

Town of Ashland

Downtown Planning Initiative 2nd Community Workshop

March 29, 2018

Presented by:





Agenda Tonight

- Review project & goals
- Recap 1st workshop (September 18, 2017)
- Present design alternatives with discussion
- Next steps

Project Boundaries – Phase 1





Project Goals

- Make downtown an attractive and welcoming place for residents and visitors
- Make downtown more inviting for business development
- Make downtown safe and accessible to all users (complete streets)
- Improve traffic flow
- Enhance historic character of corridor
- Explore relocating existing overhead utilities underground
- Identify and secure construction funding



What we learned from the 1st workshop...

Attraction to downtown

- Corner Spot – Farmers Market – Shops/Restaurants – Small Town Feel

Greatest challenge with project

- Traffic – RR Crossing – Parking – Lighting – Pedestrian Accommodation

Undergrounding

- Would like to see utilities buried

Traffic

- There is a congestion problem along Main Street during rush hour

Parking

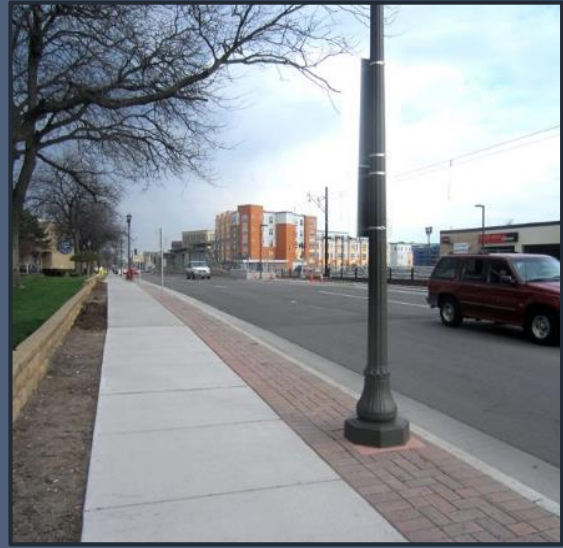
- Perception there is not enough parking downtown

What would you like to see happen downtown

- More Businesses (destination and commercial) – Better Parking Management – Safer and More Attractive Pedestrian Improvements – Better Lighting – Wider Sidewalks – Bicycle Accommodation



Workshop Poll Results – Sidewalk Character





Workshop Poll Results – Crosswalk Treatments





Workshop Poll Results – Outdoor Seating





Workshop Poll Results – Wayfinding





Workshop Poll Results – Street Plantings and Trees



Workshop Poll Results – Public Art



Workshop Poll Results – Site Furnishings



Workshop Poll Results – Lighting



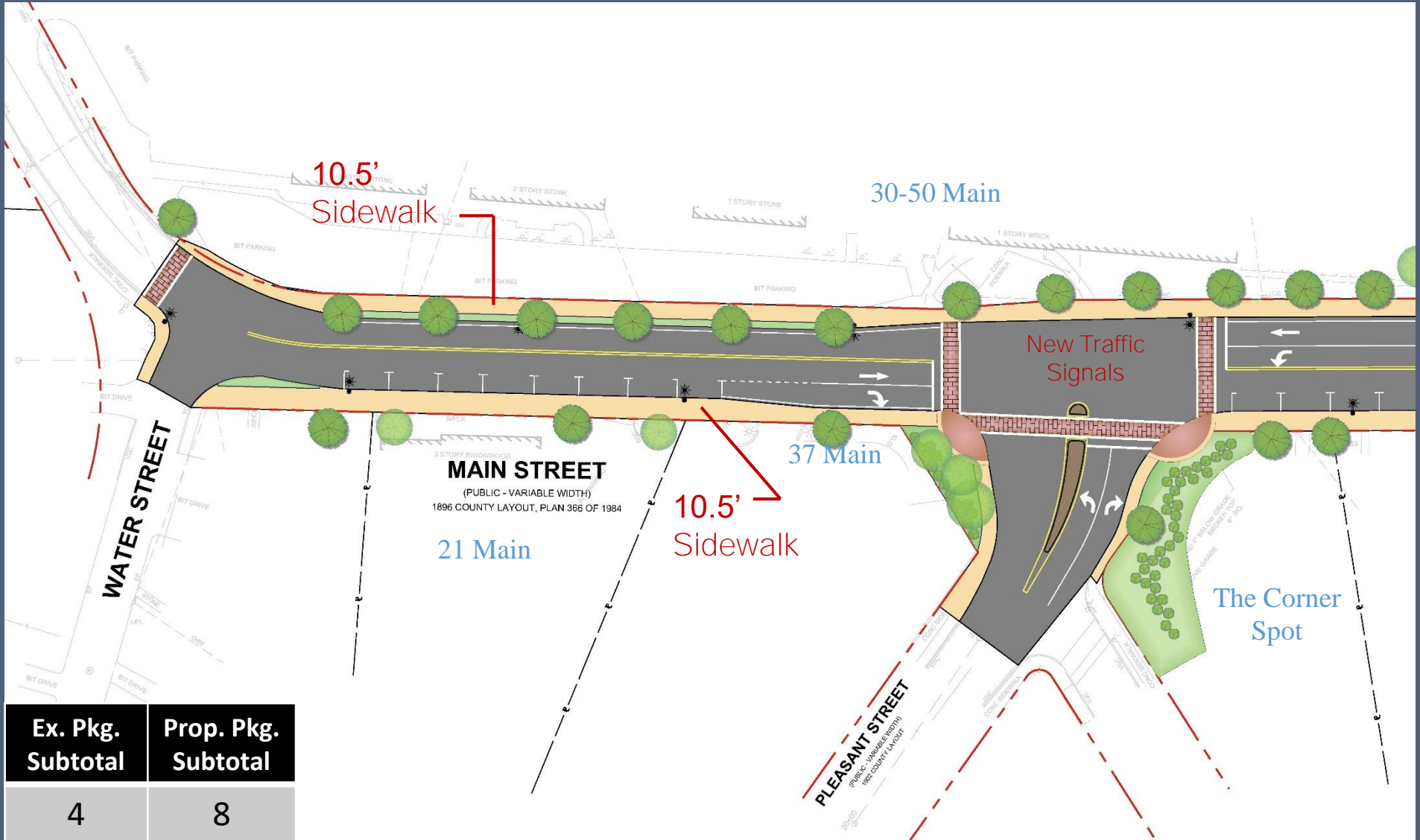


Alternative Development

- Developed two options – Bike Lane & No Bike Lane
- Considerations
 - Pedestrian Safety
 - Level of Service (i.e. Traffic Flow)
 - On-Street Parking
 - Bike Lane
 - Pedestrian/ADA Compliance
 - Streetscape
 - Cost



