

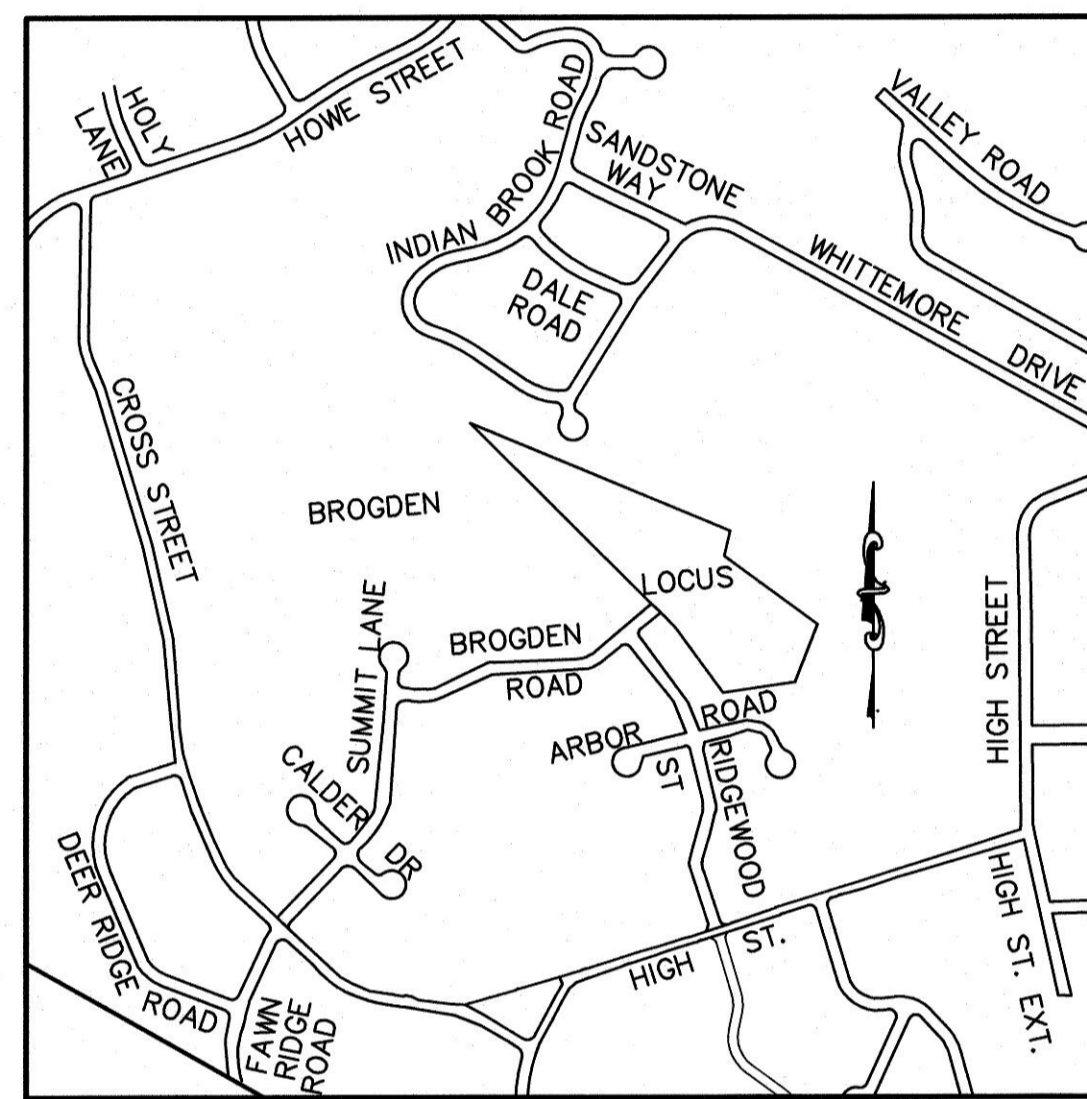
DEFINITIVE SUBDIVISION PLAN BROGDEN ROAD EXTENSION A 2 LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION ASHLAND, MASSACHUSETTS

DATE: OCTOBER 25, 2017

Revised: Dec. 14, 2017

May 7, 2018

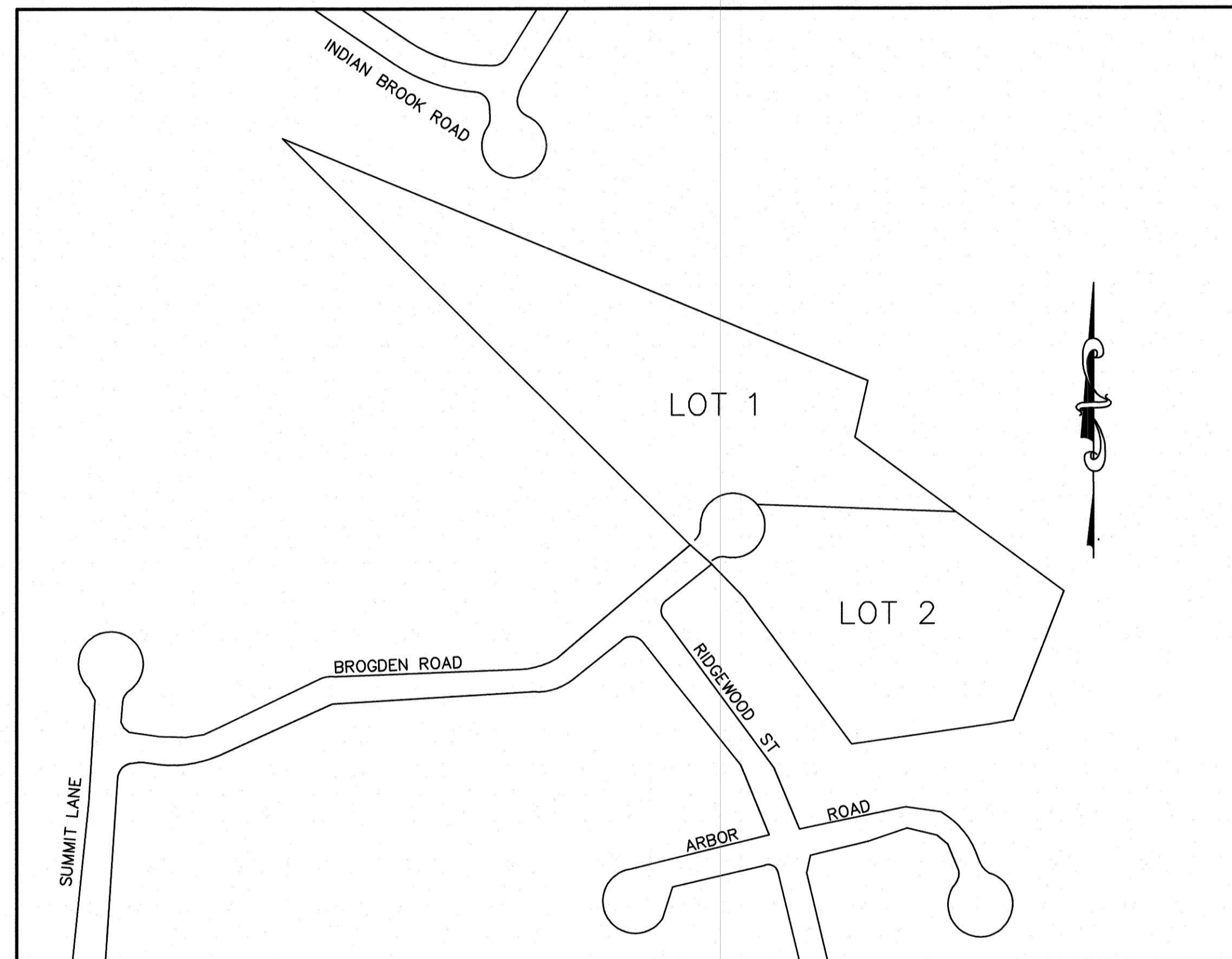
June 7, 2018



LOCUS
SCALE: 1"=800'

WAIVERS GRANTED:

- 1.) SECTION 344-20 (H)(1): Requires pavement width of 26 feet.
- Waiver requested to allow pavement width of 22 feet, which is consistent with the existing Brogden Road.
- 2.) SECTION 344-20: (E): Pavement section.
- Waiver request for the binder course and top course to be consistent with latest MADOT thicknesses as shown on the typical detail.
- 3.) SECTION 344-21 (A)(1): Requires granite curb (Type VA4) for roadways at 6% or greater.
- Waiver requested to allow the cul-de-sac to be constructed with Cape Cod Berm.



LOCUS
SCALE: 1"=200'

OWNER:
A & M Realty Trust
43 Ridgewood Street
Ashland, MA 01721

DEED REFERENCE:
MIDDLESEX REGISTRY OF DEEDS
BOOK 69503, PAGE 534

PLAN REFERENCE:
MIDDLESEX REGISTRY OF DEEDS
1. FILED AS NO. 576 OF 2016

ASSESSORS REFERENCE:
MAP 18, PARCEL 180

ZONING CLASSIFICATION:
RESIDENCE A DISTRICT (RA)
AREA: 30,000 S.F.
FRONTAGE: 150 FT.
SETBACKS:
FRONT: 40 FT.
SIDE: 10 FT.
REAR: 30 FT.

APPROVED BY THE
ASHLAND PLANNING BOARD:

[Signatures]

DATE APPROVED: May 17, 2018

DATE ENDORSED: June 14, 2018

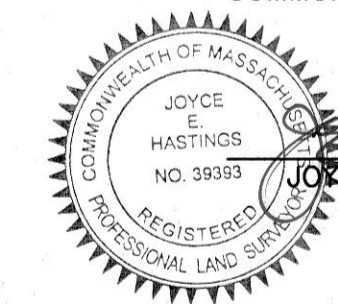
APPROVED May 17, 2018 SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED
BY Jean M. Ward DATED June 14, 2018
AND TO BE (RECORDED) (REGISTERED) HEREWITH.

I TOWN CLERK OF THE TOWN OF ASHLAND
RECEIVED FROM THE PLANNING BOARD APPROVAL
OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN
FOR TWENTY DAYS NEXT AFTER RECEIPT AND
RECORDING OF SAME.

[Signature]
TOWN CLERK DATE

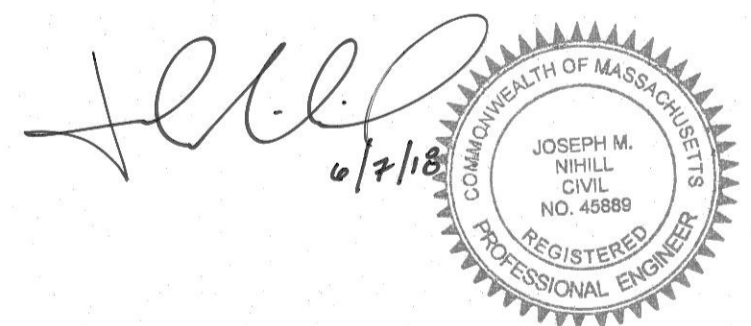
I CERTIFY THAT THIS PLAN CONFORMS TO THE
RULES & REGULATIONS OF THE REGISTER OF DEEDS.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH
THE PROCEDURAL AND TECHNICAL STANDARDS FOR
THE PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.



[Signature]
JOYCE E. HASTINGS P.L.S.

