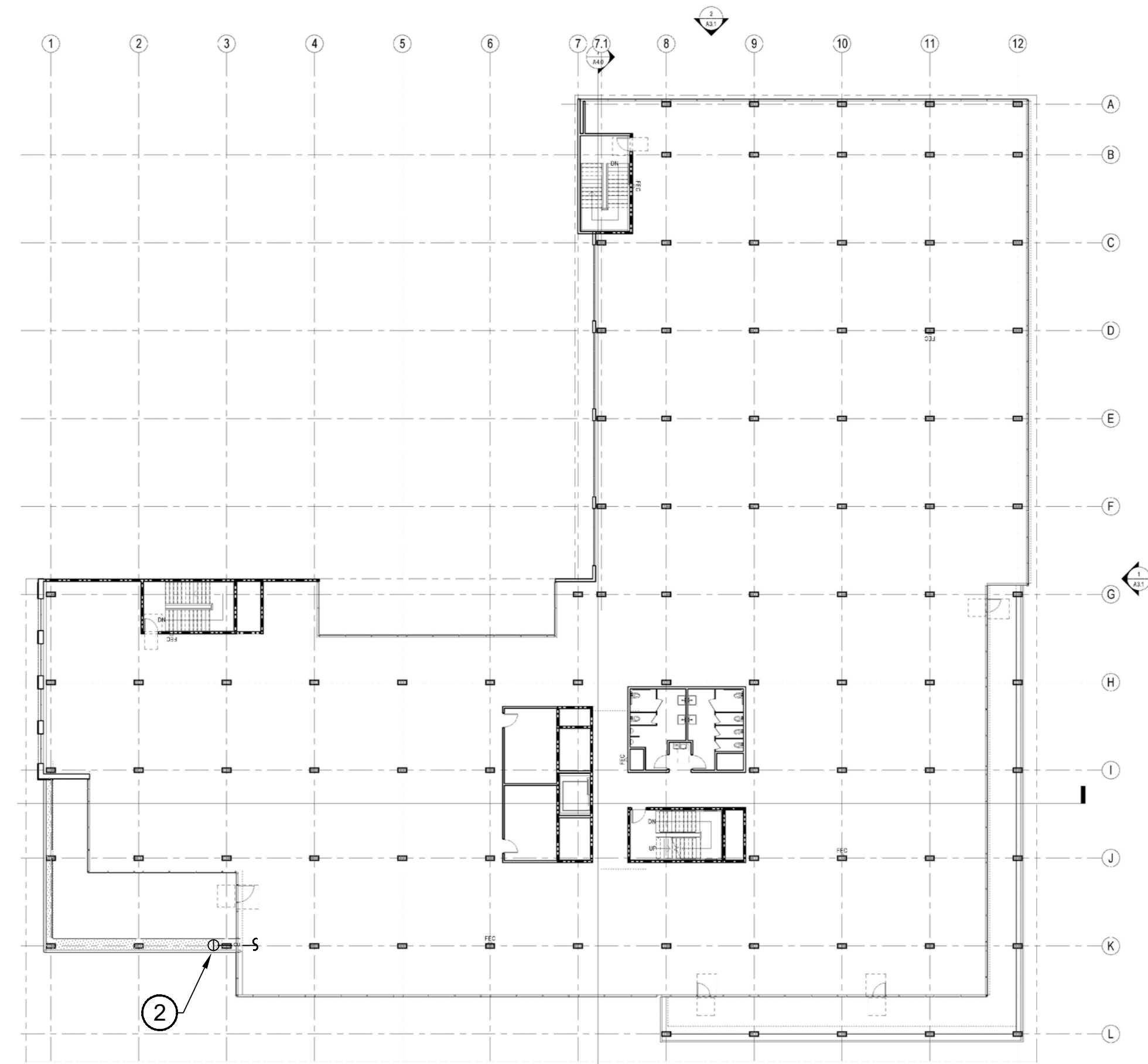
- ① 1" COPPER PIPE STUB-OUTS FOR IRRIGATION FROM REMOTE CONTROL VALVE XX LOCATED INSIDE MECHANICAL ROOM AT BASEMENT LEVEL TO THIS APPROXIMATE LOCATION TO BE PROVIDED AND INSTALLED UNDER PLUMBING CONTRACT. COORDINATE INSTALLATION OF PIPES WITH GENERAL/PLUMBING CONTRACTOR(S) PRIOR TO CONSTRUCTION .
- ② 1" COPPER PIPE STUB-OUTS FOR IRRIGATION FROM REMOTE CONTROL VALVE XX LOCATED INSIDE MECHANICAL ROOM AT BASEMENT LEVEL TO THIS APPROXIMATE LOCATION TO BE PROVIDED AND INSTALLED UNDER PLUMBING CONTRACT. COORDINATE INSTALLATION OF PIPES WITH GENERAL/PLUMBING CONTRACTOR(S) PRIOR TO CONSTRUCTION .

NOTES:

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- UNSIZE LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

0.75"	0-6 GPM
1"	7-12 GPM
1.25"	13-20 GPM
- SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:

0.75	0-500 FT
1"	501-1100 FT
1.25"	1101-2000 FT



5TH FLOOR

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160 Pine Street  
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PROJECT NAME & ADDRESS:

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SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS:

REVISIONS	DESCRIPTION	DATE
1	PRE-APPLICATION	1/31/2022
2	PRE-APPLICATION RESUBMISSION	6/10/2022
	PLANNING SUBMISSION	2/01/2023

SCALE:

PROJECT NUMBER:	2202017.00
DRAWN BY:	TH
CHECKED BY:	CB

STAMP:

NOT FOR  
CONSTRUCTION

SHEET NAME:

IRRIGATION  
PLAN-DIAGRAMS, 2ND,  
3RD, 4TH & 5TH FLOORS

SHEET NUMBER:

L.3.1

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IRRIGATION NOTES

1.

THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
2.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
3.

THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
4.

THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
5.

IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
6.

IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
7.

INSTALL NEW BATTERIES IN THE IRRIGATION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
8.

SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
9.

INSTALL 3" DETECTABLE TAPE ABOVE ALL PRESSURIZED MAIN LINES AS DETAILED. USE CHRISTY MODEL #TA-DT-3-BIRR FOR POTABLE IRRIGATION SYSTEMS.
10.

INSTALL 2-WIRE CABLE ALONG THE MAIN LINE. CONTACT CONTROLLER REPRESENTATIVE FOR A PRE-CONSTRUCTION MEETING.
11.

INSTALL 2-WIRE CABLE WITHIN 1.25" CONDUIT WITH LONG SWEEPS IN AND OUT OF EACH VALVE BOX. SEAL ALL CONDUIT OPENINGS WITH WATERPROOF FOAM.
12.

INSTALL A 14"x19" GREY ELECTRICAL PULL BOX EVERY 200' AND AT EVERY CHANGE IN DIRECTION. ONLY SPLICE TWO WIRE CABLE AT THREE WAY WIRE CONNECTIONS.
13.

IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. SIZE #14AWG WIRE WITH A JACKETED 2-CONDUCTOR. PREFERRED WIRE MAKE AND MODEL IS TW-CAB-14. ALL SPLICING SHALL BE MADE WITH 3-M DBR/Y-6 WATERPROOF SPLICE KIT.
14.

DECODER GROUNDING SHALL BE PROVIDED EVERY 600 FEET, AT THE CONTROLLER AND AT THE LAST DECODER OR AT THE END OF THE 2 WIRE PATH. GROUND WITH A 5/8" X 8" COPPER CLAD GROUNDING ROD. #6 COPPER WIRE TO SURGE DEVICE/DECODER. INCLUDE A SURGE ARRESTOR AT EACH GROUNDING LOCATION. A SPUT BOLT CONNECTION TO BE USED TO CONNECT THE SURGE DEVICE TO THE GROUND WIRE WITH A DBR/Y-6 WATERPROOF CONNECTOR.
15.

SPLICING OF JACKETED 2-WIRE IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 24" LONG COIL OF WIRE AT EACH SPLICE AND A 24" LONG EXPANSION LOOP IN ALL PULL BOXES.
16.

INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION CONTROL VALVE". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
17.

INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.
18.

VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS (AVOID LAWN AREAS WHERE POSSIBLE).
19.

THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
20.

FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
21.

SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE.
22.

LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.
23.

INSTALL A HUNTER HCV SERIES, KBI CVY SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
24.

WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.
25.

NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
26.

THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
27.

IRRIGATION DEMAND: REFER TO PLANS.
28.

THE EXISTING MAIN LINE SHOWN ON THE DRAWINGS IS DIAGRAMMATIC. VERIFY AND LOCATE EXISTING MAIN LINE IN FIELD. REPORT TO ARCHITECT IN WRITING ANY DEVIATION OF EXISTING MAIN LINE LOCATION FROM THAT SHOWN ON THE DRAWINGS.
29.

PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
30.

PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
31.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
32.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES IN THE IRRIGATION LAYOUT AND VALVE ZONING DUE TO VARIATIONS IN THE EXISTING SITE CONDITIONS SUCH AS EXPOSURE FROM BUILDINGS, TRELLISES, TREES, ETC., AS WELL AS SLOPE AND SOIL CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF THE PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.
33.

THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE IRRIGATION SYSTEM DESIGN IF THE PLANTING DESIGN CHANGES FROM THE ORIGINAL PLAN AND NEEDS TO ADAPT TO THE NEW PLANTING DESIGN. THE LANDSCAPE CONTRACTOR NEEDS TO NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.
34.

WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
35.

CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIPLINE AREAS UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.
36.

VERIFY LOCATIONS OF ALL IRRIGATION COMPONENTS INSTALLED WITHIN A VALVE BOX WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. DO NOT INSTALL UNTIL LANDSCAPE ARCHITECT PROVIDES ACCEPTABLE LOCATIONS.

IRRIGATION COORDINATION NOTES

1.

PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL ALL PIPING WITHIN THE STRUCTURE. PIPE MATERIAL SHALL BE APPROVED FOR USE WITHIN A STRUCTURE PER PLUMBING CODE. REFER TO MEP OR PLUMBING DRAWING FOR EXACT ROUTING THOUGH THE STRUCTURE. REFER TO IRRIGATION PLANS FOR APPROXIMATE LOCATION OF STUB OUT LOCATIONS. EXIT OF PIPE TO BE WITHIN PLANTERS WHERE POSSIBLE. ALL PENETRATION POINTS SHALL BE WATERPROOFED AS REQUIRED.
2.

IRRIGATION SLEEVES OR CONDUITS WITHIN PRECAST OR POURED IN PLACE PLANTERS SHALL BE COORDINATED AND INSTALLED PRIOR TO THE CONSTRUCTION. ALL PENETRATION POINTS SHALL BE WATERPROOFED AS REQUIRED.
3.

ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, PULL BOXES AND WIRE IN STRUCTURE. THE DRAWINGS INDICATE REQUIRED CONDUIT SIZE AND TYPE OF LOW VOLTAGE CABLE. FINAL CONNECTION OR WIRING TO REMOTE CONTROL VALVES AND CONTROLLER SHALL BE COMPLETED BY IRRIGATION CONTRACTOR.

IRRIGATION WATER USE CALCULATIONS

4th and Railroad Commercial - WATER USE ESTIMATION													
WATER TYPE		POTABLE											
SITE ETOH		42.7											
REGULAR LANDSCAPE AREAS													
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GALL./YR)	ACRE FEET/ YEAR	MCF/ YEAR	PERCENTAGE OF LANDSCAPE	
1	SHRUBS/SC	LOW	0.2	DRIP	0.81	0.247	575	142	3,759	0.01	5.02	14%	
2	RAISED PLANTERS STREET	LOW	0.2	DRIP	0.81	0.247	181	45	1,183	0.00	1.58	4%	
3	RAISED PLANTERS LEVELS	MOD	0.5	DRIP	0.81	0.617	450	278	7,354	0.02	9.83	11%	
4	BIORETENTION	LOW	0.2	DRIP	0.81	0.247	1,223	302	7,894	0.02	10.69	30%	
5	TREES	MOD	0.5	BUBBLER	0.81	0.617	1,680	1,037	27,455	0.08	36.70	41%	
TOTALS							4,109	1,803	47,745	0.15	63.83	100%	
SPECIAL LANDSCAPE AREAS													
HYDROZONE #	HYDROZONE NAME												
-													
TOTALS							1						0%
								0					0%
MAWA	GALLONS/YR	48,952											
	ACRE FEET/YR	0.15											
	HCF/YR	65.44											
ETWU	GALLONS/YR	47,745											
	ACRE FEET/YR	0.15											
	HCF/YR	63.83											
SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT											
68.6%	0.29	YES											
ETAF Calculations													
REGULAR LANDSCAPE AREAS													
TOTAL ETAF x AREA		1,803											
TOTAL AREA		4,109											
AVG. ETAF		43.89%											

IRRIGATION DESIGN NARRATIVE

THE PROPOSED IRRIGATION SYSTEM FOR THIS SITE WILL BE DESIGNED WITH THE LATEST TECHNOLOGY IN WATER CONSERVATION AND EFFICIENCY. THE SYSTEM WILL CONSIST OF THE FOLLOWING TYPES OF IRRIGATION METHODS AND EQUIPMENT COMPLYING WITH THE STATE WATER ORDINANCE. ALL SMALL PLANTING BEDS WILL BE IRRIGATED WITH WATER CONSERVING AND HIGHLY EFFICIENT INLINE DRIP. ALL BIORETENTION WILL BE IRRIGATED WITH INLINE DRIP SPACED AT 12" O.C. SINCE BIORETENTION AREAS ARE LESS THAN 10 FT WIDE. THE CONTROLLER THAT WILL MANAGE THIS SYSTEM USES LOCAL WEATHER TO ADJUST THE RUN TIMES OF THE VALVES BASED ON DAILY WEATHER CONDITIONS. UTILIZING THIS TYPE OF WEATHER-BASED SYSTEM WILL HELP THE LANDSCAPE MANAGER SAVE 25% MORE WATER THAN WITH A CONVENTIONAL CONTROLLER.

IRRIGATION ZONES

1.

LOW AND MODERATE WATER-USE SHRUBS/GROUND COVER/FLOWERING PLANTS: TO BE IRRIGATED WITH INLINE DRIP
2.

LARGE SHRUBS AND TREES: TO BE IRRIGATED USING POINT SOURCE BUBBLERS.
3.

STORMWATER TREATMENT: TO BE IRRIGATED WITH INLINE DRIP SPACED AT 12" O.C.

IRRIGATION LEGEND

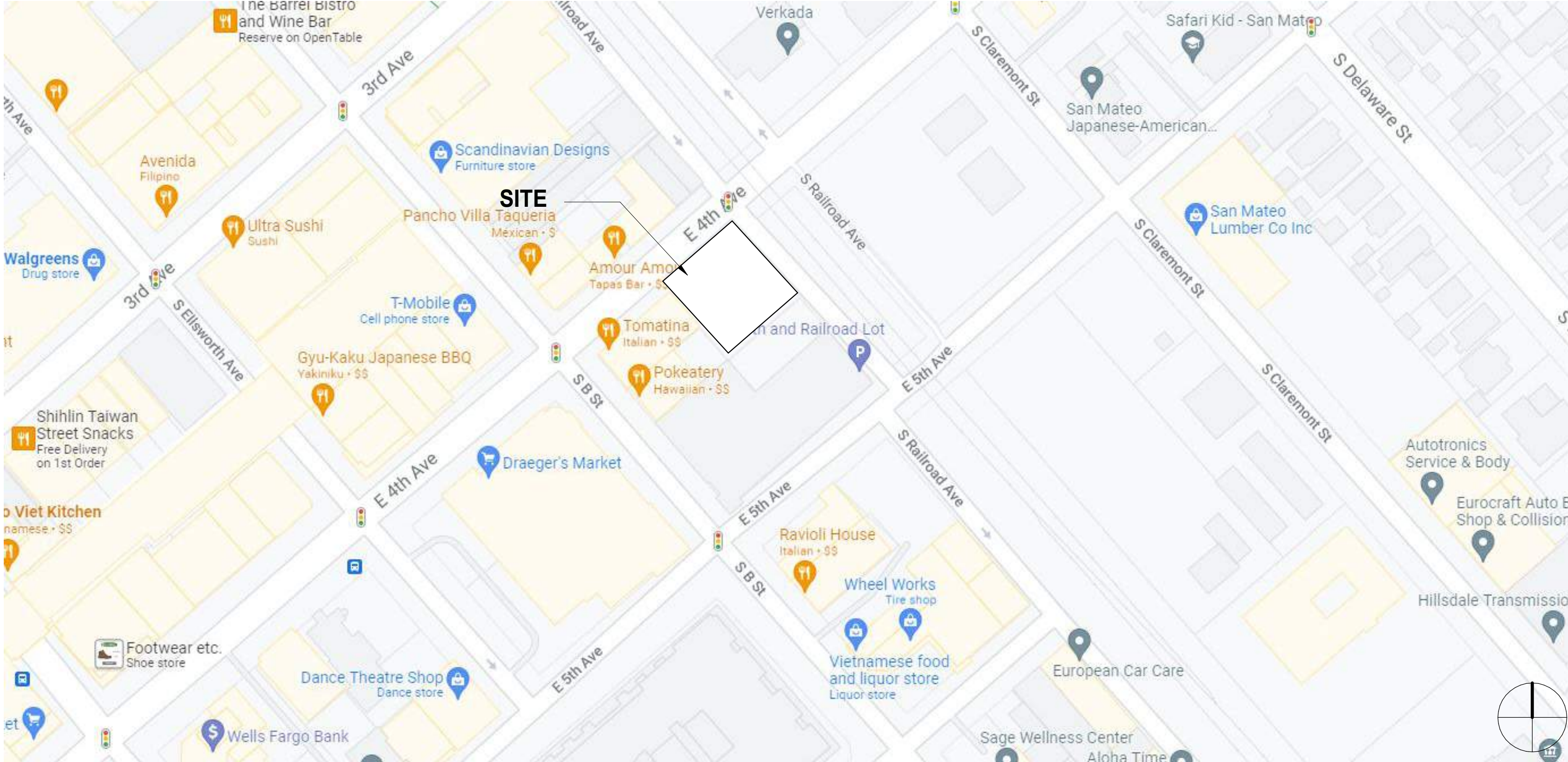
SYMBOL	MODEL NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
	570Z-12P-XF-COM/ MP1000-360-HT	TORO POP-UP SPRAY SPRINKLER WITH MP ROTATOR NOZZLE (GRASSES)	0.75	40	12-14
	570Z-12P-XF-COM/ MP1000-90-HT	TORO POP-UP SPRAY SPRINKLER WITH MP ROTATOR NOZZLE (GRASSES)	0.37,0.19	40	12-14
	570Z-12P-PRX-COM/ MP1000-360-HT	TORO POP-UP SPRAY SPRINKLER WITH HUNTER MP ROTATOR NOZZLE (GRASSES)	0.65	30	10-12
	570Z-12P-PRX-COM/ MP1000-90-HT	TORO POP-UP SPRAY SPRINKLER WITH HUNTER MP ROTATOR NOZZLE (GRASSES)	0.32,0.16	30	10-12
	DB-15-PC-CV	TORO BUBBLER, 1 PER SHRUB	0.25	30	TRICKLE
	DB-15-PC-CV	TORO BUBBLER, MIN. 2 PER TREE. REFER TO BUBBLER DETAIL FOR QUANTITY OF BUBBLERS PER TREE SIZE.	0.25	30	TRICKLE
	T-YD-500-34	TORO DRIPLINE AIR RELIEF VALVE			
	WLT-0500-T	NDS SCH 40 BALL VALVE OR APPROVED EQUAL			
	570-DRIP-IND	TORO POP-UP DRIPLINE INDICATOR WITH SIDE INLET.			
	P-220-26 SERIES	TORO REMOTE CONTROL VALVE			
	DZK-700-MF	TORO DRIP ZONE KIT WITH IRRITROL 700 SERIES REMOTE CONTROL VALVE, PRESSURE REGULATOR (40 PSI) AND A 1" FILTER			
	220-27-04/ T-ALFS10150-S	TORO BRASS REMOTE CONTROL VALVE WITH PRESSURE REGULATOR (40 PSI) AND A 1" SCREEN FILTER			
	KC OR KSC	NDS KSC SERIES CHECK VALVE FOR UPHILL FLOW DIRECTION OR KC SERIES SPRING CHECK VALVE FOR DOWNHILL FLOW DIRECTION (LINE SIZE)			
	T113-K SERIES	NIBCO BRASS GATE VALVE (LINE SIZE)			
	33-DRC	RAIN BIRD 3/4" TWO-PIECE QUICK COUPLING VALVE (YELLOW LOCKING RUBBER COVER)			
	T-FP600A-LF-1"	NIBCO 1" BRASS BALL VALVE			
	975XL2SEU-1"	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY WITH FREEZE BLANKET.			
	3100100	SUPERIOR MASTER VALVE-1" (NORMALLY OPEN)			
	QS200-10	FLOMEC 1" PVC FLOW SENSOR			
	EGP-TW-S/ EGP-ICENTRAL	RAIN MASTER EAGLE PLUS CONTROLLER IN A STAINLESS STEEL PEDESTAL ENCLOSURE; INCLUDES I-CARD, CELL COMMUNICATION KIT AND FIVE YEARS RAIN MASTER I-CENTRAL SERVICE.			
	TW-D-1	RAIN MASTER SINGLE STATION DECODER (1 PER VALVE)			
	TW-D-2	RAIN MASTER TWO STATION DECODER (USE WHEN MORE THAN 1 OR MORE VALVES ARE CLUSTERED TOGETHER)			
	TW-LA-1	RAIN MASTER LIGHTNING ARRESTOR (1 EVERY 600 FEET ALONG MAIN) REFER TO DETAILS FOR INSTALLATION INSTRUCTIONS.			
	NOT SHOWN ON PLANS	ROUTE RAIN MASTER TWO WIRE CABLE TO ALL REMOTE CONTROL VALVES. SIZE #14AWG WIRE WITH A JACKETED 2-CONDUCTOR. PREFERRED WIRE MAKE AND MODEL IS TW-CAB-14. ALL SPLICING SHALL BE MADE WITH 3-M DBR/Y-6 WATERPROOF SPLICE KITS OR APPROVED EQUAL. INSTALL 2 WIRE CABLE WITHIN 1.25" SCH 40 ELECTRICAL CONDUIT. PULL BOXES SHALL BE LOCATED EVERY 200' NO SPLICES ARE ALLOWED BETWEEN VALVES. REFER TO DETAIL FOR INSTALLATION INSTRUCTIONS.			
	RS-1000	IRRITROL WIRELESS RAIN SENSOR			
			CONTROLLER AND STATION NUMBER REMOTE CONTROL VALVE SIZE (IN INCHES) FLOW (GPM) WATER USE CLASSIFICATION OF ZONE APPLICATION RATE (IN/HR) or DRIPLINE SPACING AREA (SQ. FT.) ASSOCIATED REMOTE CONTROL VALVE		
			MAIN LINE: 1.5" AND SMALLER: TYPE 'K' COPPER PIPE WITH WROUGHT FITTINGS. SHOWN FOR REFERENCE ONLY, SEE PLUMBING PLANS FOR ROUTING THROUGH STRUCTURE.		
			MAIN LINE: 1.5" AND SMALLER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.		
			LATERAL LINE: 3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.		
			DRIPLINE LATERAL LINE: 3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.		
			SLEEVING: SCHEDULE 40 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS OR AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.		
			ELECTRICAL CONDUIT: SHOWN FOR REFERENCE ONLY, SEE ELECTRICAL PLANS FOR ROUTING THROUGH STRUCTURE.		