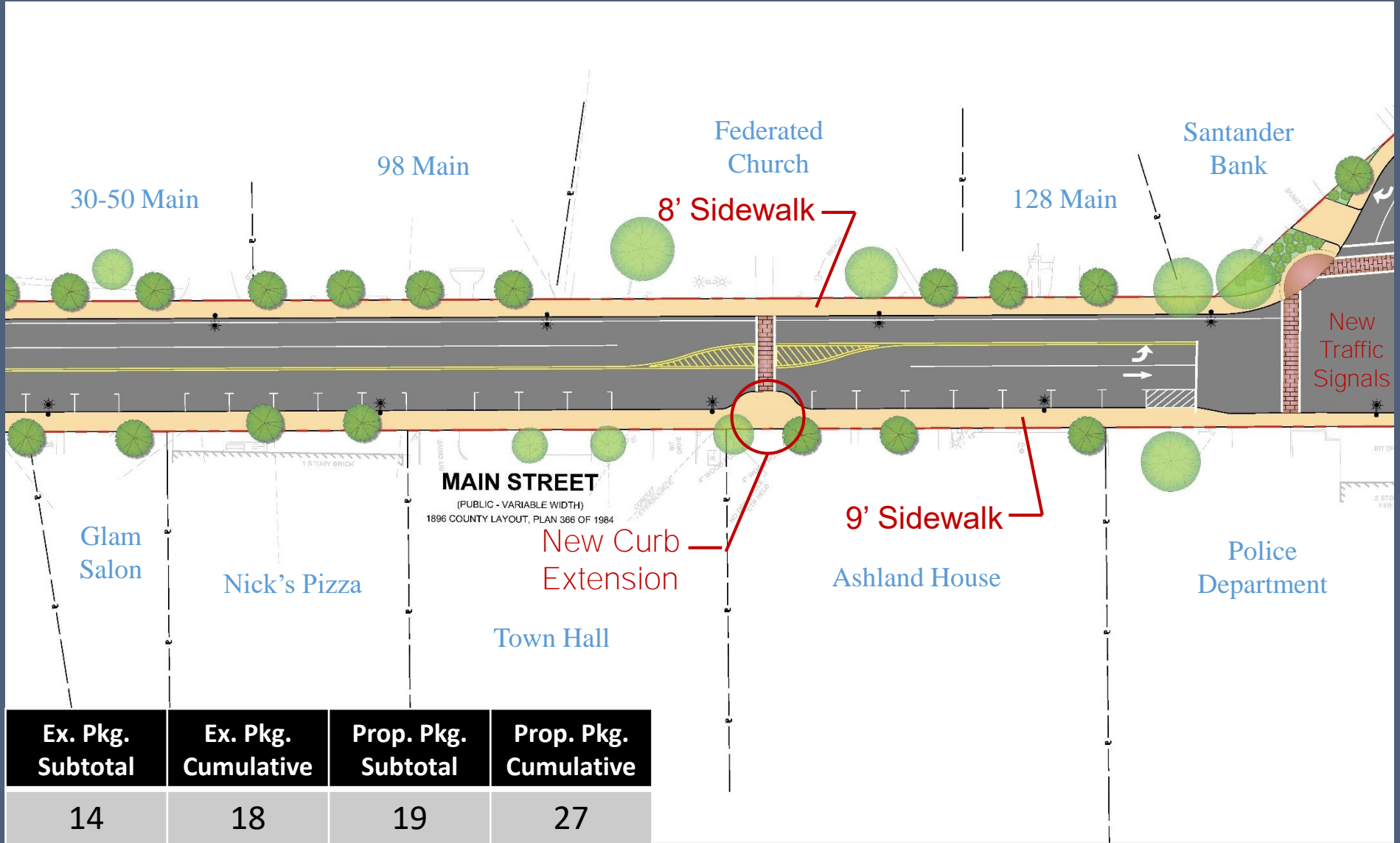
Main Street – Alternative A (Water Street to Pleasant Street)