6/7/18
DATE



6/7/18

PREPARED BY:

GLM ENGINEERING
CONSULTANTS, INC.
19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429-1100 fax:(508)429-7160

OWNER & APPLICANT:

A & M REALTY TRUST
43 RIDGEWOOD STREET
ASHLAND, MASSACHUSETTS 01721

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS
3	CERTIFICATE OF APPROVAL
4	LAYOUT PLAN (1"=40')
5	LAYOUT PLAN (1"=60')
6	GRADING, DRAINAGE & UTILITIES
7	PLAN AND PROFILE OF ROADWAYS
8	EROSION CONTROL PLAN
9	DETAILS
10	DETAILS

JOB No. 16130

SCALE: NO SCALE

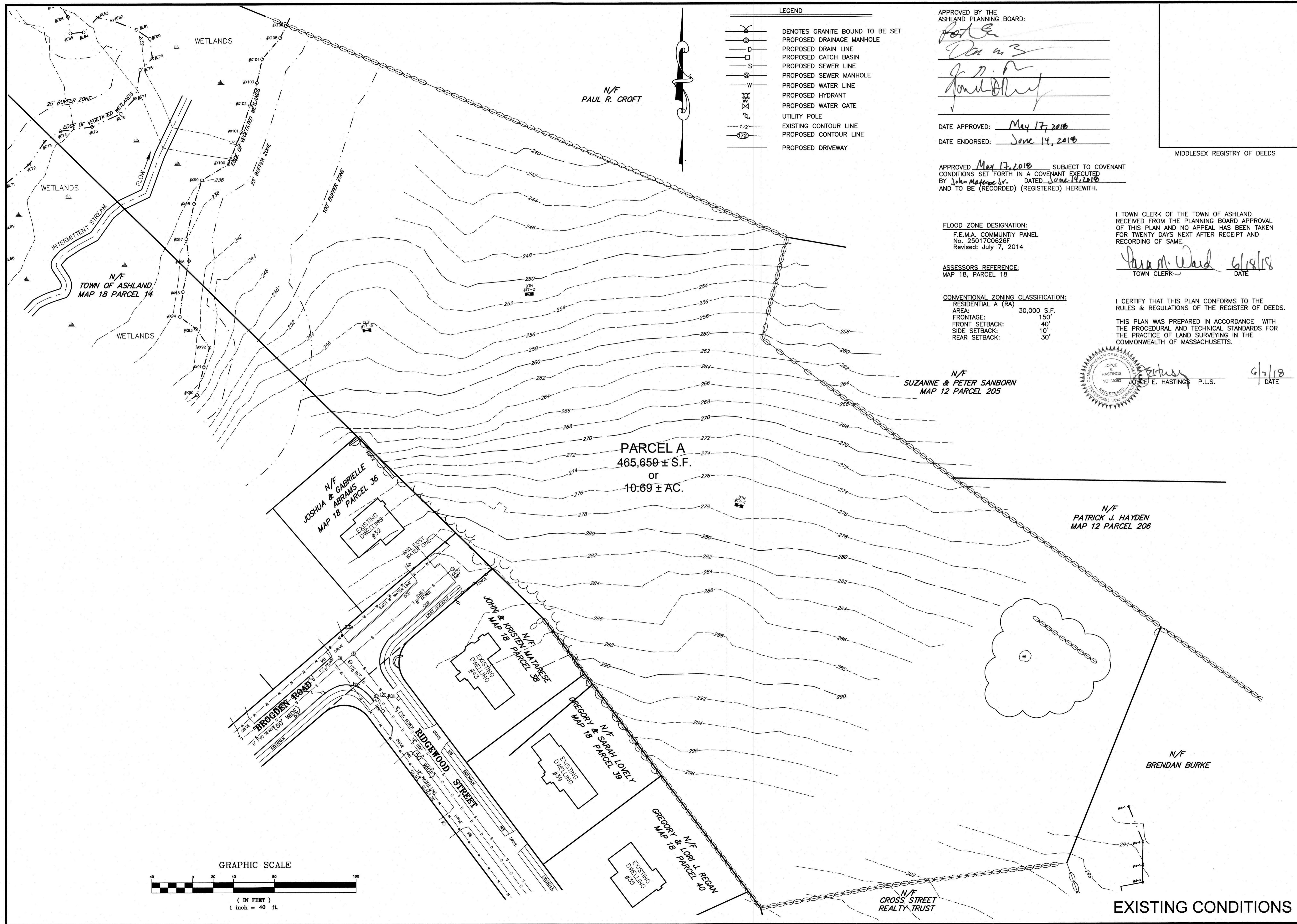
DATE: AS NOTED

PLAN SHEET NO.

1 of 10

GLM PLAN NO.
27167

2018 JUN 18 AM 11:34



- LEGEND**
- DENOTES GRANITE BOUND TO BE SET
 - PROPOSED DRAINAGE MANHOLE
 - PROPOSED DRAIN LINE
 - PROPOSED CATCH BASIN
 - PROPOSED SEWER LINE
 - PROPOSED SEWER MANHOLE
 - PROPOSED WATER LINE
 - PROPOSED HYDRANT
 - PROPOSED WATER GATE
 - UTILITY POLE
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - PROPOSED DRIVEWAY

APPROVED BY THE ASHLAND PLANNING BOARD:

[Signatures]

DATE APPROVED: May 17, 2018

DATE ENDORSED: June 14, 2018

APPROVED May 17, 2018 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY John Mafroc Jr. DATED June 14, 2018 AND TO BE (RECORDED) (REGISTERED) HEREWITH.

FLOOD ZONE DESIGNATION:
F.E.M.A. COMMUNITY PANEL
No. 25017C0626F
Revised: July 7, 2014

ASSESSORS REFERENCE:
MAP 18, PARCEL 18

CONVENTIONAL ZONING CLASSIFICATION:
RESIDENTIAL A (RA)
AREA: 30,000 S.F.
FRONTAGE: 150'
FRONT SETBACK: 40'
SIDE SETBACK: 10'
REAR SETBACK: 30'

N/F
SUZANNE & PETER SANBORN
MAP 12 PARCEL 205

I TOWN CLERK OF THE TOWN OF ASHLAND RECEIVED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

[Signature] 6/18/18
TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



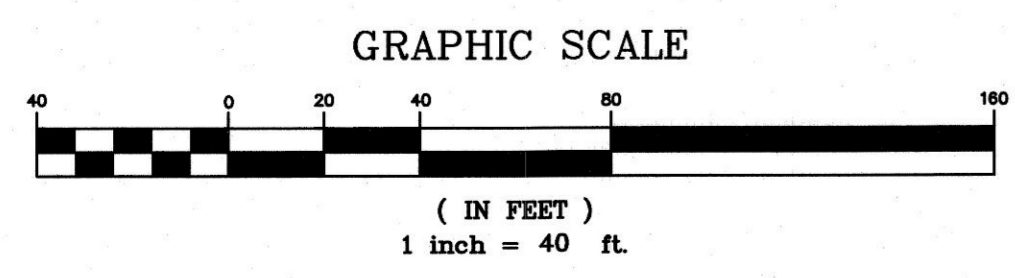
[Signature]
JOSEPH E. HASTINGS P.L.S.

6/7/18
DATE

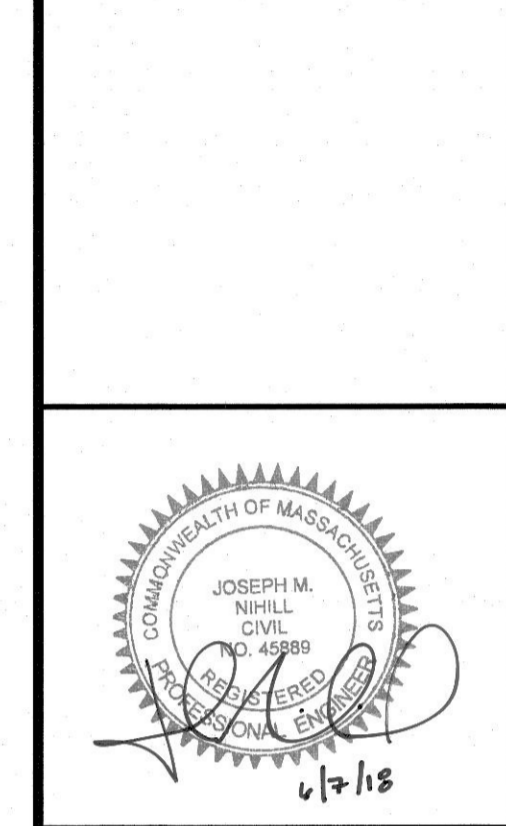
PARCEL A
465,659 ± S.F.
or
10.69 ± AC.

N/F
PATRICK J. HAYDEN
MAP 12 PARCEL 206

N/F
BRENDAN BURKE



NO.	DATE	DESCRIPTION
1	12/14/17	REVISED PLG BRD COMMENTS
2	05/07/18	REVISED PLG BRD COMMENTS
3	06/07/18	PLB BRD DECISION



DEFINITIVE SUBDIVISION PLAN
BROGDEN ROAD EXTENSION
ASHLAND, MASSACHUSETTS

PREPARED FOR:
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43 RIDGEWOOD STREET
ASHLAND, MA 01721

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F: 508-429-7160
www.GLMengineering.com

JOB No. 16130
DATE: OCTOBER 25, 2017
SCALE: 1"=40'
SHEET: 2 of 10
PLAN #: 27,167

EXISTING CONDITIONS

Certificate of Approval – Definitive Subdivision Plan
John Matarese, Jr. Trs., A & M Realty Trust

Brogden Road Extension
Map 18 Lot 180
May 17, 2018

DECISION:

Following presentations by the Applicant and its consultants, a review by Board members, and comments from the public, the Board voted 4-0 to approve the Definitive Subdivision known as Brogden Road Extension as shown on the Set of Plans entitled "Definitive Subdivision Plan Brogden Road Extension" with Sheet 1 – "Cover Sheet"; Sheet 2 – "Existing Conditions"; Sheet 3 – "Layout Plan"; Sheet 4 – "Layout Plan"; Sheet 5 – "Grading Drainage & Utilities"; Sheet 6 – "Plan and Profile of Roadways"; Sheet 7 – "Erosion Control Plan"; Sheet 8 – "Details"; Sheet 9 – "Details" prepared by GLM Engineering Consultants, Inc. and signed and stamped by Joyce E. Hastings Registered Land Surveyor No. 39393 and Joseph M. Nihill Registered Professional Engineer – Civil No. 45889 all dated October 25, 2017; revised December 14, 2018, and May 7, 2018 subject to the following conditions and waivers:

1. Said lots shall be for single-family residential use, home occupations and recreation purposes as allowed by the Ashland's Zoning By-laws or such uses as allowed in future amendments of the Ashland Zoning By-laws.
2. The Board waives compliance with the following requirements of the Town of Ashland's Rules and Regulations governing the subdivision of land in Chapter 344 of the Ashland Town By-laws after finding that such action is in the public interest, is consistent with the intents and purposes of the Subdivision Control Law and consistent with the adjacent subdivision known as Hillcrest Estates.
 - a) The Board waives the requirements of Chapter 344 Section 344.20.H(1) to reduce the pavement width from 26 feet to 22 feet.
 - b) The Board waives the requirements of Chapter 344 Section 344.20.E only as to pavement thickness to allow a 2 1/2 inch binder course with a 1 1/2 inch finish coat and waives the need for a leveling course. The rest of Section 344.20.E shall be required.
 - c) The Board waives the requirements of Chapter 344 Section 344.20.H(1) to allow the cul-de-sac wherever the grade is at 6% or greater to be constructed with a Cope Cod berm instead of granite curbing.
3. Prior to endorsement of the Definitive Plan, proper and acceptable form of security for the construction of ways and the installation of all municipal services shall be provided to the Planning Board in accordance with the requirements of Ashland's Subdivision Rules and Regulations Chapter 344-8 F and MGL Chapter 41 Section 81U. Such services shall be completed in accordance with the applicable Ashland's Subdivision Rules and Regulation unless otherwise shown on the endorsed plans.
4. Reference to this Approval and conditions 1-45 shall be inscribed by the Applicant on a sheet of the plans suitable for recording at the South Middlesex Registry of Deeds prior to the endorsement of the Definitive Subdivision Plan by the Planning Board.
5. An itemized construction schedule for contemplated improvements shall be provided and attached to the performance guaranty. Such improvements shall not exceed three years from endorsement unless by written mutual agreement between the Applicant and the Planning Board.
6. A covenant which includes the form of security and the construction schedule shall be recorded with the endorsed plans at the South Middlesex Registry of Deeds.
7. The endorsed plans shall provide the Town with all necessary easements and appurtenant structures that are necessary for the Town's acceptance of ways and municipal utilities as determined by the Planning Board with consultation of the engineering review consultant and Department of Public Works (DPW).
8. In order to ensure proper access to the subdivision the Roadway acceptance documents must be recorded at the South Middlesex Registry of Deeds prior to endorsement of the Definitive Subdivision Plans.
9. Prior to endorsement, the applicant shall depict house numbers on the plan as assigned and approved by the Building Commissioner.
10. At the time of endorsement, the applicant shall submit two (2) mylar sets of plans for endorsement, two (2) large 24 x 36 copies and six (6) 11x17 copies to the Planning Office and a geo-referenced CAD file to the Department of Public Works.
11. Following endorsement of the definitive plan and at least 72 hours before construction begins the Applicant shall meet with staff from DPW, and the Planning, Conservation and Public Health Departments. The Applicant is encouraged to bring their engineer, roadway construction contractor and lot developer to this preconstruction meeting.
12. During construction, all local, state, and federal laws shall be followed regarding noise, vibration, dust, and blocking of town roads. The Applicants shall at all times use all reasonable means to minimize inconvenience to residents in the general area. Construction of the proposed ways and services shall not commence on any day before 7:00 A.M. and shall not continue beyond 6:00 P.M. There shall be no construction of the proposed ways and services on any Sunday or federal legal holiday.
13. The Applicant shall take appropriate steps to minimize to the maximum extent practicable dust generated by the construction, including but not limited to covering open trucks transporting construction debris or material and from the site; keeping Brogden Road clean of dirt and debris; and watering and sweeping where appropriate portions of the construction site as necessary.
14. Prior to construction the Applicant shall submit to DPW and Conservation Department a Stormwater Pollution Prevention Plan completed in accordance with federal regulations.
15. All construction staging and parking shall be on site.
16. In the absence of any details or waivers described in this document the current Subdivision Rules and Regulations set forth in Chapter 344 of the Ashland By-laws shall govern and are hereby made part of this approval. The roadways and utilities shall be installed and completed to the satisfaction of the Department of Public Works. All construction details not specifically shown on approved plan shall conform to the Department of Public Works and Fire Department specifications. This shall include the necessary water and sewer permits from the DPW Rules and Regulations. In addition, water lines shall have adequate pressure and flow as determined by the DPW and Fire Department.
17. All future sewer tie-ins to or from properties outside this subdivision shall be approved by the Department of Public Works.
18. Commencement of construction is contingent upon the following:
 - a. At the time of construction, Road Opening Security shall be established to ensure proper stabilization, loam, and seeding of the right of way, detention areas, and other areas impacted by the road conditions.
 - b. The applicant shall adhere to proper notification procedures for construction. Said procedures shall require a minimum of 48 hours' notice for inspection services. Solid water and sewer facilities shall be constructed under the supervision and in accordance with the requirement of the DPW as well as overseen by the Planning Board's Inspection Engineer.
19. All catch basins shall remain functional at all times. Rims shall be set at binder elevation and shall be adjusted to finish course elevation prior to placement of the top coat of pavement.

20. If the binder course of pavement is exposed to one winter, the Department Public Works may require the binder course to be leveled or chipsealed prior to September 1 of the following year. If the roadway work is not completed prior by the fourth winter season, roadway reconstruction may be required by Department Public Works.
21. The applicant shall install utilities, i.e., service stubs, beyond the edge of the right of way after the binder coat is in place. No roadway openings shall be made without prior approval of the the Department of Public Works.
22. After binder pavement is installed, the Applicant shall submit preliminary as-builts to DPW. These preliminary as-builts shall show any field revisions that occurred during construction.
23. No lot shall be released until such time as the applicant has assured the Planning Board of the proper recording of pertinent documents at the Middlesex County South District Registry of Deeds and not until the Planning Board has determined that construction of ways, utilities, and sidewalks has been executed as required by Chapter 344 of the Ashland Bylaws, through to binder coat; and proper documentation is presented to assure that the provisioning of necessary municipal services, has been completed, tested and approved by appropriate authorities.
24. As-built construction plans and geo-referenced CAD drawings of the road layout sewer, water and drainage utilities shall be submitted to the Department of Public Works and Planning Department for review prior to road acceptance by the Town and release of the bonds.
25. Failure by the Applicant to obtain the endorsement of the Planning Board within six (6) months of the date of this approval shall result in the automatic rescission of this approval. The time for such endorsement may be extended for not more than one year upon the written request of the Applicant, for good cause shown, prior to the expiration of said six month period, and upon a vote of the majority of the Planning Board then present.
26. Failure by the Applicant to complete the construction of the ways and the installation of the services shown on the Definitive Plan within three (3) years of the date of endorsement shall result in the automatic rescission of this approval. The time for such construction and/or installation may be extended upon the written request of the Applicant, for good cause shown, prior to the expiration of said three (3) year period, and upon a vote of the majority of the Planning Board then present.
27. Before any occupancy permits are granted the provisions listed in Ashland's Subdivision Rules and Regulations: Chapter 344-11, must be met.
28. At the time of issuance of occupancy permits, vehicular access to the lot shall not be impeded by stationary construction vehicles, stockpiles of earth or construction materials, or construction detritus.
29. The Applicant shall take adequate precautions in the temporary stockpile of materials and shall not exceed the height stipulated in the Subdivision Regulations unless approved by the Planning Board.
30. The Applicant shall provide a stamped plan by a registered structural engineer on any retaining walls over 4 (four) feet in height.
31. Prior to the first lot release the applicant shall submit a stormwater operations and maintenance plan to Department of Public Works.
32. The Applicant shall, prior to the first lot release provide a list of actions that will be taken to address the NPDES Stormwater Pollution Prevention Requirements one for each control measure: Control Measure #1 "Public Education and Outreach" and Control Measure #2 "Public Participation/Involvement". Evidence of implementation shall be provided to the Department of Public Works and Planning Department before the issuance of the first occupancy.
33. The Town of Ashland and its designees shall have the right to enter the property until the roadways are accepted by the town at which time the Roadways become public. Inspectional services shall have the right to inspect any house lots under their normal operating procedures as allowed by law.
34. Until such time as the Town of Ashland accepts ownership of any lot or parcel(s) containing a detention basin, the Applicant shall be solely responsible for the operation and maintenance of the drainage swales and detention basins in a good and orderly manner after construction.
35. The Town of Ashland shall have the authority with respect to any emergency as it relates to the water, sewer, and drainage system to enter and make necessary repairs in order to abate said emergency shall be defined as the creation of a condition that results in or could result in flooding of adjacent properties, the overloading of municipal drainage, water or sewer system or a condition that is a threat to public health and safety until such time that the roads and easements are accepted by the Town. Within thirty days of invoice by the Town all costs incurred by the Town in the event of such emergency shall be paid by the A & M Realty Trust or its successors.
36. The Conservation Commission's Order of Conditions regarding this property shall be made a part of the Definitive Plan. If there is any inconsistency between the submitted Definitive Plan and the plans as may be approved by the Conservation Commission, the Applicant shall submit an amended plan to the Planning Board for approval. Said amended plan shall be accompanied by a letter setting forth any and all changes from the submitted Subdivision Plan and shall include revised drainage calculations, if applicable.
37. The force main located on Lot 1 shall remain private.
38. It is the intention of the Planning Board and the Applicant that the Roads and Drainage and/or access Easements shall be accepted by the town as such prior to subdivision bond release. If the roads, utilities and stormwater facilities are not built to the Town's satisfaction the Town shall use the security to correct the deficiencies.

39. To the extent that the Project requires any other permits or approvals, whether as a result of any condition hereby imposed or otherwise, the applicant shall comply with any requirements of any other official, board, commission or committee of the Town of Ashland to obtain the required permits or approvals.
40. The provisions of this approval shall be binding upon every owner or its successors of its obligations and restrictions until such time that the town accepts the roadways and stormwater facilities.
41. If any of the above conditions, or any portion thereof, shall be determined by a court of competent jurisdiction to be invalid or void, this Certificate of Approval shall be void and of no effect.
42. The term "Applicant" as used in this decision shall mean the Applicant, their heirs, successors, and assigns.

APPROVED BY THE
ASHLAND PLANNING BOARD:

[Signatures]

DATE APPROVED: May 17, 2018
DATE ENDORSED: June 14, 2018

APPROVED May 17, 2018 SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED
BY John Matarese Jr. DATED June 14, 2018
AND TO BE (RECORDED) (REGISTERED) HEREWITH.

MIDDLESEX REGISTRY OF DEEDS

I TOWN CLERK OF THE TOWN OF ASHLAND
RECEIVED FROM THE PLANNING BOARD APPROVAL
OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN
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RECORDING OF SAME.

[Signature] 6/18/18
TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE
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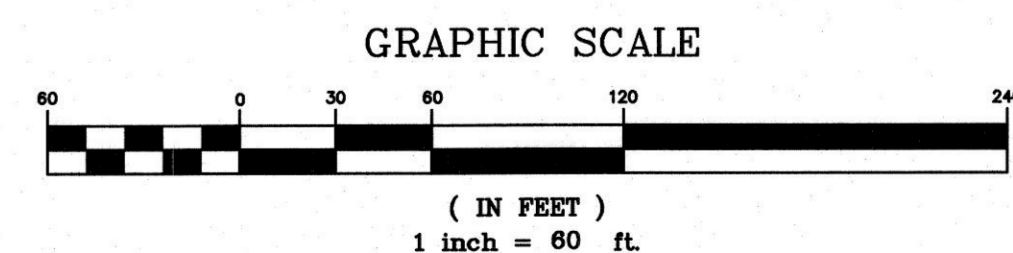


[Signature] JOYCE E. HASTINGS P.L.S. 6/7/18
DATE

FLOOD ZONE DESIGNATION:
F.E.M.A. COMMUNITY PANEL
No. 25017C0626F
Revised: July 7, 2014

ASSESSORS REFERENCE:
MAP 18, PARCEL 18

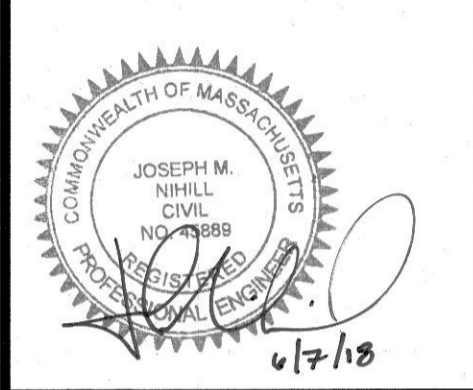
CONVENTIONAL ZONING CLASSIFICATION:
RESIDENTIAL A (RA)
AREA: 30,000 S.F.
FRONTAGE: 150'
FRONT SETBACK: 40'
SIDE SETBACK: 10'
REAR SETBACK: 30'



CERTIFICATE OF APPROVAL

REVISIONS		DESCRIPTION
No.	DATE	REVISIONS
1	12/14/17	REVISED PLG BRD COMMENTS
2	05/07/18	REVISED PLG BRD COMMENTS
3	06/07/18	PLB BRD DECISION