		DRIPLINE REMOTE CONTROL VALVE
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4TH & RAILROAD - AFFORDABLE HOUSING PROJECT

4TH AVENUE & SOUTH RAILROAD AVENUE  
SAN MATEO, CA 94401



UNIT AND AREA SUMMARY												JOB: 4th & Railroad, San Mateo		
Date 01/17/2023														
CONSTRUCTION TYPE: TYPE IIIA OF TYPE IA														
FLOORS: 5 WOOD OVER 2 CONCRETE														
UNIT TYPE	NAME	DESCRIB	Unit Net Rentable	1ST	2ND	3RD	4TH	5TH	6TH	7TH	ROOF	Unit Total	Rentable Area by Type	
STUDIO	S1.0	STUDIO	452									10	17%	4,520
	S1.1	STUDIO	447		3							3	5%	1,341
	S1.2	STUDIO	411		1							1	2%	411
	S1.3	STUDIO	490		1							1	2%	490
STUDIO SUB-TOTAL				0	5	2	2	2	2	2	0	15	25%	6,762
1 BEDROOM	A1.0	INSIDE CORNER 1 BDRM	613									5	8%	3,065
	A1.1	INSIDE CORNER 1 BDRM	521		1							1	2%	521
	A2.0	INSIDE CORNER 1 BDRM	655		1							5	8%	3,275
				0	1	2	2	2	2	2	0	11	18%	5,861
1 BDRM SUB-TOTAL														
2 BEDROOM	B1.0	2 BDRM/ 1 BATH	907			1	1	1	1	1		5	8%	4,535
	B2.0	2 BDRM/ 1 BATH	810			1	1	1	1	1		5	8%	4,050
	B2.1	2 BDRM/ 1 BATH	820		1							1	2%	820
	B3.0	2 BDRM/ 1 BATH	753			1	1	1	1	1		5	8%	3,765
	B3.1	2 BDRM/ 1 BATH	721			1						1	2%	721
2 BDRM SUB-TOTAL				0	2	3	3	3	3	3	0	17	28%	13,891
3 BEDROOM	C1.0	3 BDRM/ 2 BATH	1,152			1	1	1	1	1		5	8%	5,780
	C1.1	3 BDRM/ 2 BATH	1,146			1						1	2%	1,146
	C2.0	3 BDRM/ 2 BATH	935			1	1	1	1	1		5	8%	4,675
	C2.1	3 BDRM/ 2 BATH	927			1						1	2%	927
	C3.0	3 BDRM/ 2 BATH	1,151			1	1	1	1	1		5	8%	5,755
3 BDRM SUB-TOTAL				0	2	3	3	3	3	3	0	17	28%	13,263
TOTAL UNITS			Avg SqFt 763	0	10	10	10	10	10	10	0	60	100%	45,777

Net rentable residential area is measured center of demising wall, ext face of stud of ext wall, ext face of stud of corridor wall, excl decks														
Net rentable Residential by floor (excl decks)				0	5,887	7,880	7,880	7,880	7,880	7,880	0	45,287		
Gross area by floor (footprint minus net rentable, excl decks)				0	5,022	2,146	1,263	1,263	1,263	1,263	0	13,483		

Residential Amenities														
Lobby				721										721
Leasing Office				322										322
Resident Services Office				202										202
Youth Room				330										330
Maintenance				255										255
Break Room				203										203
Trash Room				643										643
Storage				734										734
Janitor Closet				46										46
Bike Room				363										363
Community Room						857								857
Laundry						253								253
Self Help for the Elderly														
Dining Room				2,083										2,083
Prep Kitchen				436										436
Men's Restroom				277										277
Women's Restroom				277										277
Self Help Offices				586										586
Self Help Storage				297										297
HCap Offices				462										462
Total Gross				0	13,259	9,143	9,143	9,143	9,143	9,143	0			66,117
Landscape Amenities														
Terrace					4,076									4,076

BICYCLE PARKING		
SHORT TERM		
STUDIOS - .05 PER UNIT	15 UNITS	1 SPACE
1 BEDROOM - .05 PER UNIT	11 UNITS	1 SPACE
2 BEDROOM - .10 PER UNIT	17 UNITS	2 SPACE
3 BEDROOM - .10 PER UNIT	17 UNITS	2 SPACES
TOTAL:		6 SPACES
LONG TERM		
STUDIOS - 1 PER UNIT UNIT	15 UNITS	15 SPACE
1 BEDROOM - 1 PER UNIT	11 UNITS	11 SPACE
2 BEDROOM - 1.25 PER UNIT	17 UNITS	22 SPACE
3 BEDROOM - 1.5 PER UNIT	17 UNITS	26 SPACES
TOTAL:		74 SPACES

THE PROPOSED PROJECT IS A 100% AFFORDABLE, FAMILY-FRIENDLY RESIDENTIAL BUILDING WITH SUBTERRANEAN PARKING AND GROUND FLOOR CIVIC SPACE FOR THE LOCAL NON-PROFIT, SELF-HELP FOR THE ELDERLY. THE PROJECT CONSISTS OF THE ELEMENTS DESCRIBED BELOW:

- 60 RESIDENTIAL DWELLING UNITS (SEE STATISTICS FOR MORE INFORMATION)
- ALL RESIDENTIAL UNITS ARE ADAPTABLE (ACCESSIBLE PER CHAPTER 11B). UNITS ABOVE THE GROUND FLOOR ARE ACCESSIBLE VIA ELEVATOR.
- SELF-HELP FOR THE ELDERLY PROGRAM ON GROUND FLOOR WITH A FLEXIBLE OPEN AREA, ADMINISTRATIVE OFFICES, AND OTHER SUPPORT SPACES.
- PROPOSED RESIDENTIAL BUILDING IS 5-STORIES OF TYPE IIIA WOOD FRAMED CONSTRUCTION OVER 2-STORIES OF TYPE IA CONCRETE PODIUM.
- ALL PUBLIC AREAS AND CORRIDORS ARE ACCESSIBLE PER CHAPTER 11B.
- ALL PORTIONS OF THE PROJECT ARE FULLY SPRINKLERED PER 903.3.1.1 / NFPA 13. ALL REFERENCES TO "AUTOMATIC SPRINKLERS SYSTEM" MEAN "PER 903.3.1.1 / NFPA 13."
- SUBTERRANEAN PARKING LEVEL IS ENCLOSED AND MECHANICALLY VENTILATED (PARKING LEVEL IS PART OF OFFICE BUILDING PORTION OF THIS SUBMITTAL)
- AMENITY SPACES FOR RESIDENTS ARE LOCATED ON LEVELS 1, 2, AND ROOF, INCLUDING A YOUTH ROOM, LAUNDRY ROOM, AND LARGE LANDSCAPED TERRACE WITH SEATING AREAS, PLANTINGS AND PLAY STRUCTURES
- PROJECT INCLUDES RELEVANT SITE WORK, INCLUDING EXCAVATION, GRADING, PAVING, LANDSCAPING, AND UTILITY CONNECTIONS AS REQUIRED FOR A COMPLETE PROJECT.