Ex. Pkg. Subtotal	Prop. Pkg. Subtotal
4	8

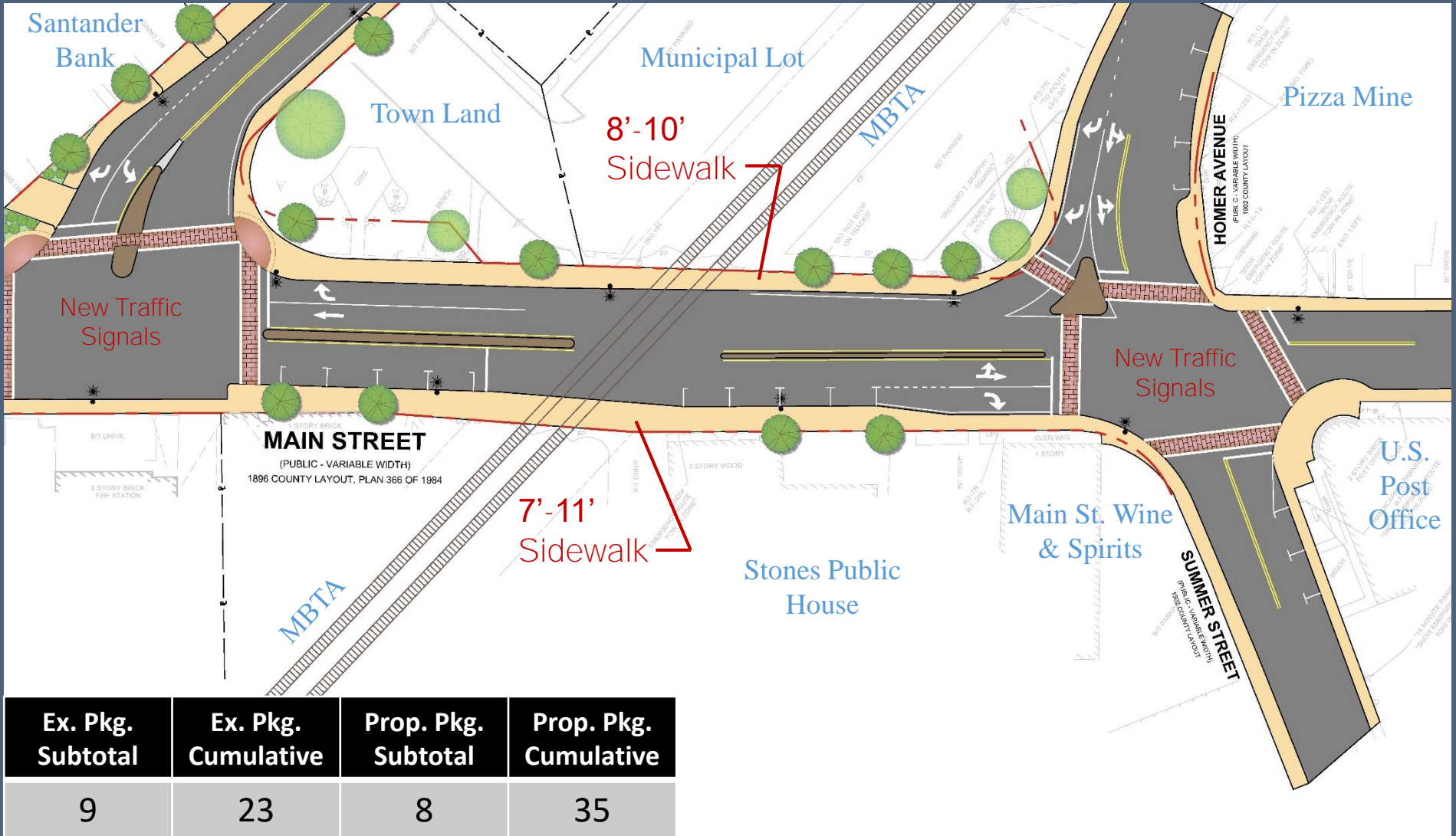


Main Street – Alternative A (Pleasant Street to Front Street)





Main Street – Alternative A (Front Street to Homer Avenue)



Ex. Pkg. Subtotal	Ex. Pkg. Cumulative	Prop. Pkg. Subtotal	Prop. Pkg. Cumulative
9	23	8	35