RECEIVED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

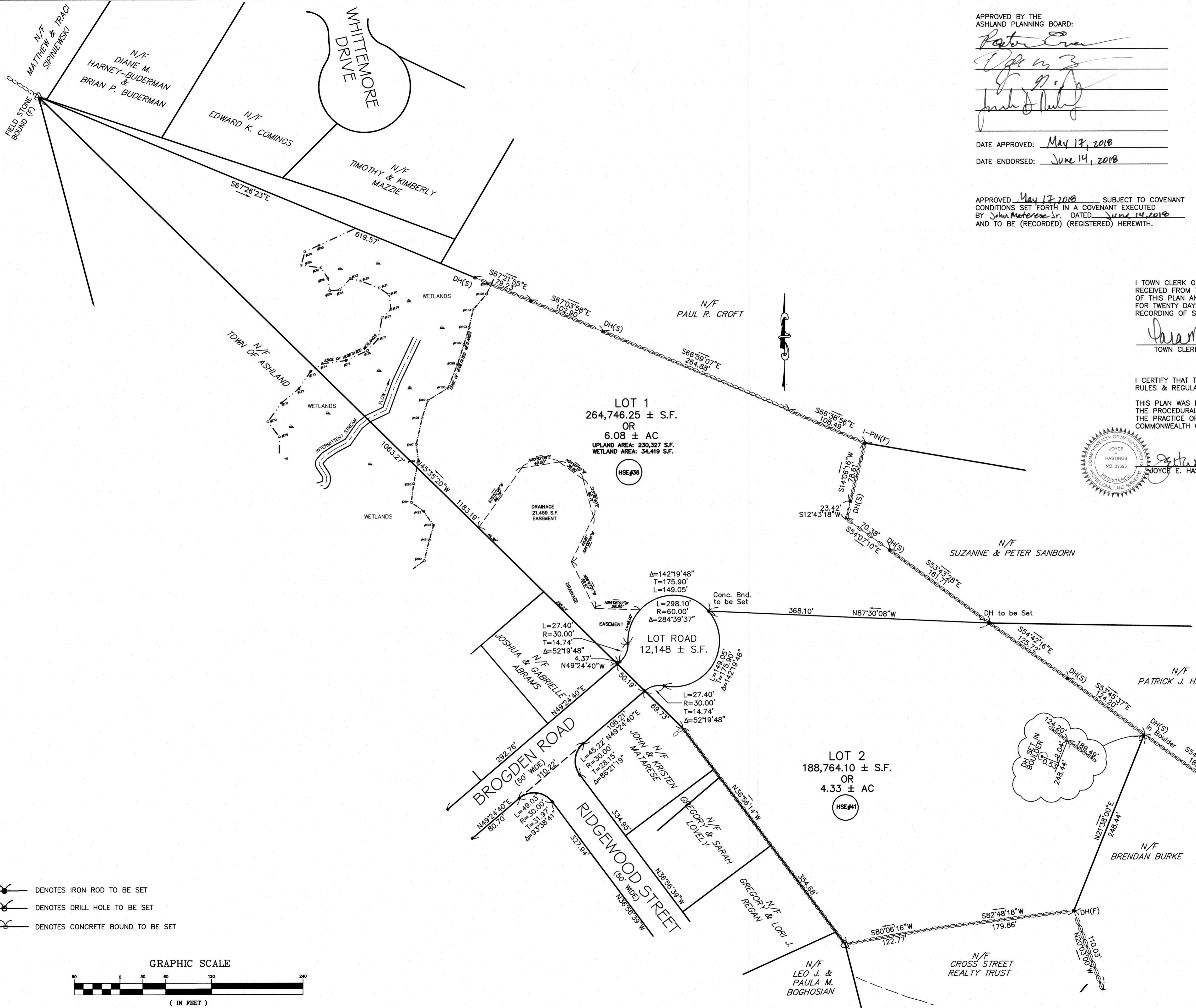


DEFINITIVE SUBDIVISION PLAN
BROGDEN ROAD EXTENSION
ASHLAND, MASSACHUSETTS

PREPARED FOR:
A & M REALTY TRUST
43 RIDGEWOOD STREET
ASHLAND, MA 01721

GLM Engineering Consultants, Inc.
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F: 508-429-7160
www.GLMengineering.com

JOB No.	16130
DATE:	OCTOBER 25, 2017
SCALE:	1" = 60'
SHEET:	3 of 10
PLAN #:	27,167



APPROVED BY THE
ASHLAND PLANNING BOARD:

Robert Egan
John P. ...
John ...

DATE APPROVED: May 17, 2018
DATE ENDORSED: June 14, 2018

MIDDLESEX REGISTRY OF DEEDS

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Dawn Ward 6/18/18
TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE
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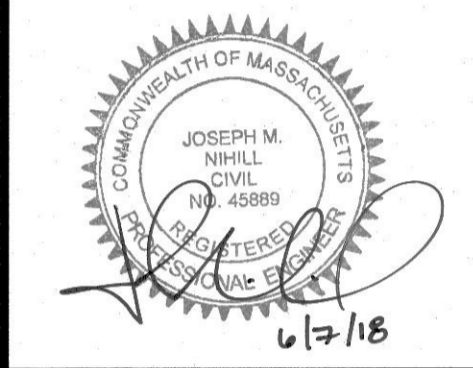
Joyce E. Hastings 6/7/18
JOYCE E. HASTINGS P.L.S. DATE

FLOOD ZONE DESIGNATION:
F.E.M.A. COMMUNITY PANEL
No. 25017C0626F
Revised: July 7, 2014

ASSESSORS REFERENCE:
MAP 18, PARCEL 18

CONVENTIONAL ZONING CLASSIFICATION:
RESIDENTIAL A (RA)
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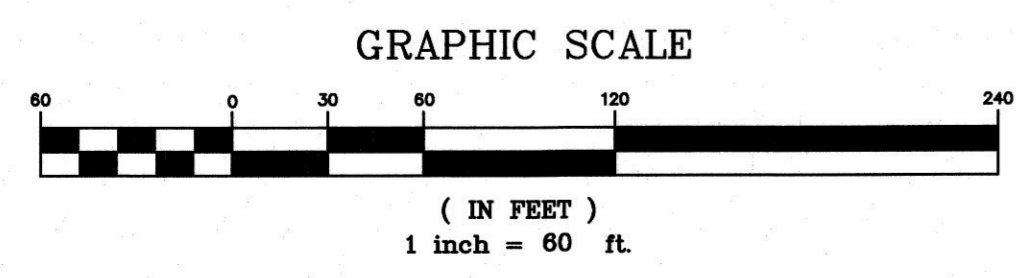
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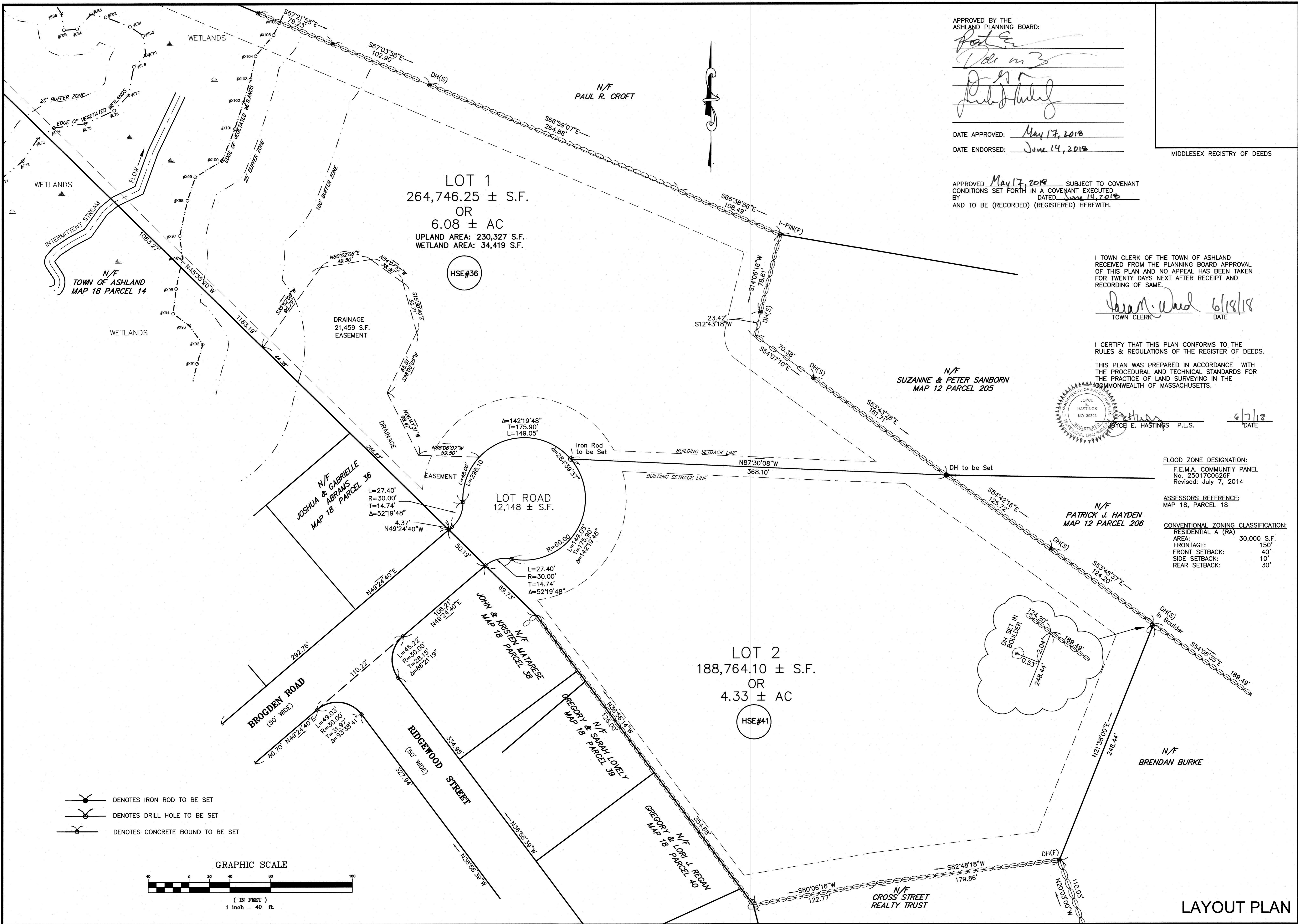
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JOB No. 16130
DATE: OCTOBER 25, 2017
SCALE: 1" = 60'
SHEET: 4 of 10
PLAN #: 27,167

- DENOTES IRON ROD TO BE SET
- DENOTES DRILL HOLE TO BE SET
- DENOTES CONCRETE BOUND TO BE SET



LAYOUT PLAN



APPROVED BY THE
ASHLAND PLANNING BOARD:

[Signatures]

DATE APPROVED: May 17, 2018
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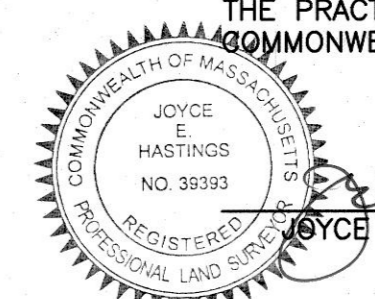
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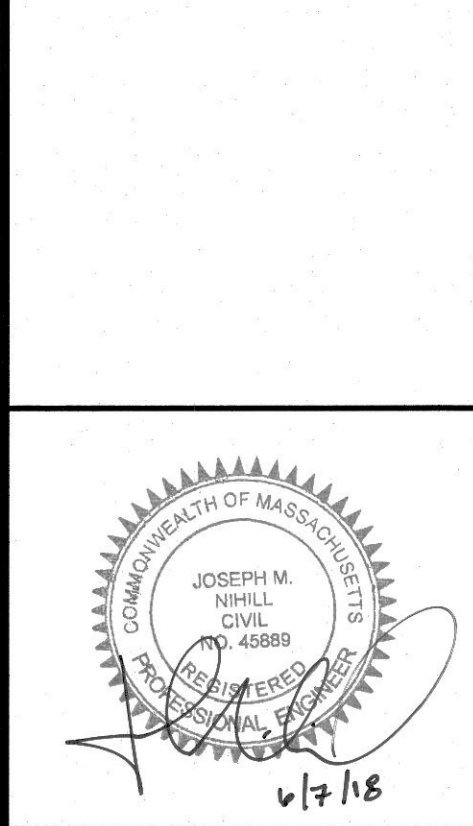
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RESIDENTIAL A (RA)
AREA: 30,000 S.F.
FRONTAGE: 150'
FRONT SETBACK: 40'
SIDE SETBACK: 10'
REAR SETBACK: 30'