APPLICANT / OWNER:  
DTSM TALBOTS VENTURE, LLC  
180 GRAND AVENUE, SUITE 1400  
OAKLAND, CA 94612

CONTACT:  
PRESTON O'CONNELL  
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ARCHITECT:  
BDE ARCHITECTURE  
934 HOWARD STREET  
SAN FRANCISCO, CA 94103

CONTACT:  
NATALIE SHOVLIN  
(510) 283 - 3662

LANDSCAPE ARCHITECT:  
PLACE  
735 NW 18TH AVENUE  
PORTLAND, OR 97209

CONTACT:  
CHARLES BRUCKER  
(503) 334 - 2080

HOUSING:  
ALTA HOUSING  
3460 W BAYSHORE RD SUITE 104  
PALO ALTO, CA 94303

CONTACT:  
JENNIFER WONG  
(650) 216 - 2887

AR0.01	PROJECT INFORMATION
AR1.00	SITE PLAN
AR2.01	FLOOR 1
AR2.02	FLOOR 2
AR2.03	FLOORS 3-7
AR2.04	ROOF PLAN
AR3.00	BLOCK ELEVATIONS
AR3.01	BUILDING ELEVATIONS
AR3.02	PERSPECTIVE VIEWS
AR3.10	MATERIAL BOARD
AR3.20	BUILDING SECTIONS
AR3.21	STREET WALL SECTION EXHIBITS

BDE  
ARCHITECTURE

934 Howard Street  
San Francisco, CA  
94103

P. (415) 677-0966

CLIENT:



PROJECT NAME & ADDRESS:

4TH & RAILROAD

4TH & RAILROAD  
San Mateo, CA

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SHEET NAME:  
PROJECT  
INFORMATION

SHEET NUMBER:  
AR0.01

SITE MAP 4

PROJECT DESCRIPTION 3

PROJECT TEAM 2

SHEET INDEX 1

AR0.01

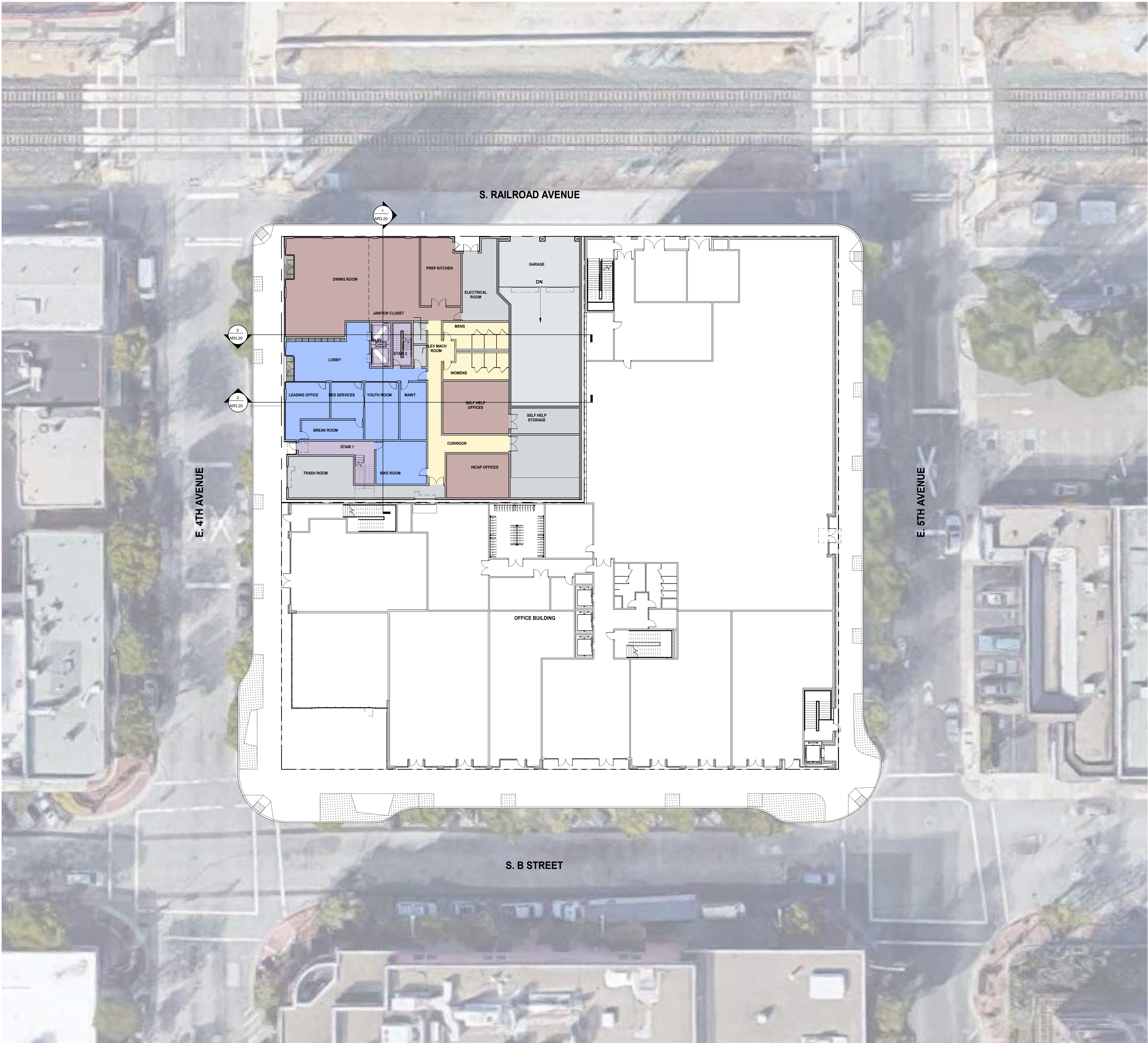


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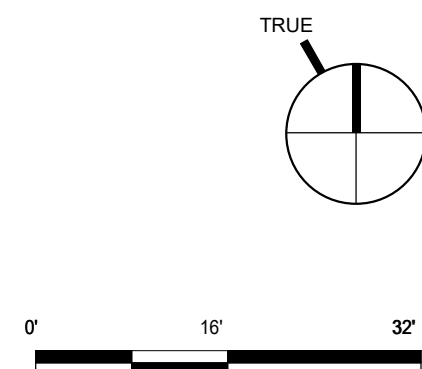
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SHEET NAME:	<b>SITE PLAN</b>
SCALE:	1/16" = 1'-0"
SHEET SIZE:	36 x 48
SHEET NUMBER:	<b>AR1.00</b>



**SITE PLAN - FLOOR 1 PLAN**  
1/16" = 1'-0"









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**4TH & RAILROAD**

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**San Mateo, CA**

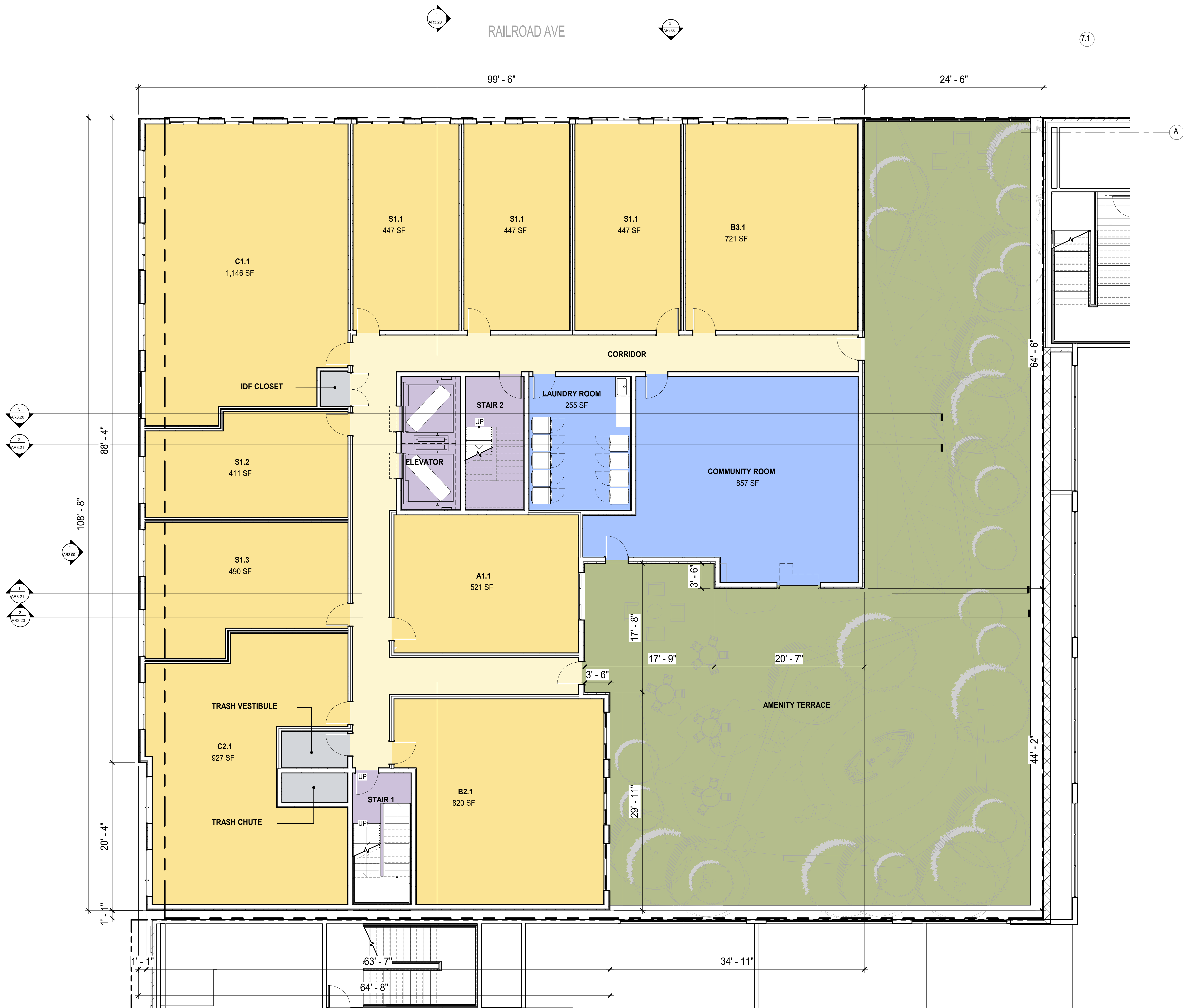
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ISSUE DATE:	Issue Date
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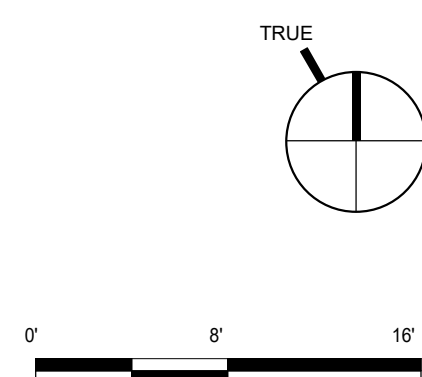
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SHEET NAME:  
**FLOOR 2**


**AR2.02**



PLANNING - BUILDING PLAN - FLOOR 2 1  
3/16" = 1'-0"