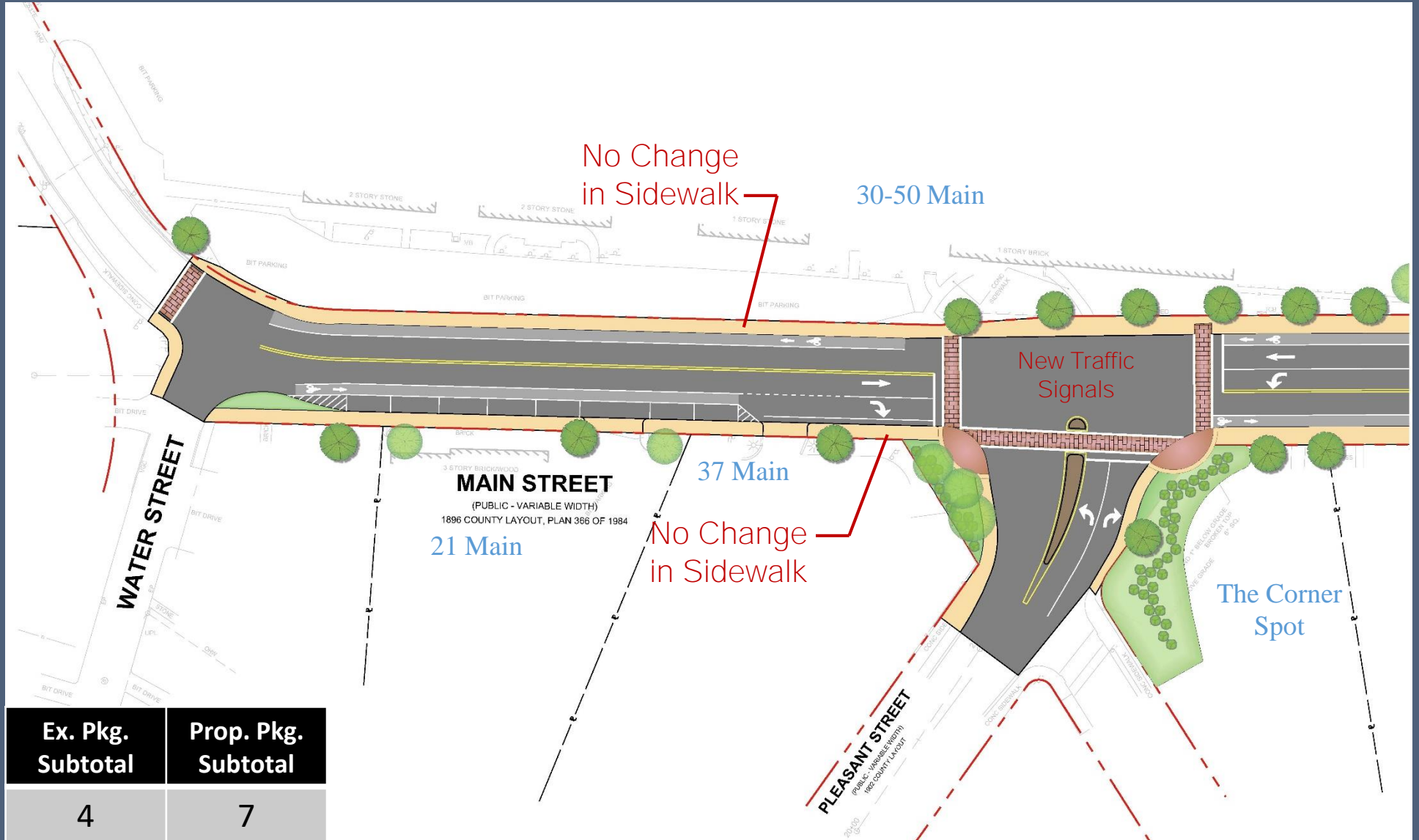
Main Street – Alternative A

(View Toward Water Street)



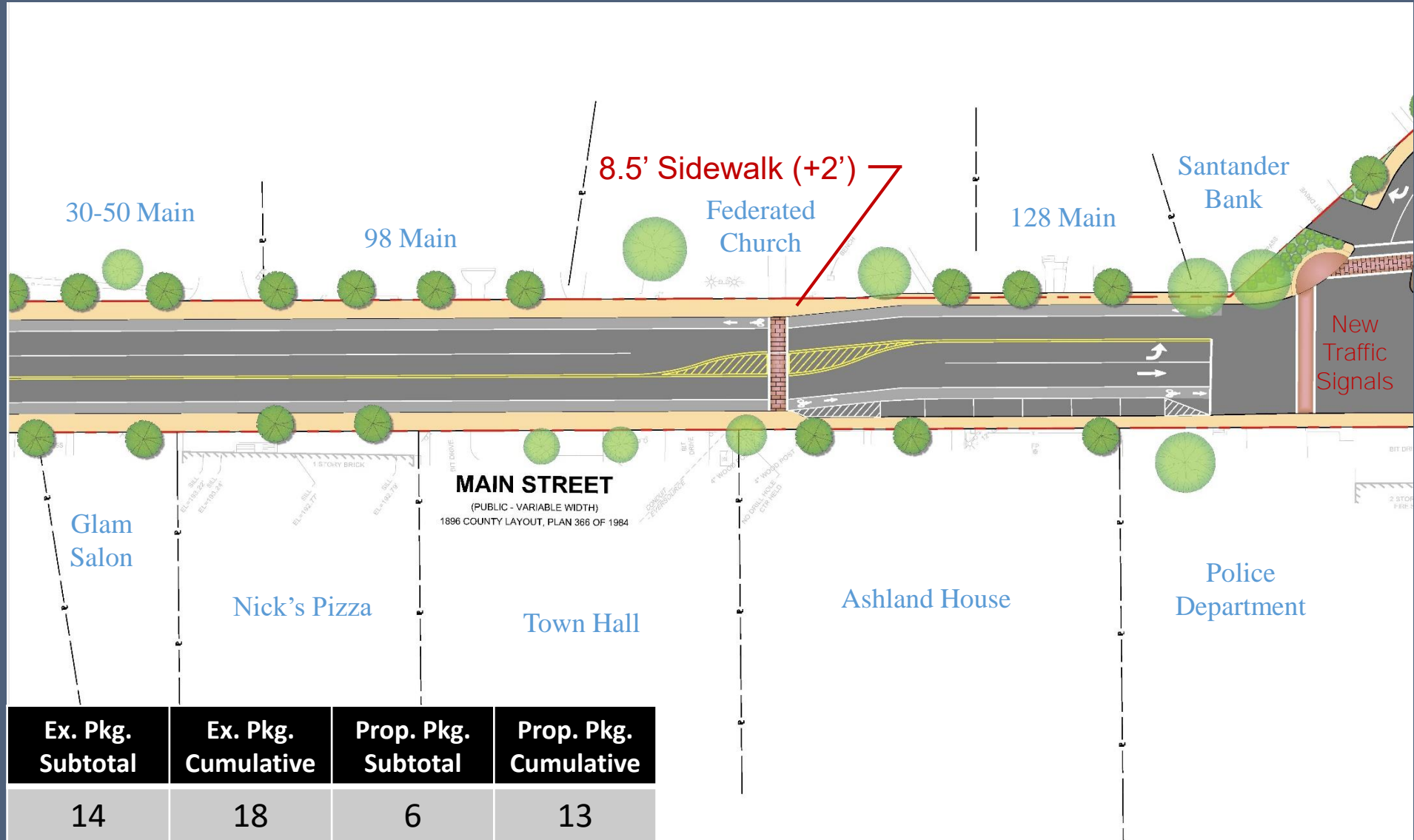


Main Street – Alternative B (Water Street to Pleasant Street)