NO.	DATE	DESCRIPTION
1	12/14/17	REVISED PLG BRD COMMENTS
2	05/07/18	REVISED PLG BRD COMMENTS
3	06/07/18	PLB BRD DECISION



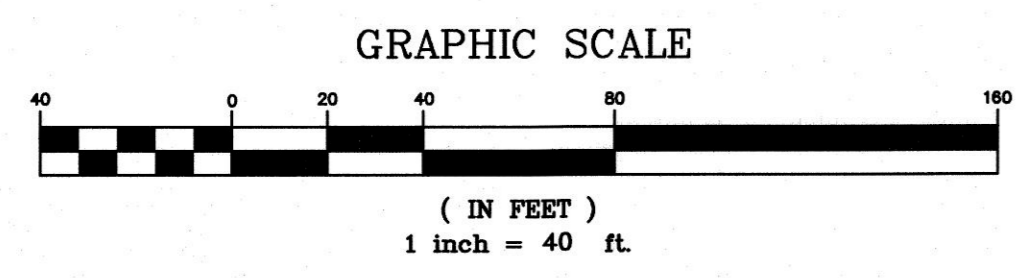
**DEFINITIVE SUBDIVISION PLAN
BROGDEN ROAD EXTENSION
ASHLAND, MASSACHUSETTS**

PREPARED FOR:
A & M REALTY TRUST
43 RIDGEWOOD STREET
ASHLAND, MA 01721

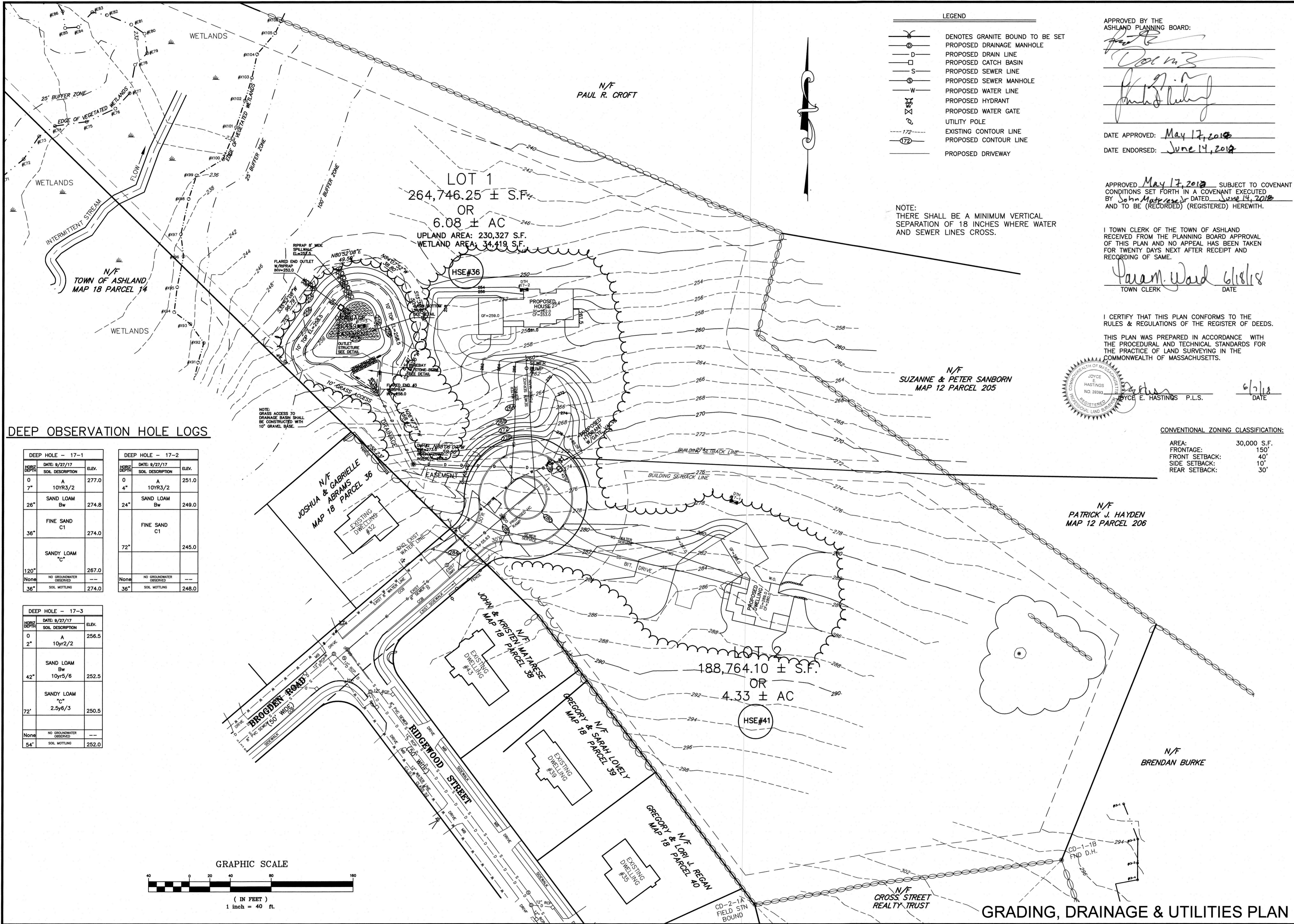
GLM Engineering
Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No. 16130
DATE: OCTOBER 25, 2017
SCALE: 1"=40'
SHEET: 5 of 10
PLAN #: 27,167

LAYOUT PLAN



- DENOTES IRON ROD TO BE SET
- DENOTES DRILL HOLE TO BE SET
- DENOTES CONCRETE BOUND TO BE SET



- LEGEND**
- DENOTES GRANITE BOUND TO BE SET
 - PROPOSED DRAINAGE MANHOLE
 - PROPOSED DRAIN LINE
 - PROPOSED CATCH BASIN
 - PROPOSED SEWER LINE
 - PROPOSED SEWER MANHOLE
 - PROPOSED WATER LINE
 - PROPOSED HYDRANT
 - PROPOSED WATER GATE
 - UTILITY POLE
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - PROPOSED DRIVEWAY

APPROVED BY THE ASHLAND PLANNING BOARD:

[Signature]

DATE APPROVED: May 17, 2018

DATE ENDORSED: June 14, 2018

APPROVED May 17, 2018 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY John Maffey DATED June 14, 2018 AND TO BE (RECORDED) (REGISTERED) HEREWITH.

I TOWN CLERK OF THE TOWN OF ASHLAND RECEIVED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

[Signature]
TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

[Signature]
JOYCE E. HASTINGS P.L.S. DATE 6/7/18



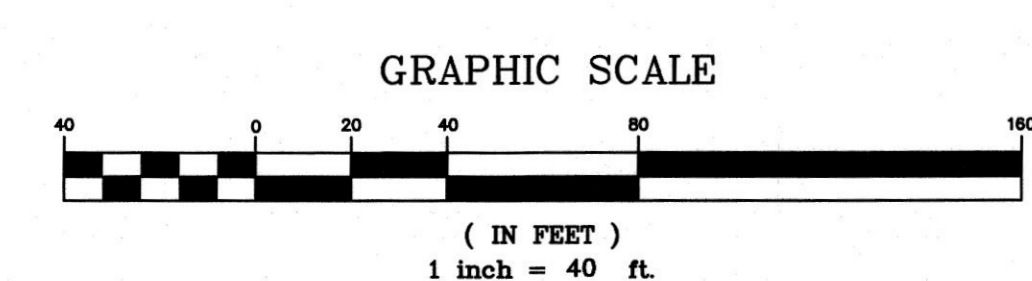
CONVENTIONAL ZONING CLASSIFICATION:

AREA:	30,000 S.F.
FRONTAGE:	150'
FRONT SETBACK:	40'
SIDE SETBACK:	10'
REAR SETBACK:	30'

DEEP OBSERVATION HOLE LOGS

DEEP HOLE - 17-1			DEEP HOLE - 17-2		
HOLE DEPTH	DATE: 9/27/17	ELEV.	HOLE DEPTH	DATE: 9/27/17	ELEV.
0	A	277.0	0	A	251.0
7"	10YR3/2	274.8	4"	10YR3/2	249.0
28"	SAND LOAM Bw	274.0	24"	SAND LOAM Bw	245.0
36"	FINE SAND C1	267.0	72"	FINE SAND C1	248.0
120"	SANDY LOAM C	---	36"	NO GROUNDWATER OBSERVED	---
None	NO GROUNDWATER OBSERVED	---	None	NO GROUNDWATER OBSERVED	---
36"	SOIL MOTTLING	274.0	36"	SOIL MOTTLING	248.0

DEEP HOLE - 17-3		
HOLE DEPTH	DATE: 9/27/17	ELEV.
0	A	256.5
2"	10yr2/2	252.5
42"	SAND LOAM Bw 10yr5/6	250.5
72"	SANDY LOAM "C" 2.5y6/3	---
None	NO GROUNDWATER OBSERVED	---
54"	SOIL MOTTLING	252.0