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DATE	02/01/2023

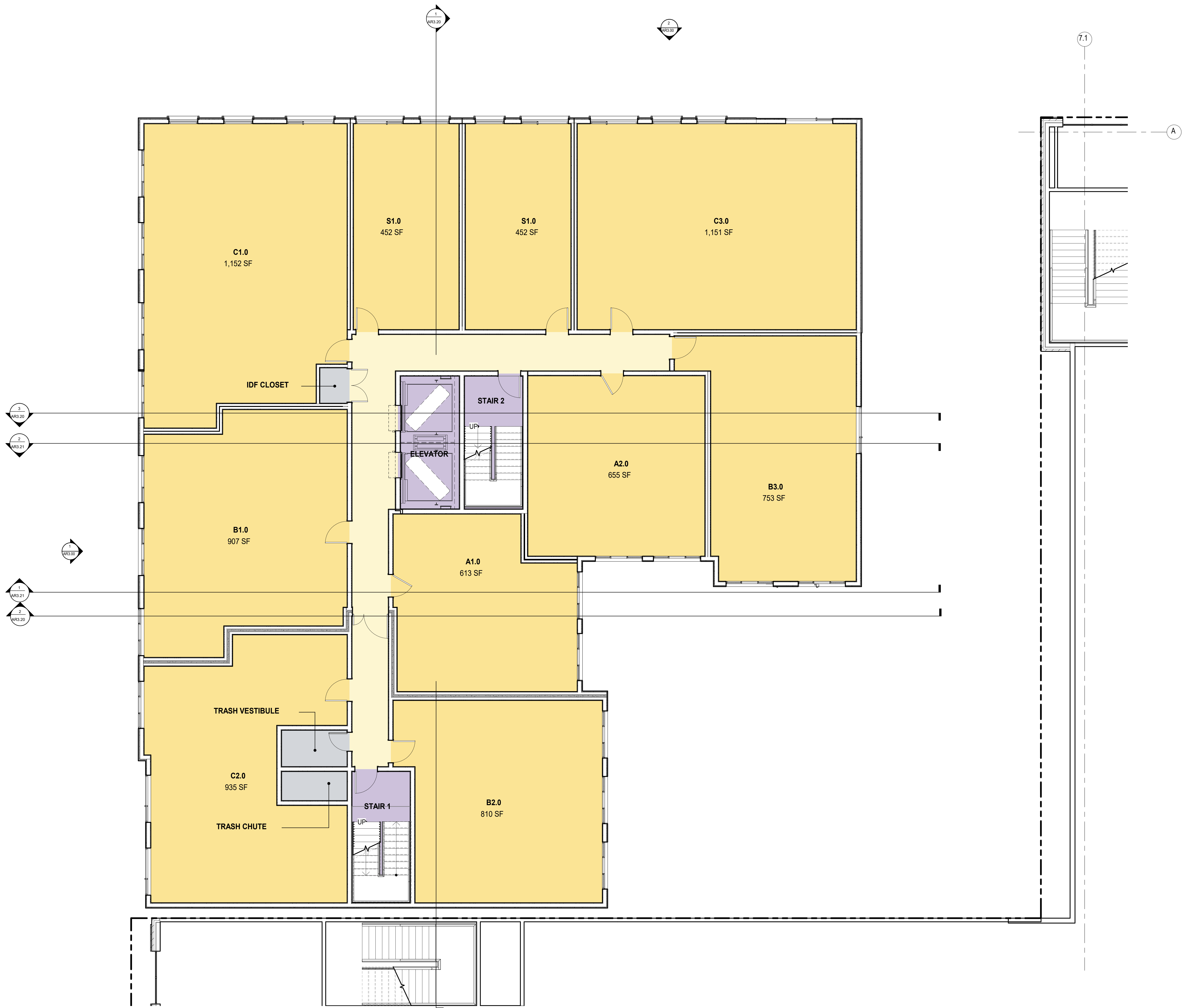
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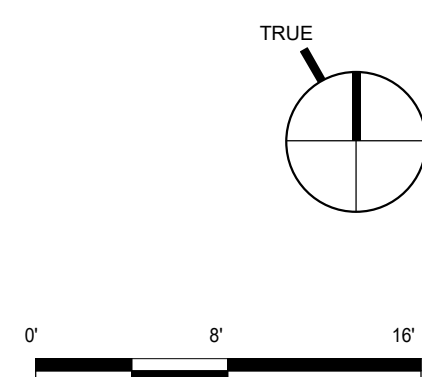
SHEET NAME:  
**FLOORS 3-7**

SCALE: 3/16" = 1'-0"  
SHEET SIZE: 36 x 48  
SHEET NUMBER:

**AR2.03**



**FLOOR 3-7 PLAN** **1**  
3/16" = 1'-0"





CLIENT:



PROJECT NAME & ADDRESS:

4TH & RAILROAD

4TH & RAILROAD

San Mateo, CA

ISSUE: Project Status  
ISSUE DATE: Issue Date

REVISIONS:  
DESCRIPTION DATE  
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SHEET NAME:

ROOF PLAN

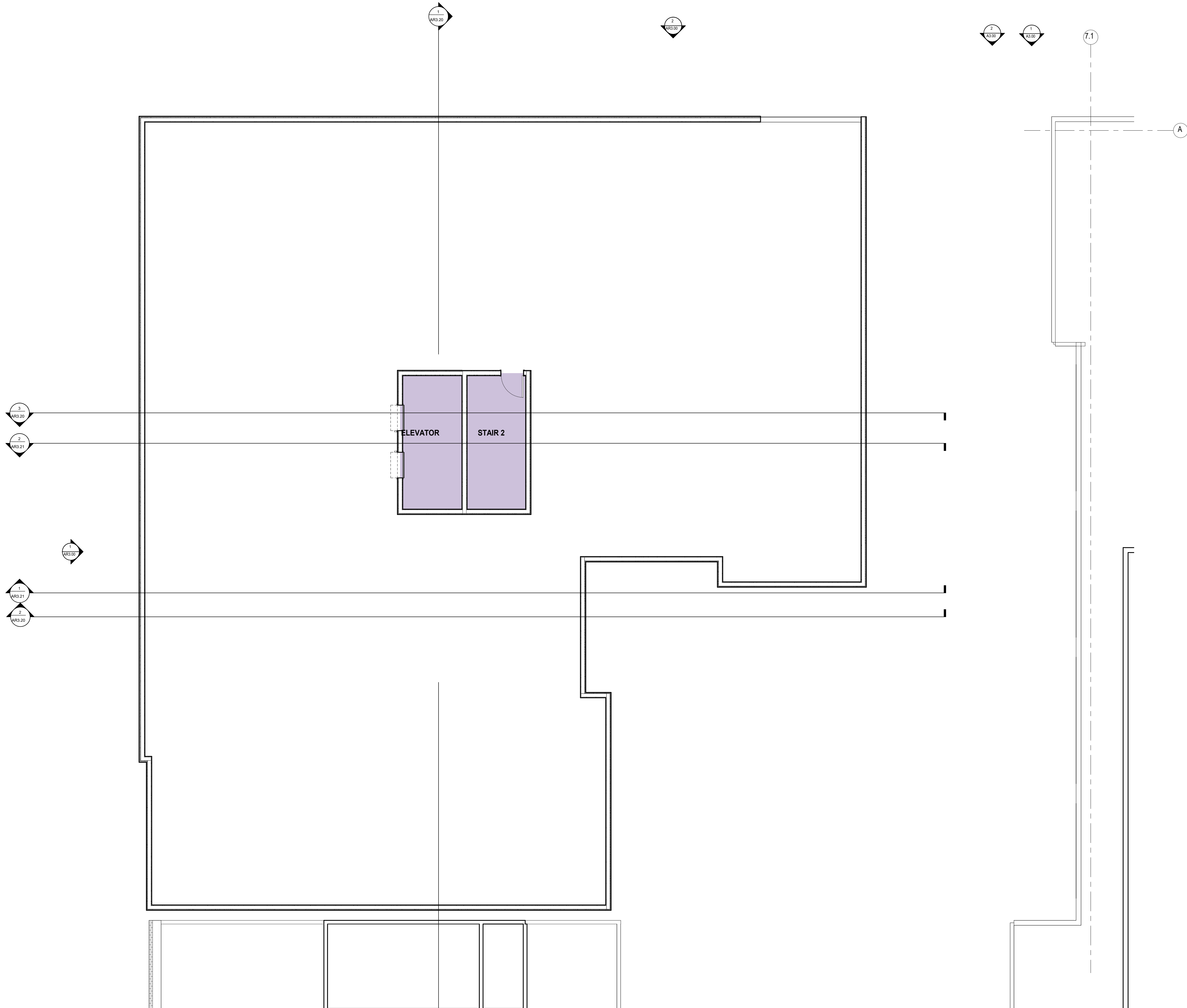
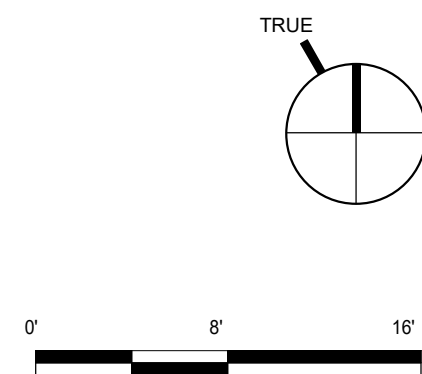
SCALE: 3/16" = 1'-0" SHEET SIZE: 36 x 48

SHEET NUMBER:

AR2.04

ROOF PLAN 1

3/16" = 1'-0"







BLOCK ELEVATION - RAILROAD AVENUE

3/32" = 1'-0"



BLOCK ELEVATION - E 4TH AVENUE

3/32" = 1'-0"

**BDE**  
ARCHITECTURE  
634 Howard Street  
San Francisco, CA  
94103  
P. (415) 677-0966

CLIENT:



PROJECT NAME & ADDRESS:

**4TH & RAILROAD**

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**San Mateo, CA**

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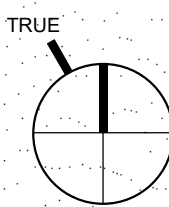
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OR AGENTS OR SUCCESSORS  
IN INTEREST.

SHEET NAME:

**BLOCK  
ELEVATIONS**



SHEET NUMBER:

**AR3.00**





ELEVATION - RAILROAD AVENUE

2

3/32" = 1'-0"

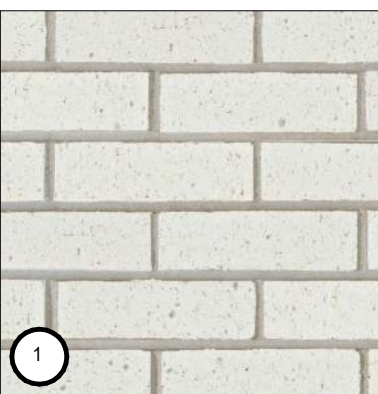


ELEVATION - E 4TH AVENUE

1

3/32" = 1'-0"

A	WINDOW & STOREFRONT ARCH BRONZE DRAGON'S BREATH BM 1547
B	PAINT - SHORELINE OR SM BM 401
C	PAINT - TO MATCH ARCH BRONZE WINDOW AND STOREFRONT FINISH