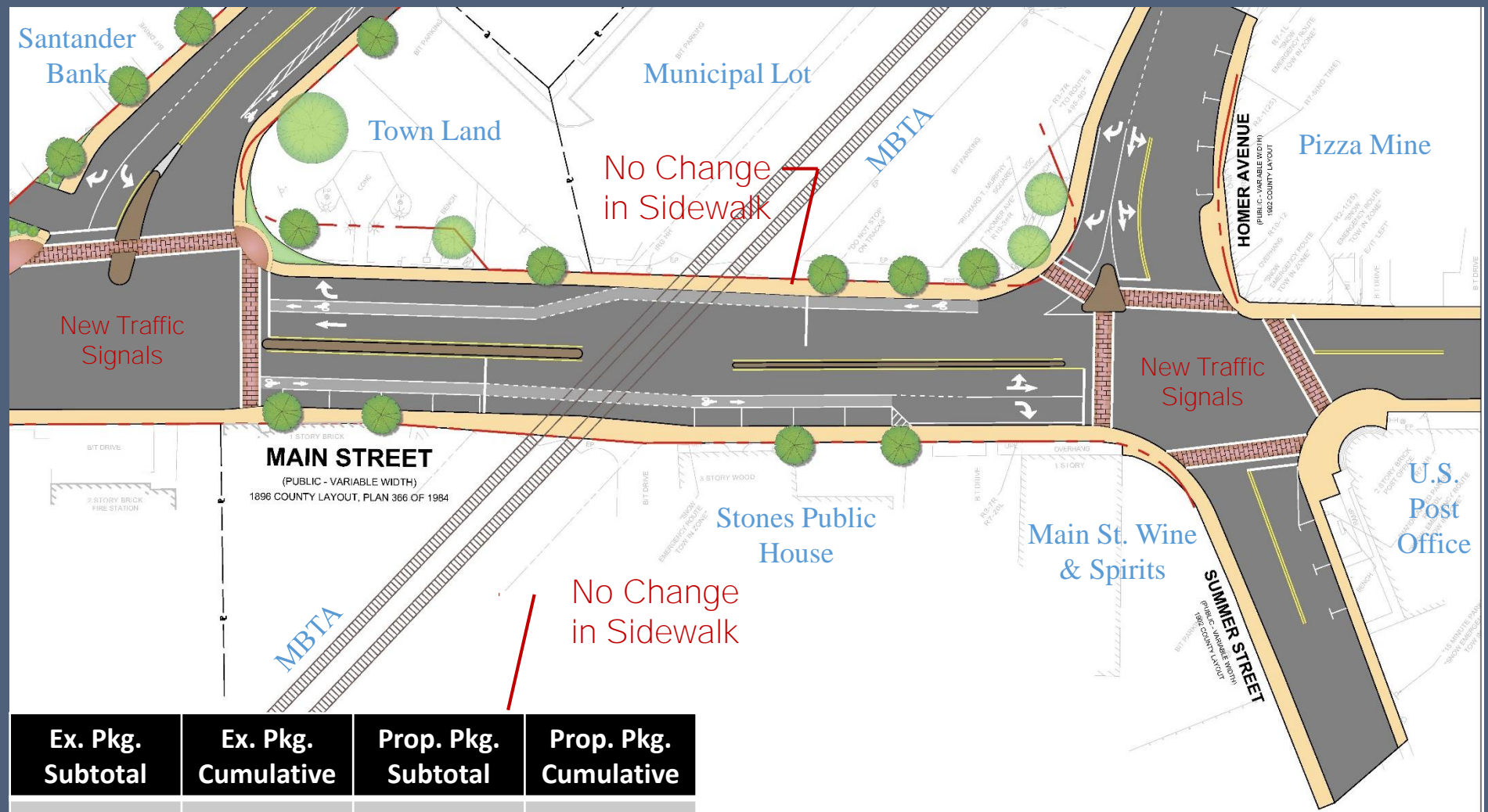
Main Street – Alternative B (Pleasant Street to Front Street)



Ex. Pkg. Subtotal	Ex. Pkg. Cumulative	Prop. Pkg. Subtotal	Prop. Pkg. Cumulative
14	18	6	13



Main Street – Alternative B (Front Street to Homer Avenue)



Ex. Pkg. Subtotal	Ex. Pkg. Cumulative	Prop. Pkg. Subtotal	Prop. Pkg. Cumulative
9	23	8	21