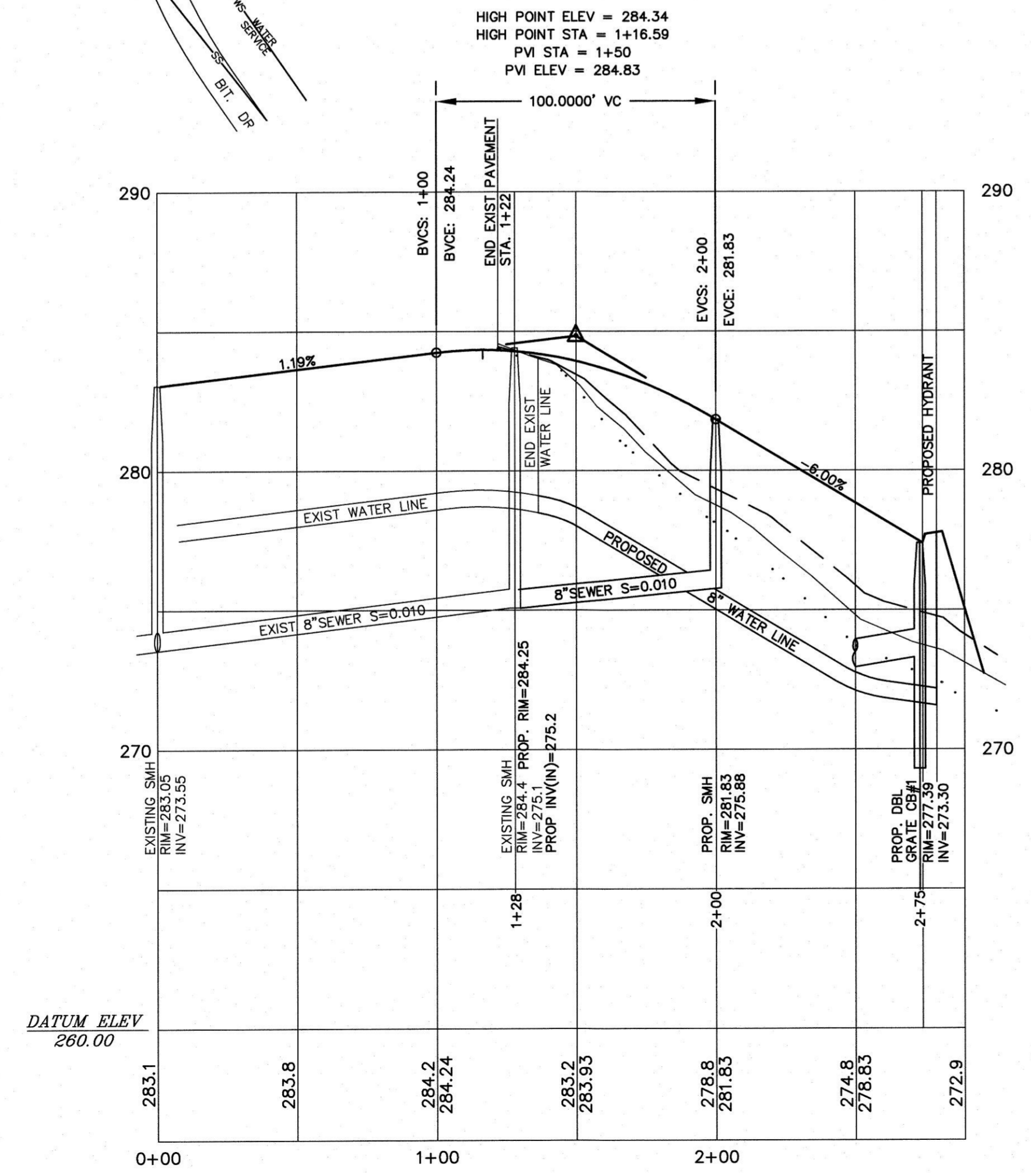
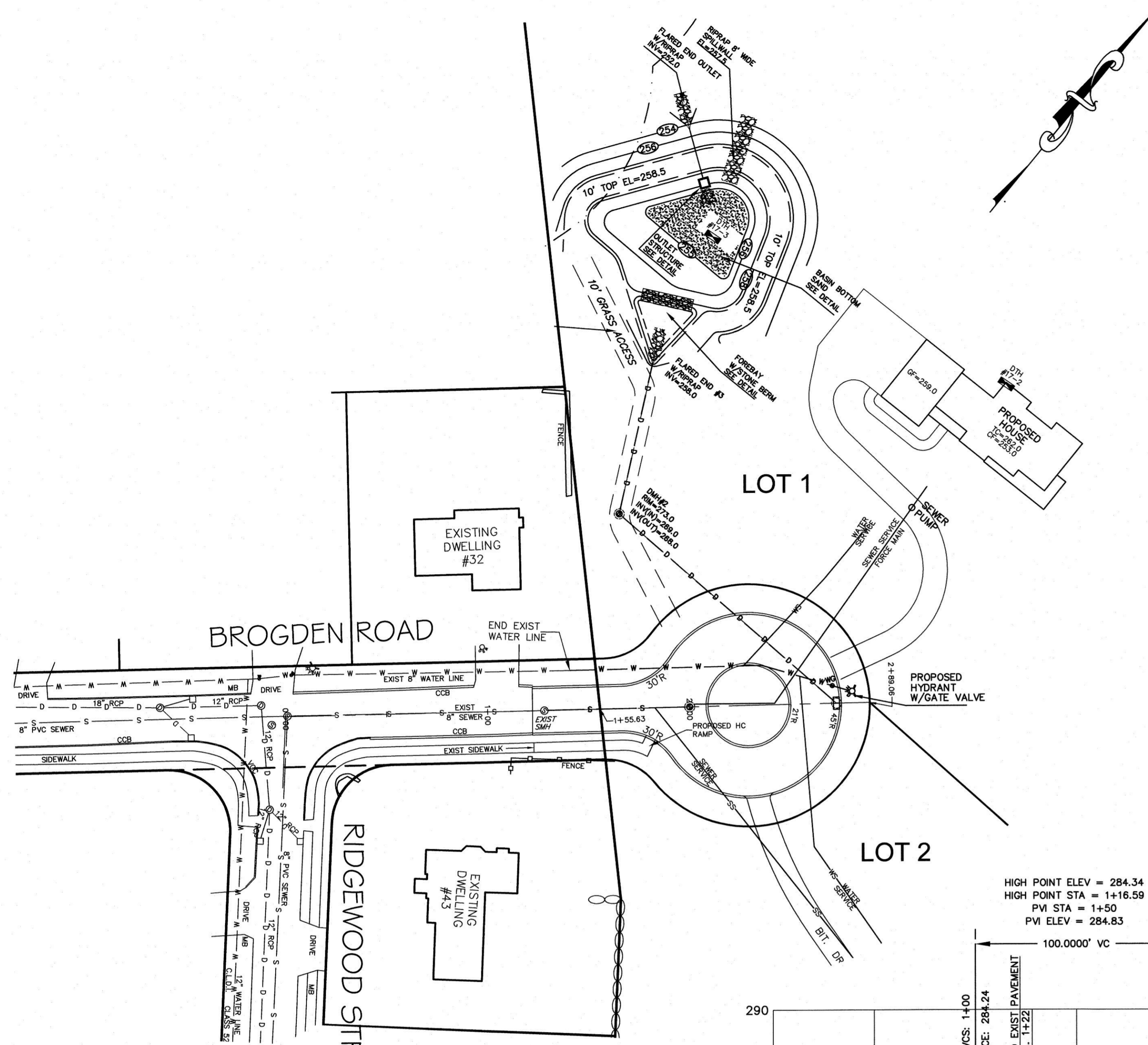
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3	06/07/18	PLB BRD DECISION

DEFINITIVE SUBDIVISION PLAN
BROGDEN ROAD EXTENSION
ASHLAND, MASSACHUSETTS

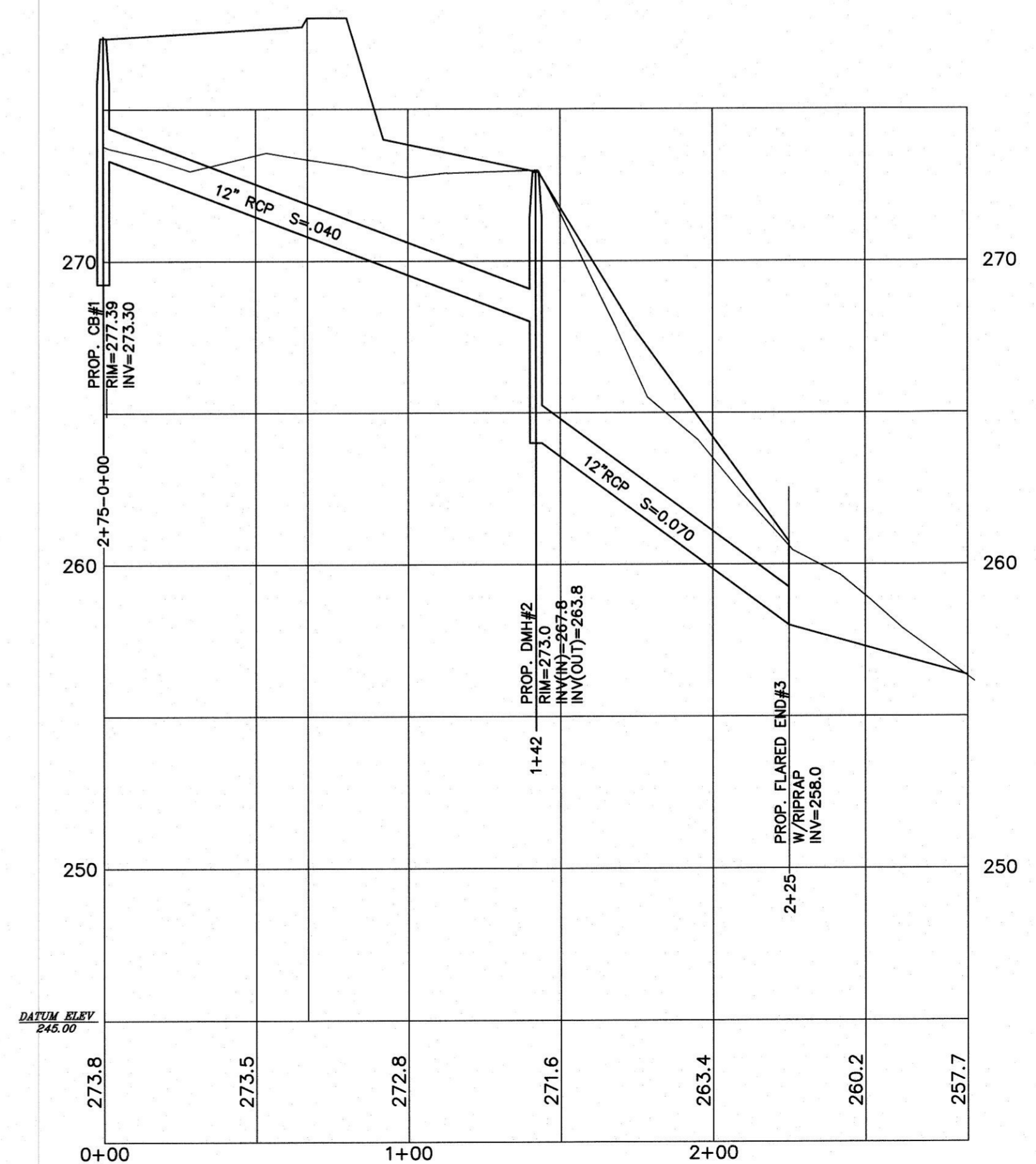
PREPARED FOR:
A & M REALTY TRUST
43 RIDGWOOD STREET
ASHLAND, MA 01721

GLM Engineering Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
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JOB No. 16130
DATE: OCTOBER 25, 2017
SCALE: 1"=40'
SHEET: 6 of 10
PLAN #: 27,167



BROGDEN ROAD PROFILE
SCALE: Horiz: 1"=40'; Vert: 1"=4'



PROPOSED DRAINAGE PROFILE
SCALE: Horiz: 1"=40'; Vert: 1"=4'

PLAN & PROFILE

I TOWN CLERK OF THE TOWN OF ASHLAND RECEIVED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

Joan M. Ward 6/18/18
TOWN CLERK DATE

APPROVED BY THE ASHLAND PLANNING BOARD:

[Signatures]

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6/18
DATE

DATE APPROVED: May 17, 2018
DATE ENDORSED: June 14, 2018

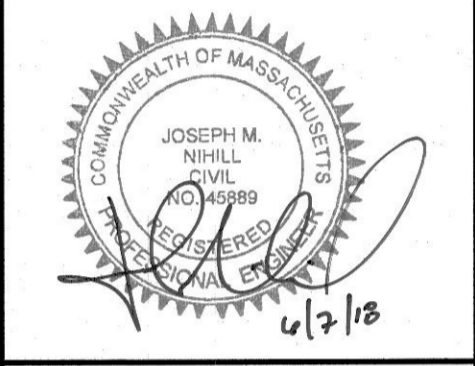
APPROVED May 17, 2018 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY John Mateasec Jr. DATED June 14, 2018 AND TO BE (RECORDED) (REGISTERED) HEREWITH.

NOTE: THERE SHALL BE A MINIMUM VERTICAL SEPARATION OF 18 INCHES WHERE WATER AND SEWER LINES CROSS.

I TOWN CLERK OF THE TOWN OF ASHLAND RECEIVED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR 20 DAYS NEXT AFTER RECEIPT OF RECORDING OF SAME.