1



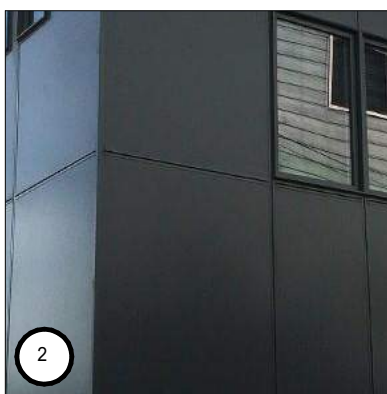
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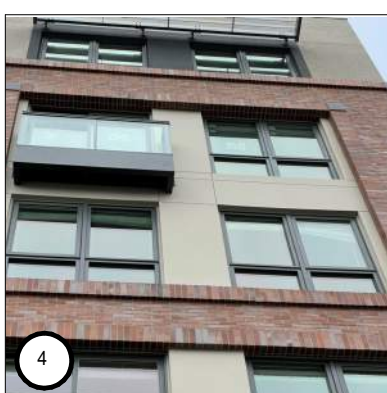
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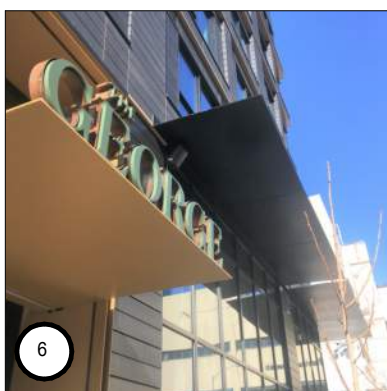
4



5



6



7



8

- 9 GARAGE ACCESS
- 10 RESIDENTIAL ENTRANCE
- 11 DOWNWARD LIT BUILDING SCIENCE
- 12 FIBER CEMENT TRIM, PTD. OR SM.
- 13 MTL SPANDREL PANEL, OR SM.
- 14 GLASS RAILING
- 15 BRICK SOLDER COURSE
- 16 JULIET RAILING

**BDE**  
ARCHITECTURE  
834 Howard Street  
San Francisco, CA  
94103  
P. (415) 677-0966

CLIENT:



PROJECT NAME & ADDRESS:

**4TH & RAILROAD**

**4TH & RAILROAD**  
**San Mateo, CA**

ISSUE:

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PLANNING APPLICATION

Project Status

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02/01/2023

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PROJECT NUMBER:

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SPECIFIED IN THE CONTRACT  
AND AS SHOWN ON THE  
DRAWINGS OR AS NOTED  
HEREON.

SHEET NAME:

**BUILDING  
ELEVATIONS**

SCALE: As Indicated

SHEET SIZE: 36 X 48

SHEET NUMBER:

**AR3.01**





RAILROAD AVENUE 4



RAILROAD & E 4TH AVENUE 2



RAILROAD & E 4TH AVENUE 3



E 4TH AVENUE 1

CLIENT:			
PROJECT NAME & ADDRESS:			<b>4TH &amp; RAILROAD</b> San Mateo, CA
ISSUE:			Project Status
ISSUE DATE:			Issue Date
REVISIONS:			
	DESCRIPTION	DATE	
	PLANNING APPLICATION	02/01/2023	

SCALE:		
PROJECT NUMBER:	2126	
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SHEET NAME:		
<b>PERSPECTIVE VIEWS</b>		

SCALE:	SHEET SIZE:	36 x 48
SHEET NUMBER:		

AR3.02



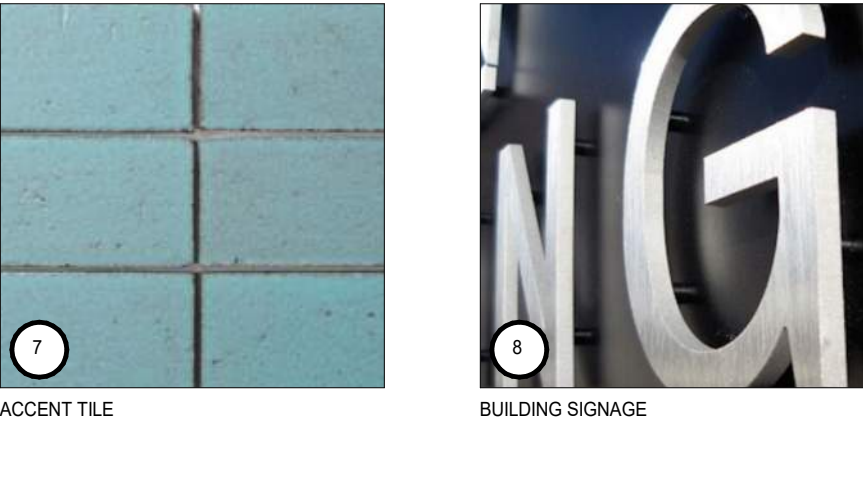
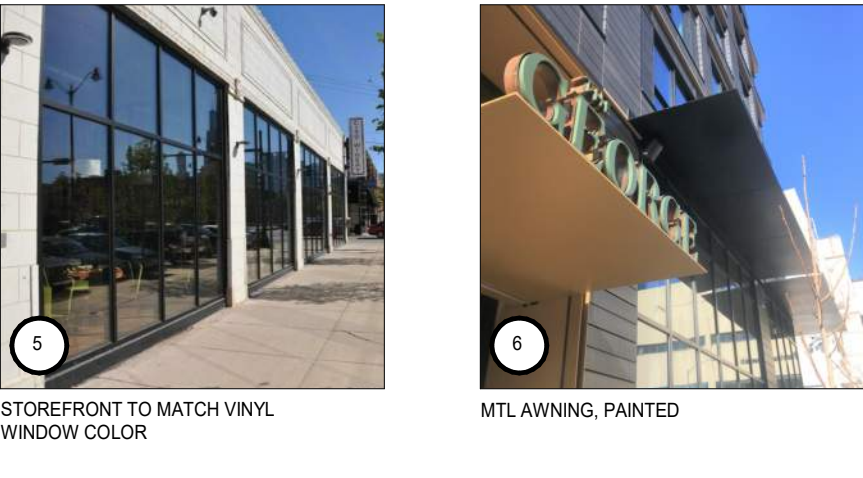


PERSPECTIVE - E 4TH AVENUE 2  
12" = 1'-0"



PERSPECTIVE - E 4TH AVENUE 1  
12" = 1'-0"

4	WINDOW & STOREFRONT ARCH BRONZE DRAGON'S BREATH BM 1547
8	PAINT - SHORELINE OR SM. BM 1471
9	PAINT - TO MATCH ARCH BRONZE WINDOW AND STOREFRONT FINISH



- 9 GARAGE ACCESS
- 10 RESIDENTIAL ENTRANCE
- 11 DOWNWARD LIT BUILDING SCOOP
- 12 FIBER CEMENT TRIM, PTD. OR SM.
- 13 MTL SPANDREL PANEL, OR SM.
- 14 GLASS RAILING
- 15 BRICK SOLDER COURSE
- 16 JULIET RAILING

BDE

ARCHITECTURE

934 Howard Street

San Francisco, CA

94103

P. (415) 677-0966

CLIENT:

ALTA HOUSING

HARVEST PROPERTIES

PROMETHEUS

PROJECT NAME & ADDRESS:

4TH & RAILROAD

4TH & RAILROAD

San Mateo, CA

ISSUE:

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Project Status

Issue Date

DESCRIPTION	DATE
PLANNING APPLICATION	02/01/2023

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PROJECT NUMBER:	2126
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SHEET NAME:  
MATERIAL  
BOARD

SCALE:	1/2" = 1'-0"	SHEET SIZE:	36 x 48
SHEET NUMBER:			

AR3.10

2/2/2023 10:58:19 AM

pdf date: 12/20/2021 4:51 AM



CLIENT:



PROJECT NAME & ADDRESS:

4TH & RAILROAD

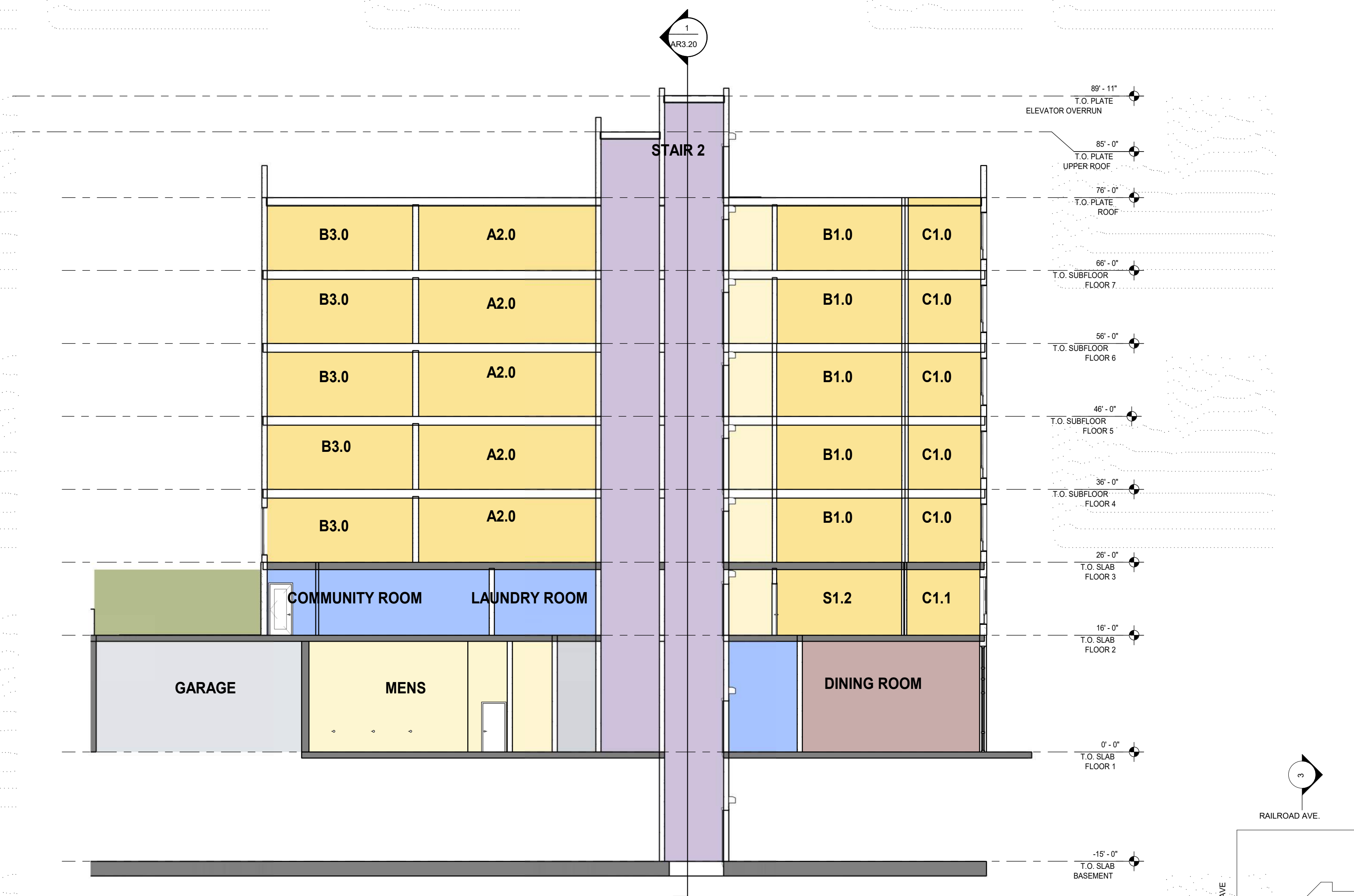
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San Mateo, CA