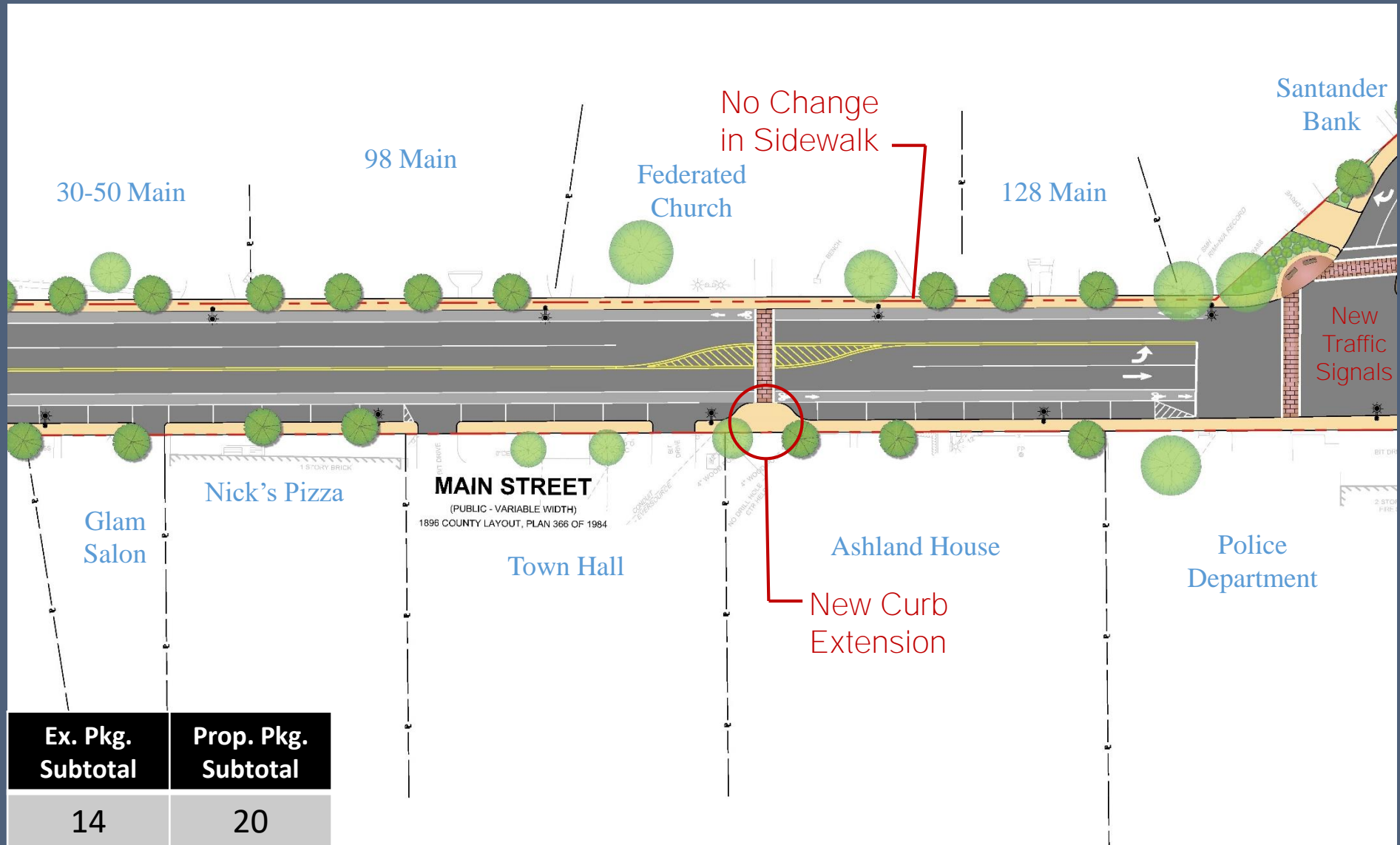
Main Street – Alternative B

(View Toward Water Street)



Main Street – Alternative C

(Pleasant Street to Front Street)



Main Street – Alternative C

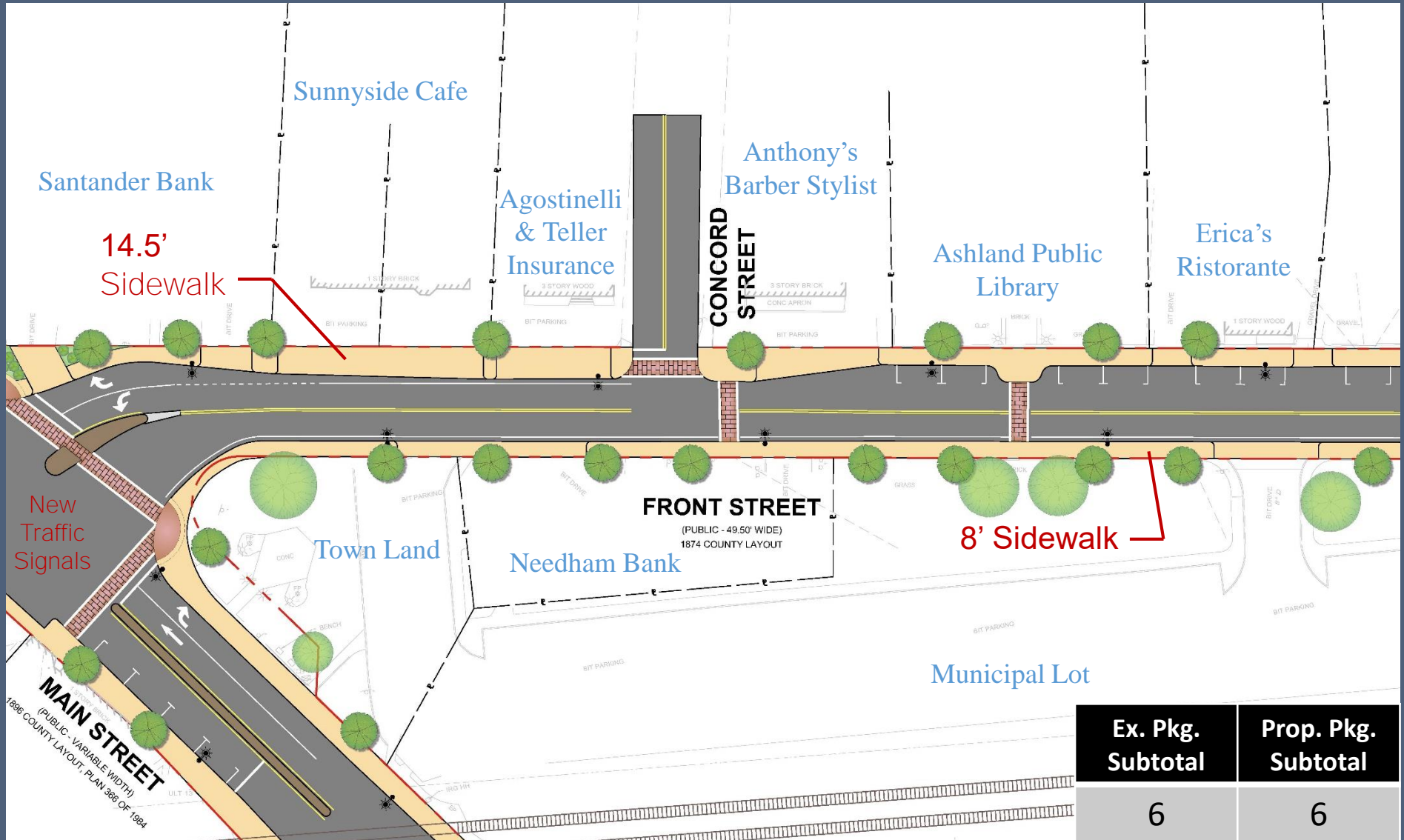
(View Toward Water Street)