Joan M. Ward 6/18/18
TOWN CLERK DATE

REVISIONS			
No.	DATE	DESCRIPTION	
1	12/14/17	REVISED PLG BRD COMMENTS	
2	05/07/18	REVISED PLG BRD COMMENTS	
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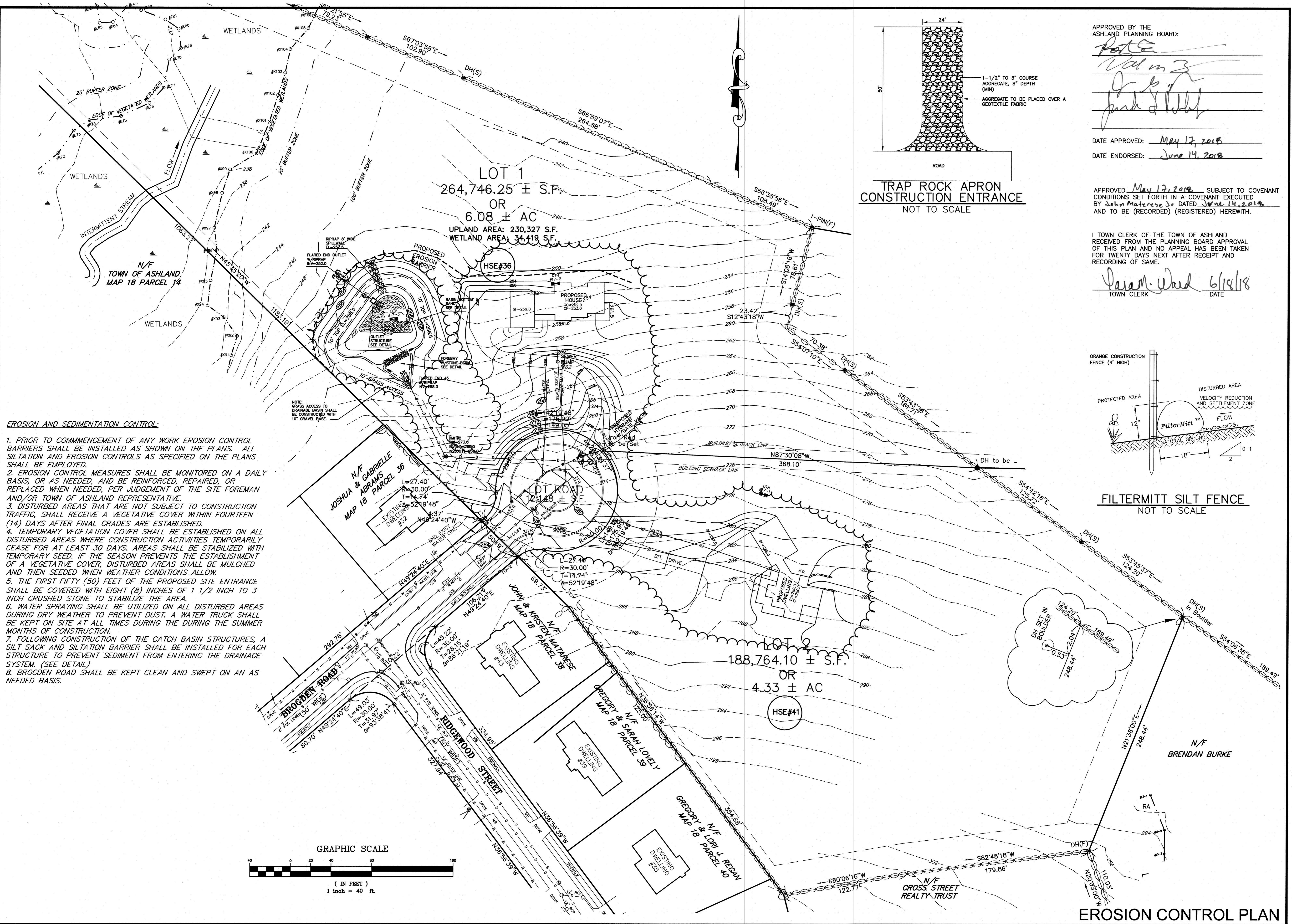


**DEFINITIVE SUBDIVISION PLAN
BROGDEN ROAD EXTENSION
ASHLAND, MASSACHUSETTS**

PREPARED FOR:
A & M REALTY TRUST
43 RIDGEWOOD STREET
ASHLAND, MA 01721

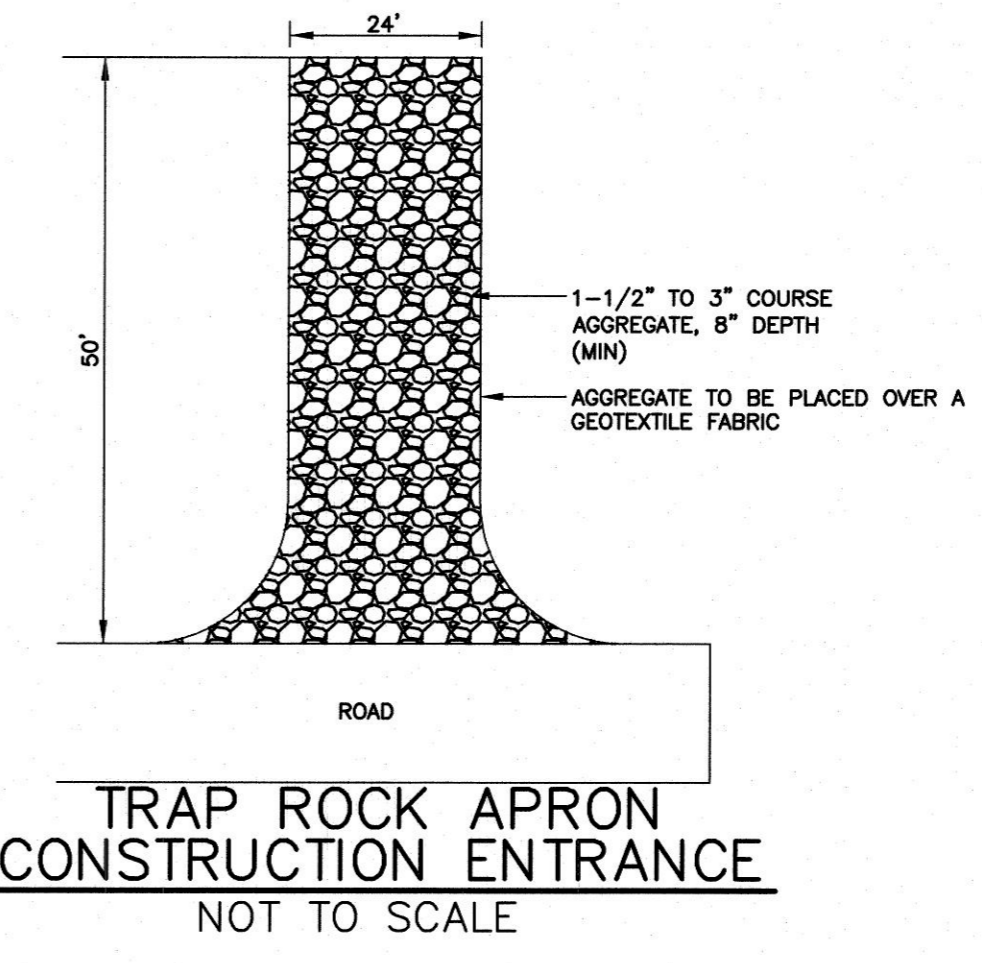
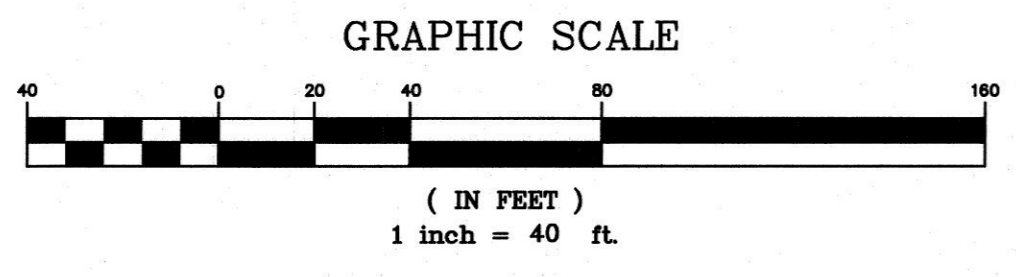
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JOB No.	16130
DATE:	OCTOBER 25, 2017
SCALE:	1"=40'
SHEET:	7 of 10
PLAN #:	27,167



EROSION AND SEDIMENTATION CONTROL:

1. PRIOR TO COMMENCEMENT OF ANY WORK EROSION CONTROL BARRIERS SHALL BE INSTALLED AS SHOWN ON THE PLANS. ALL SILTATION AND EROSION CONTROLS AS SPECIFIED ON THE PLANS SHALL BE EMPLOYED.
2. EROSION CONTROL MEASURES SHALL BE MONITORED ON A DAILY BASIS, OR AS NEEDED, AND BE REINFORCED, REPAIRED, OR REPLACED WHEN NEEDED, PER JUDGEMENT OF THE SITE FOREMAN AND/OR TOWN OF ASHLAND REPRESENTATIVE.
3. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL RECEIVE A VEGETATIVE COVER WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADES ARE ESTABLISHED.
4. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES TEMPORARILY CEASE FOR AT LEAST 30 DAYS. AREAS SHALL BE STABILIZED WITH TEMPORARY SEED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED WHEN WEATHER CONDITIONS ALLOW.
5. THE FIRST FIFTY (50) FEET OF THE PROPOSED SITE ENTRANCE SHALL BE COVERED WITH EIGHT (8) INCHES OF 1 1/2 INCH TO 3 INCH CRUSHED STONE TO STABILIZE THE AREA.
6. WATER SPRAYING SHALL BE UTILIZED ON ALL DISTURBED AREAS DURING DRY WEATHER TO PREVENT DUST. A WATER TRUCK SHALL BE KEPT ON SITE AT ALL TIMES DURING THE DURING THE SUMMER MONTHS OF CONSTRUCTION.
7. FOLLOWING CONSTRUCTION OF THE CATCH BASIN STRUCTURES, A SILT SACK AND SILTATION BARRIER SHALL BE INSTALLED FOR EACH STRUCTURE TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM. (SEE DETAIL)
8. BROGDEN ROAD SHALL BE KEPT CLEAN AND SWEEPED ON AN AS NEEDED BASIS.

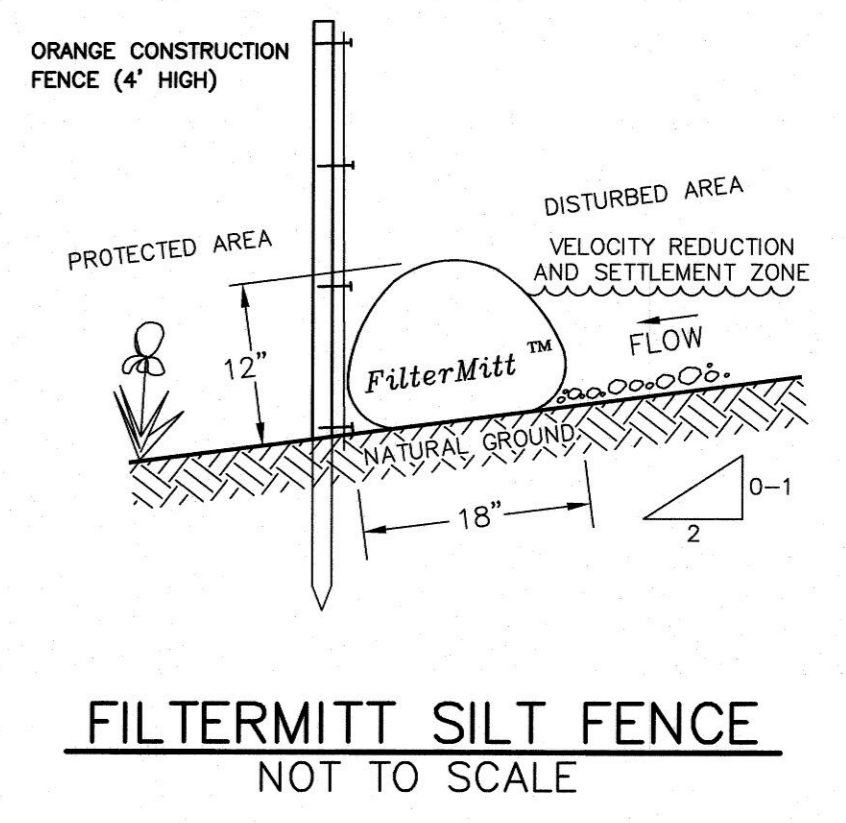


APPROVED BY THE ASHLAND PLANNING BOARD:
[Signature]
[Signature]
[Signature]

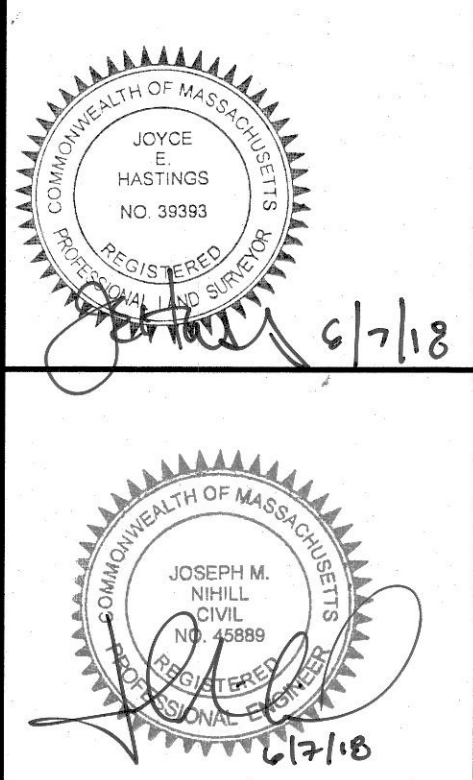
DATE APPROVED: May 17, 2018
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[Signature] 6/18/18
 TOWN CLERK DATE