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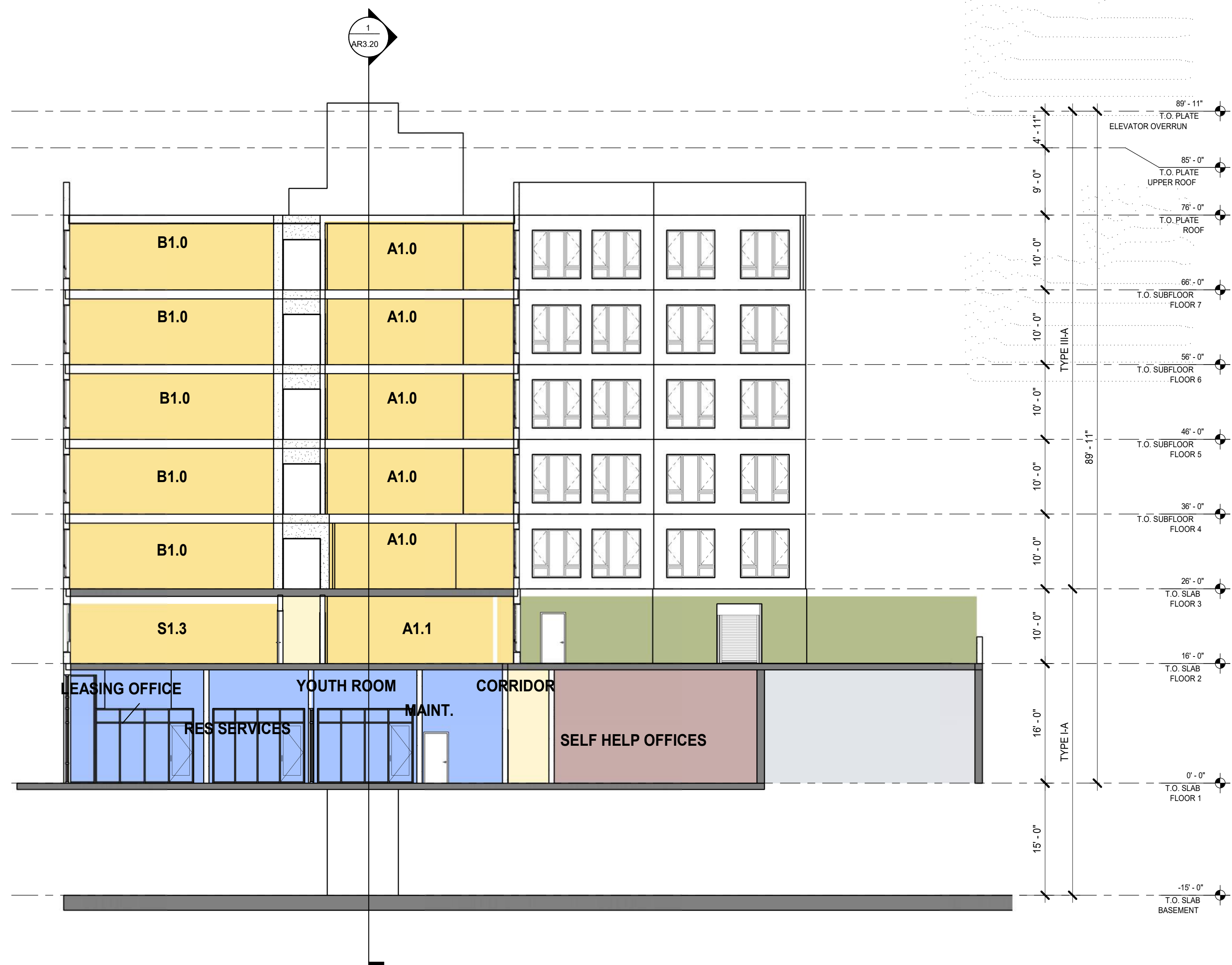
REVISIONS: DATE

PLANNING APPLICATION 02/01/2023



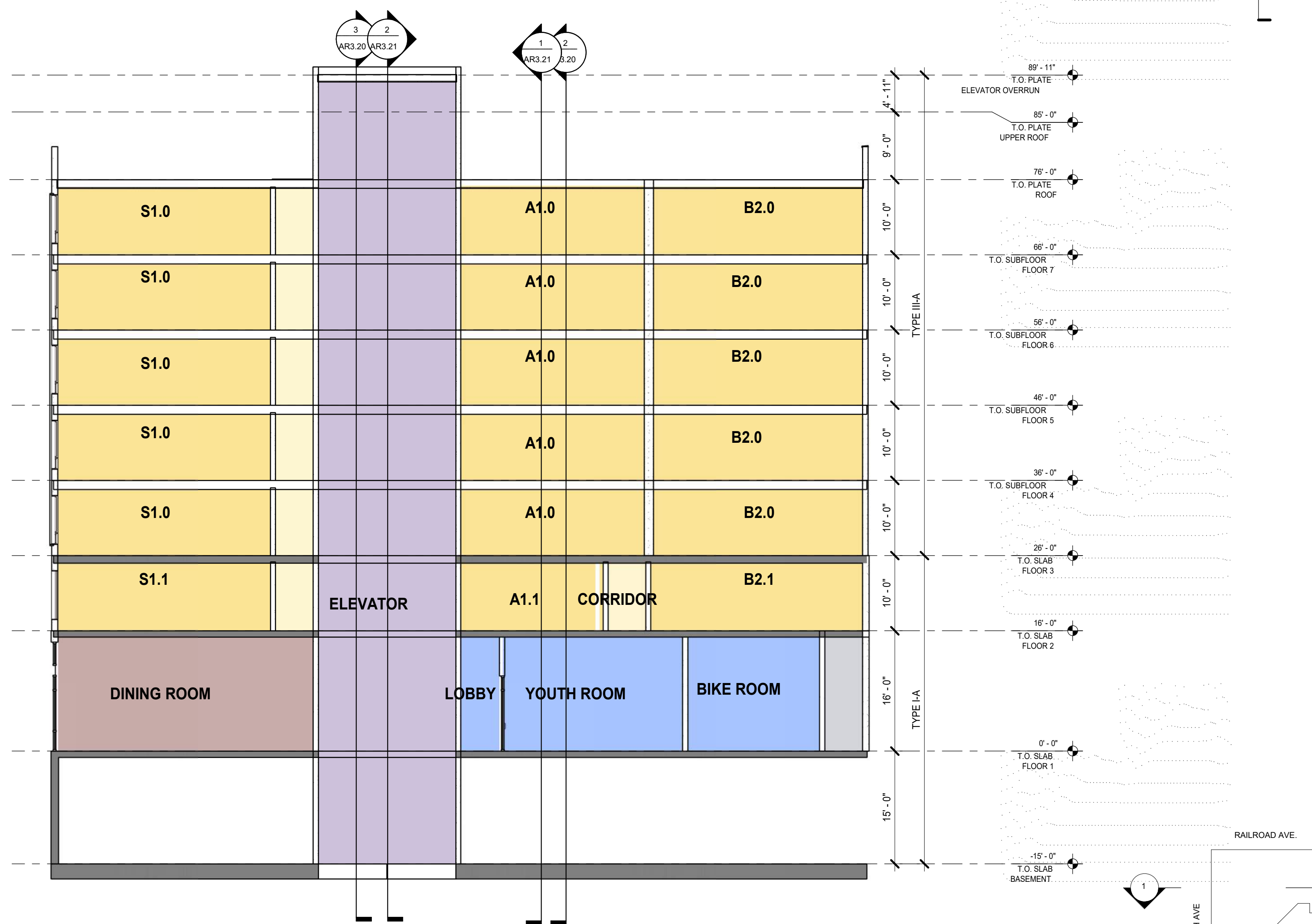
BUILDING SECTION 3

3/32" = 1'-0"



BUILDING SECTION 2

3/32" = 1'-0"



BUILDING SECTION 1

3/32" = 1'-0"

SCALE:

PROJECT NUMBER: 2126

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SHEET NAME:

BUILDING  
SECTIONS

SCALE:

3/32" = 1'-0"

SHEET SIZE: 36 X 48

SHEET NUMBER:

AR3.20



CLIENT:



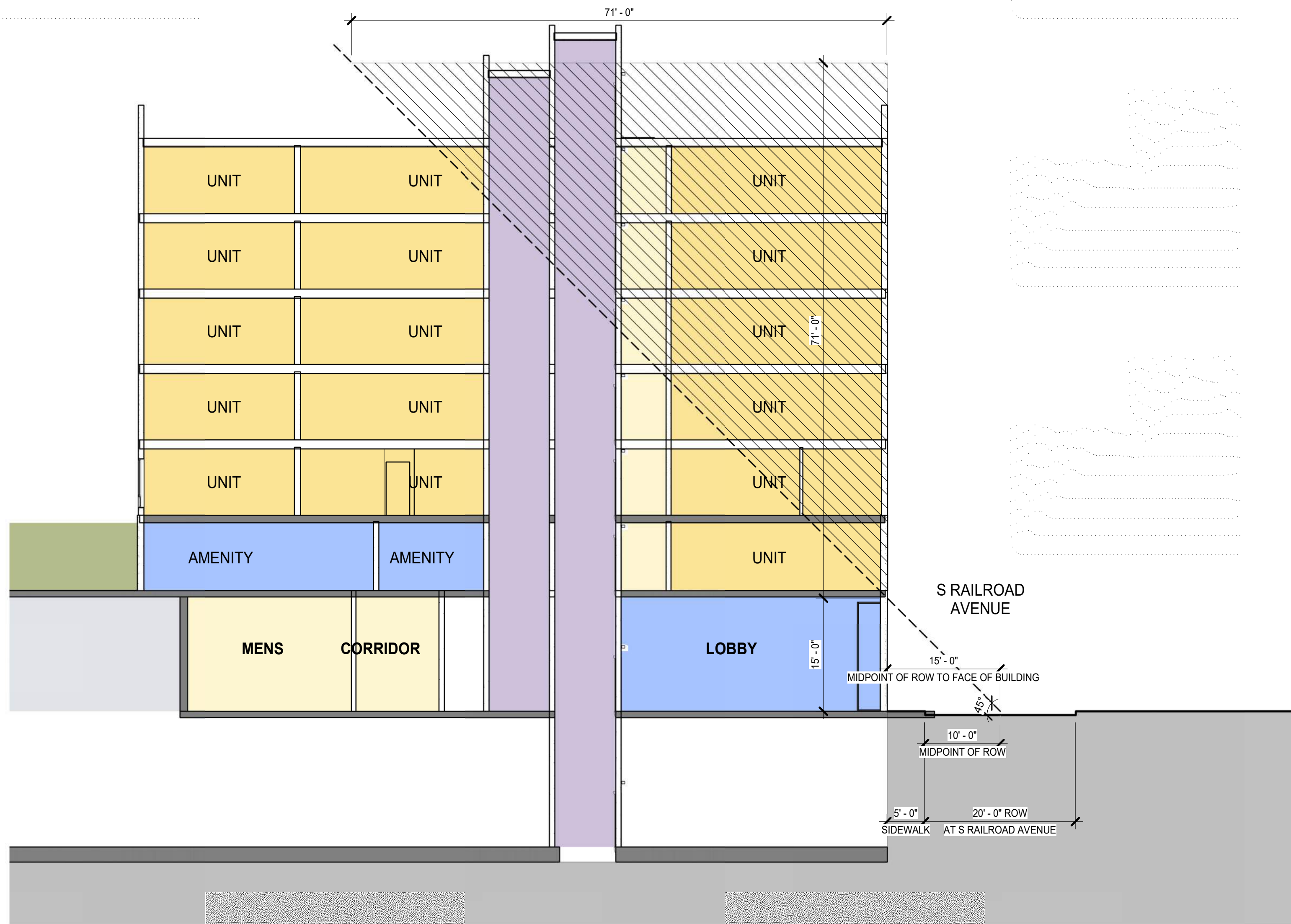
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San Mateo, CA