Front Street – Alternative A

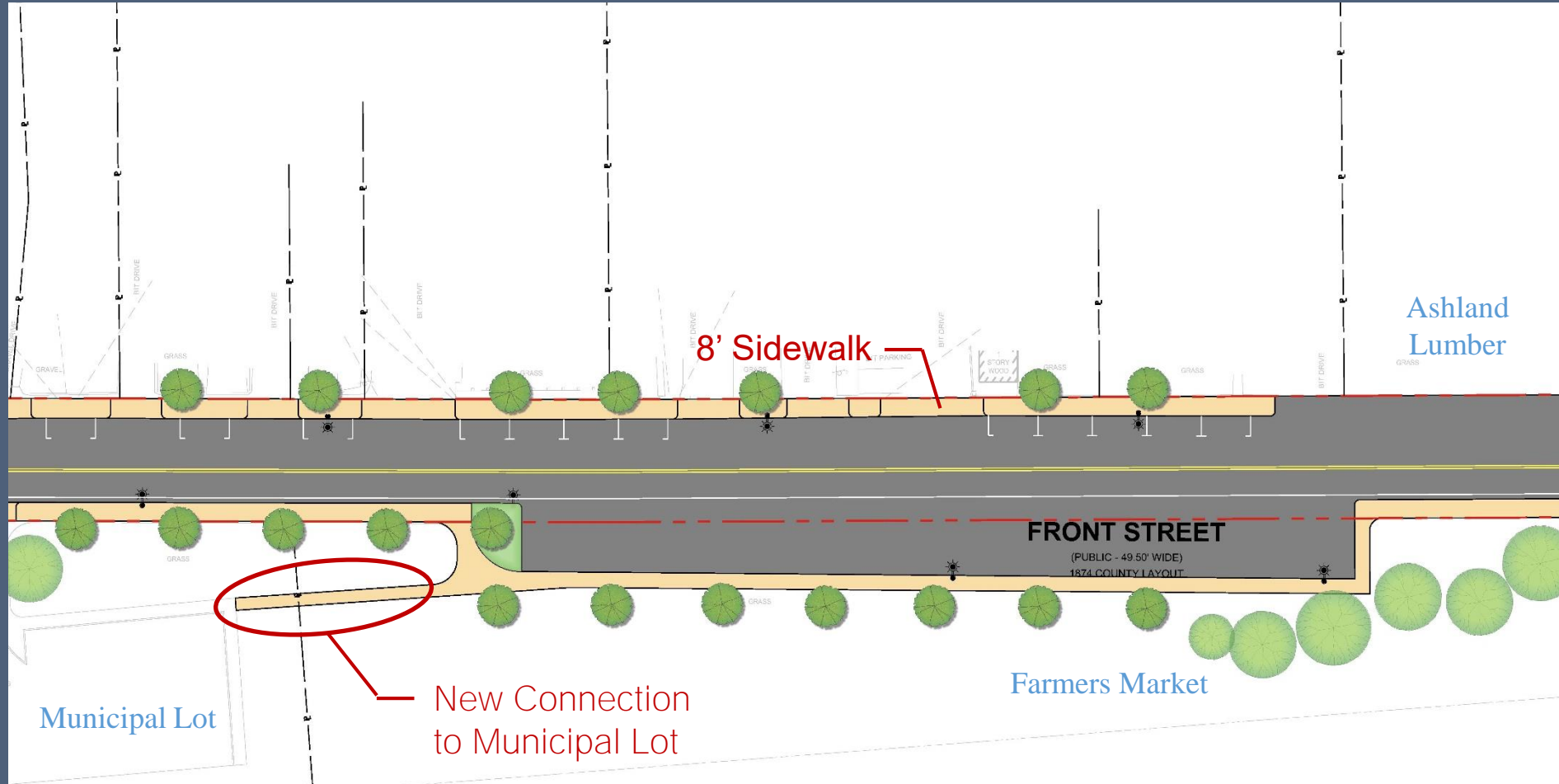
(Main Street to the Erica’s Ristorante)



Ex. Pkg. Subtotal	Prop. Pkg. Subtotal
6	6



Front Street – Alternative A (Erica’s Ristorante to Project Limit)



Ex. Pkg. Subtotal	Ex. Pkg. Cumulative	Prop. Pkg. Subtotal	Prop. Pkg. Cumulative
13	19	12	18



Front Street – Alternative A

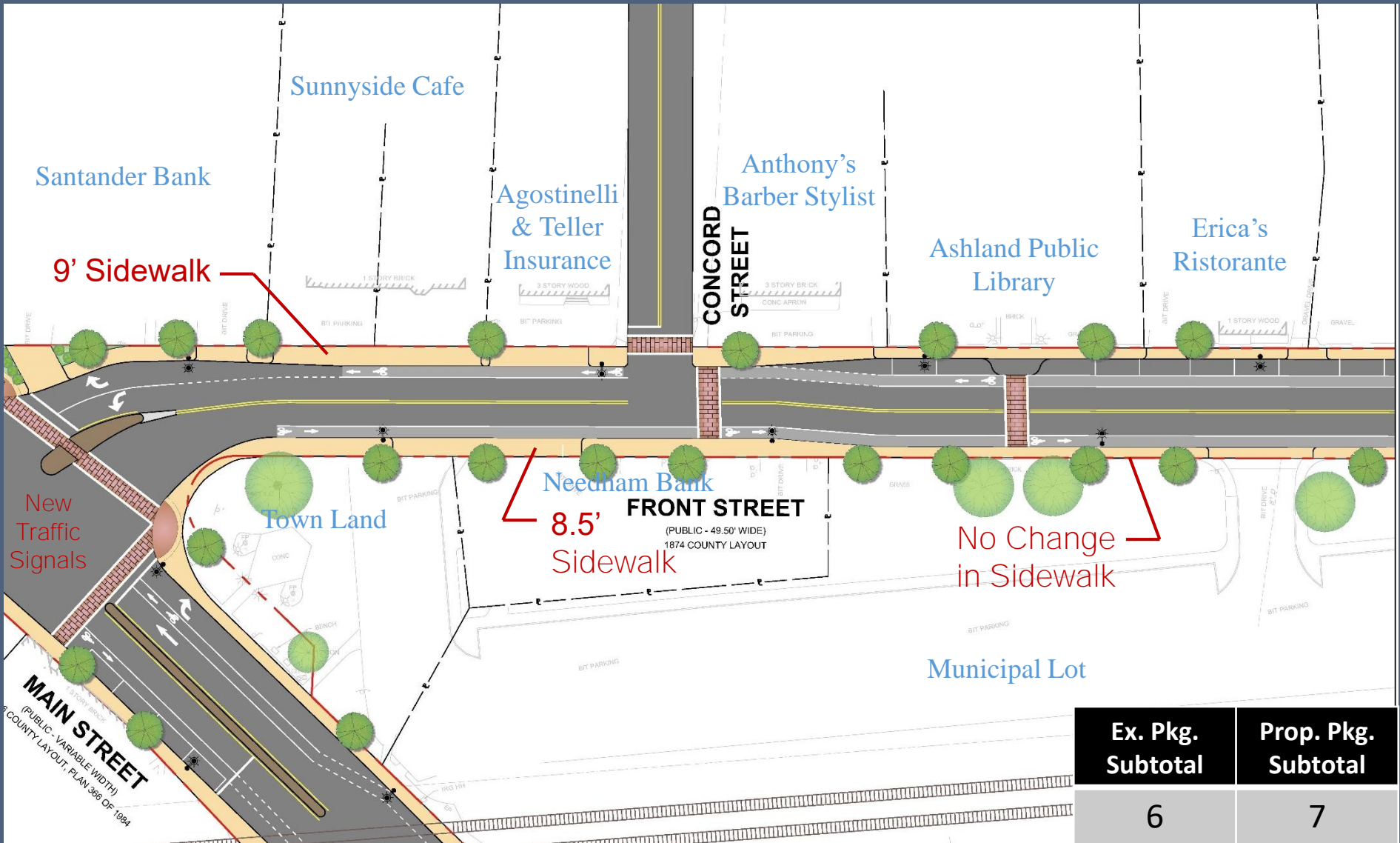
(View From Main Street)





Front Street – Alternative B

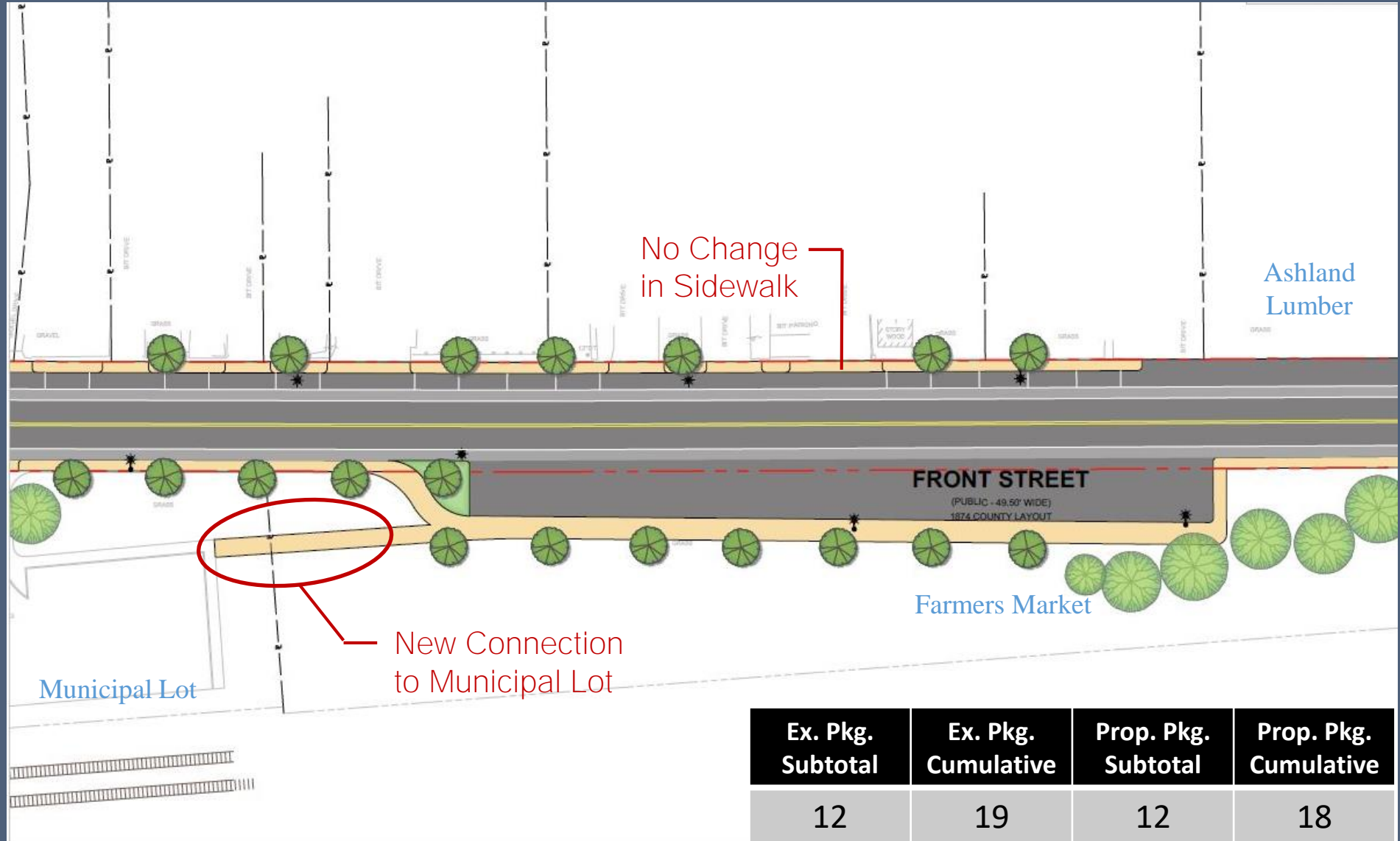
(Main Street to the Erica’s Ristorante)



Ex. Pkg. Subtotal	Prop. Pkg. Subtotal
6	7



Front Street – Alternative B (Erica’s Ristorante to Project Limit)



Ex. Pkg. Subtotal	Ex. Pkg. Cumulative	Prop. Pkg. Subtotal	Prop. Pkg. Cumulative
12	19	12	18

Front Street – Alternative B

(View from Main Street)





Next Steps

- Review comments/suggestions from workshop
- Complete traffic and parking analysis
- Provide recommendations related to undergrounding
- Develop preliminary design
- Present design to community
- Complete preliminary design



 BSC GROUP

QUESTIONS?