ISSUE: Project Status  
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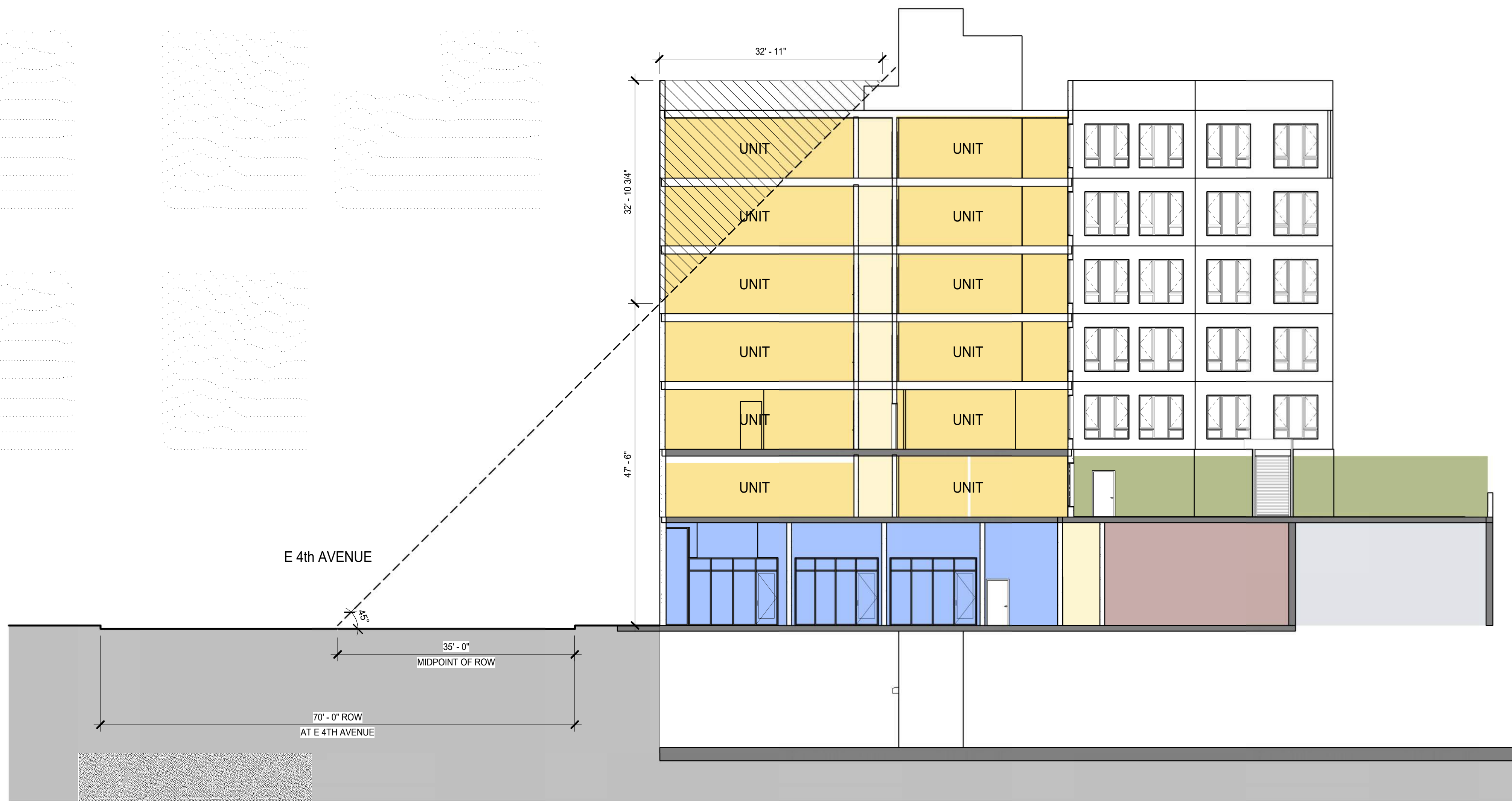
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PLANNING APPLICATION 02/01/2023



STREET WALL EXHIBIT - S RAILROAD AVE

2

3/32" = 1'-0"



STREET WALL EXHIBIT - E 4TH AVENUE

1

3/32" = 1'-0"

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SHEET NAME:

STREET WALL  
SECTION  
EXHIBITS

SCALE: 3/32" = 1'-0"

SHEET SIZE: 36 X 48

SHEET NUMBER:

AR3.21

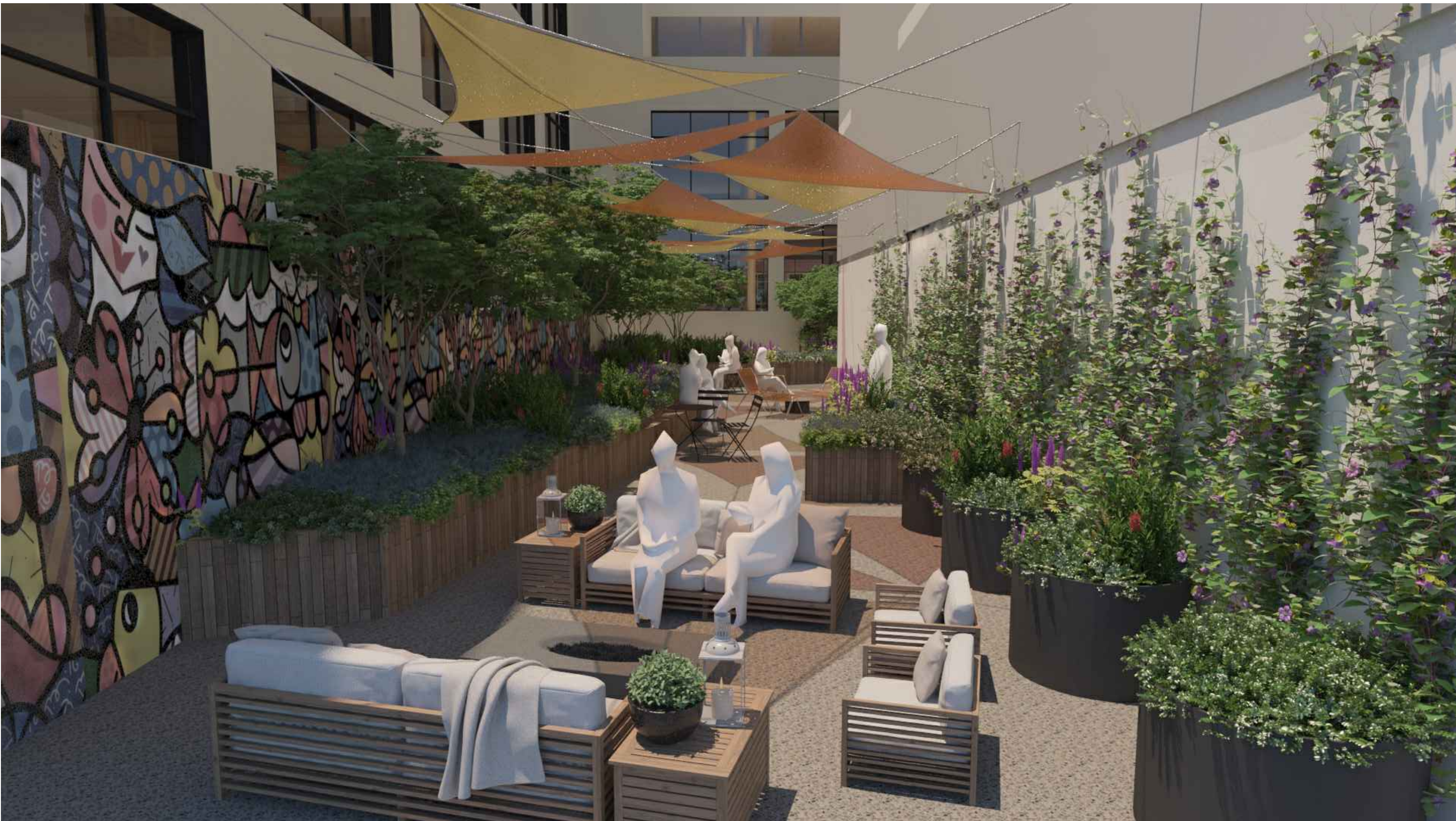








LOOKING PLAN SOUTH, TOWARDS SCULPTURAL PLAY AREA, WITH SEATING AREA



LOOKING PLAN SOUTH, AT LIVING ROOM AREA WITH FREESTYLE SEATING, GREENWALL AND SUSPENDED SHADE CANOPY THAT HELPS TO PROVIDE PRIVACY FROM UPPER LEVELS.



LOOKING PLAN NORTH, TOWARDS SCULPTURAL PLAY AREA, WITH SEATING AREA



LOOKING PLAN NORTH, WITH FREESTYLE SEATING, GREENWALL AND SHADE CANOPY THAT HELPS TO PROVIDE PRIVACY. MURAL ALONG LONG BLANK FACADE TO PLAN EAST.

**PLACE**  
735 NW 18th Avenue  
Portland OR 97209  
503.334.2080  
www.place.la

CLIENT:



PROJECT NAME & ADDRESS

**4TH & RAILROAD**

**4TH & RAILROAD**  
**San Mateo, CA**

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ISSUE DATE:

REVISIONS:

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SCALE:

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**NOT FOR  
CONSTRUCTION**

SHEET NAME:  
**LANDSCAPE  
RENDERINGS  
LEVEL 2 TERRACE**

SHEET NUMBER:

**LR2.0**