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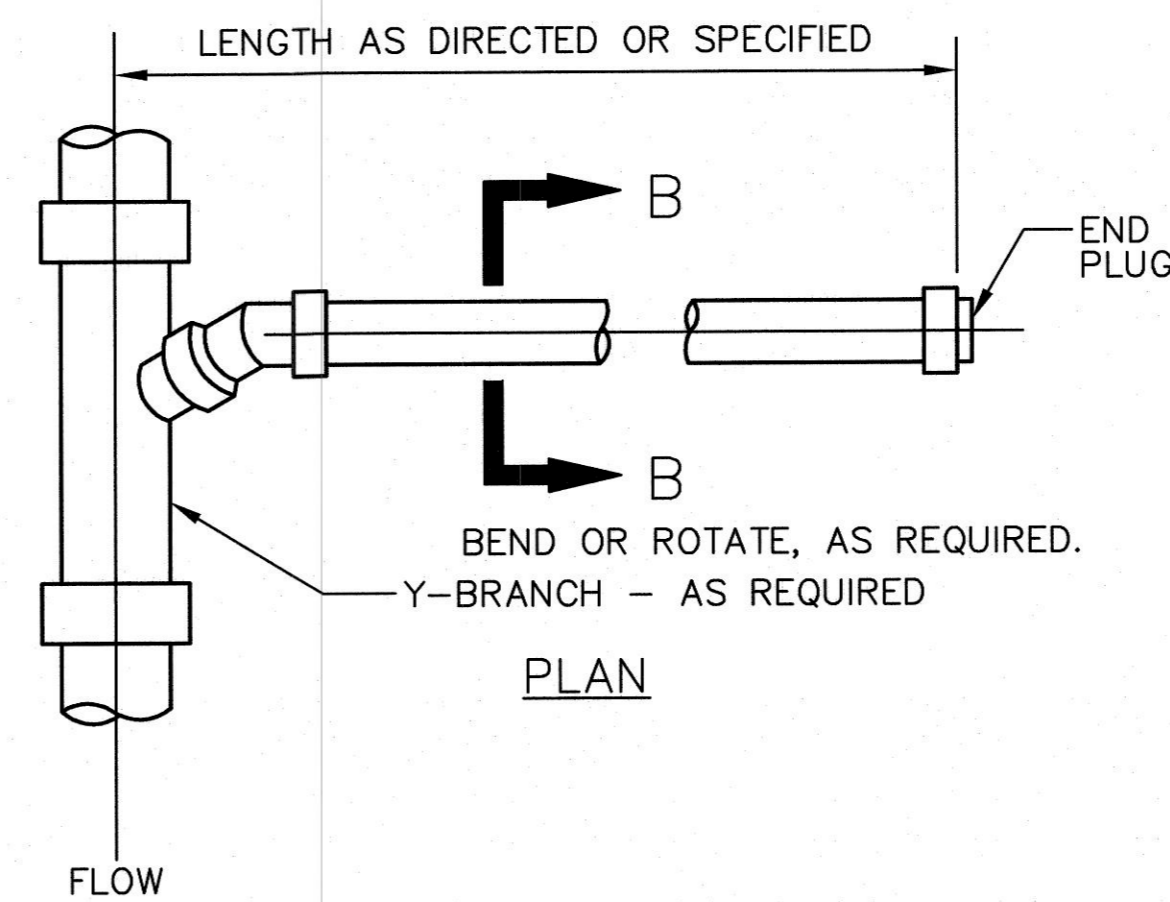
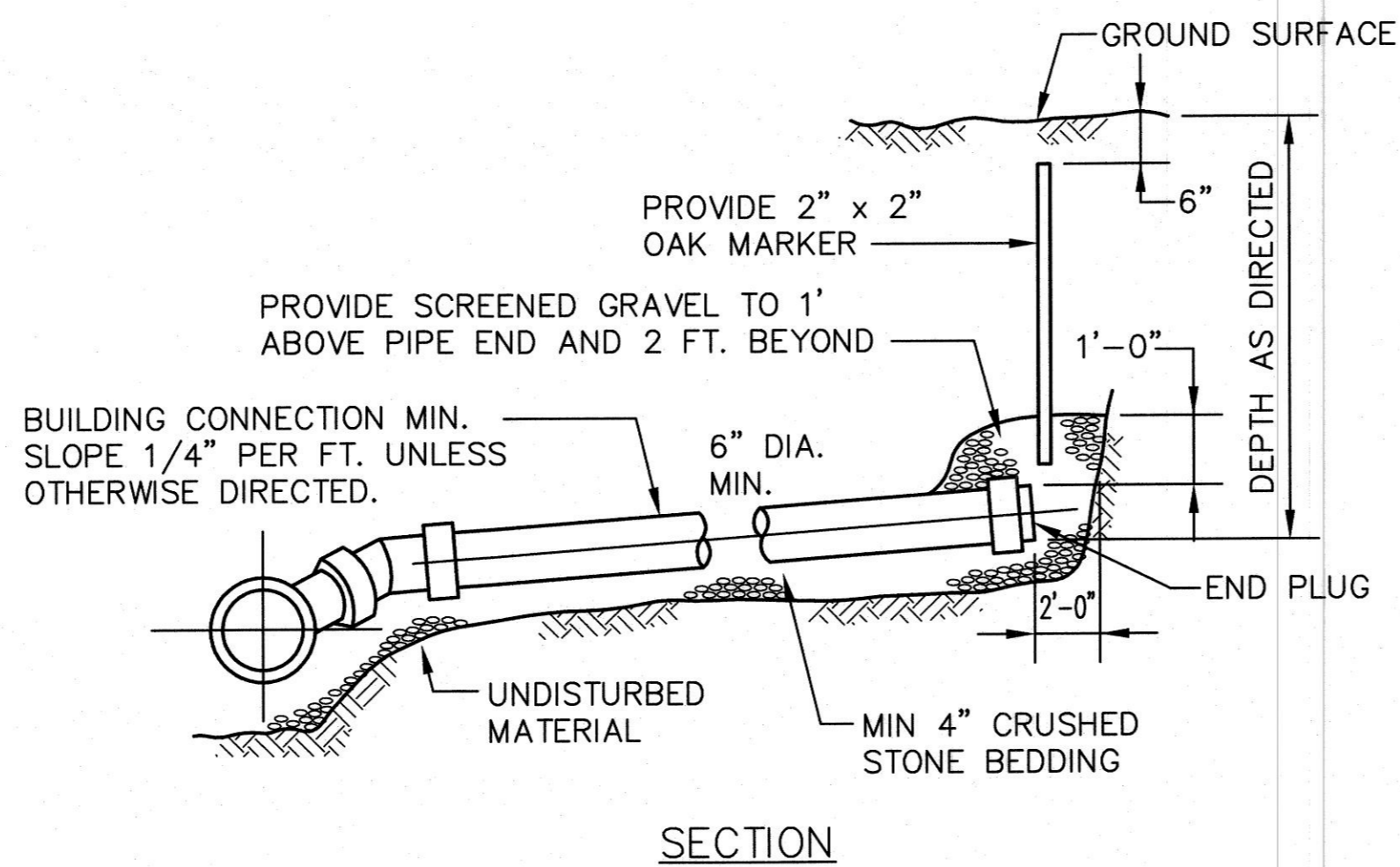
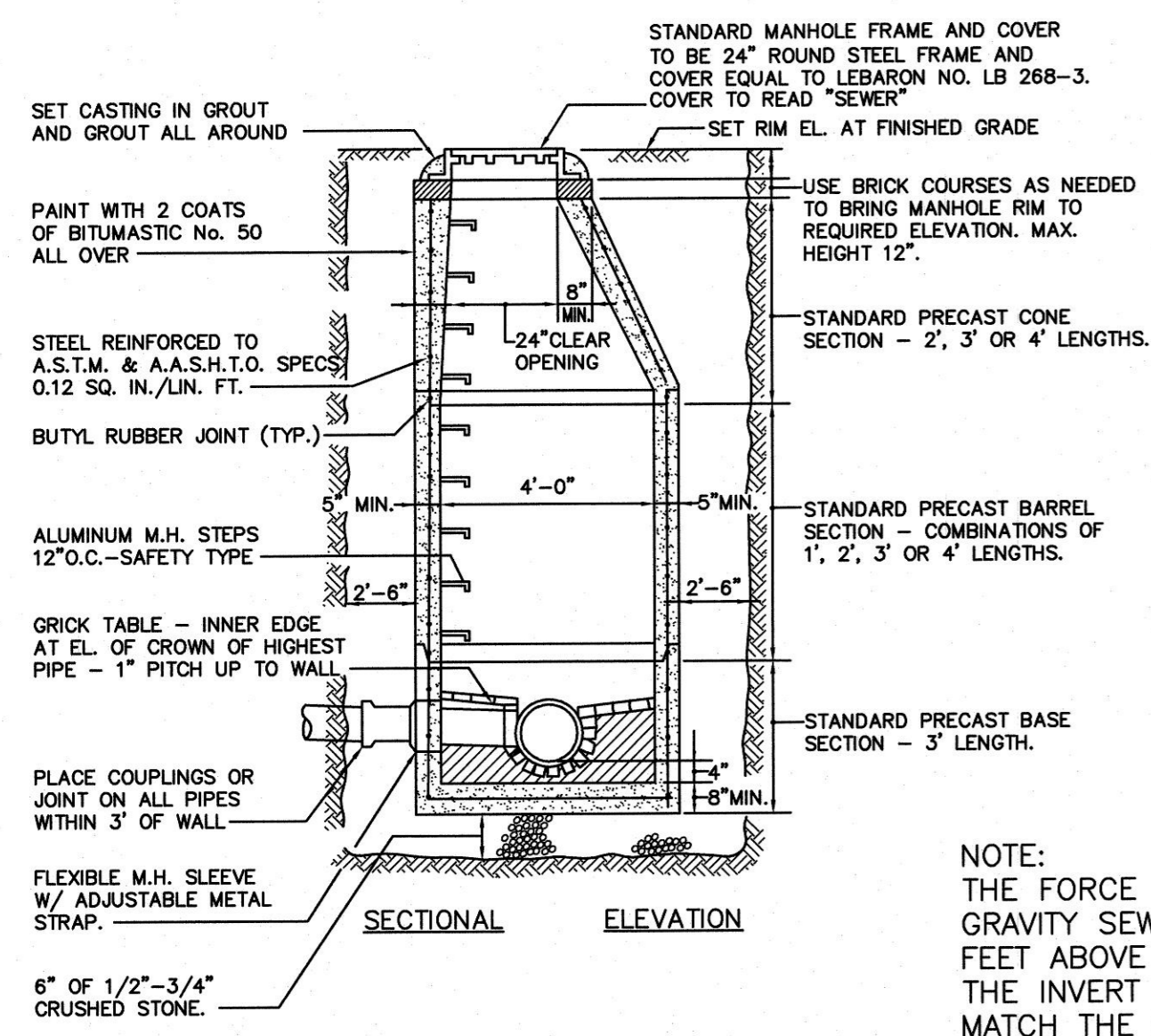


DEFINITIVE SUBDIVISION PLAN
BROGDEN ROAD EXTENSION
ASHLAND, MASSACHUSETTS

GLM Engineering Consultants, Inc.
 19 EXCHANGE STREET
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 P: 508-429-1100
 F: 508-429-7160
 www.GLMengineering.com

JOB No. 16130
 DATE: OCTOBER 25, 2017
 SCALE: 1"=40'
 SHEET: 8 of 10
 PLAN #: 27,167

PREPARED FOR:
 A & M REALTY TRUST
 43 RIDGEWOOD STREET
 ASHLAND, MA 01721



APPROVED BY THE ASHLAND PLANNING BOARD:

[Signature]

DATE APPROVED: May 17, 2018

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[Signature] TOWN CLERK DATE 6/15/18

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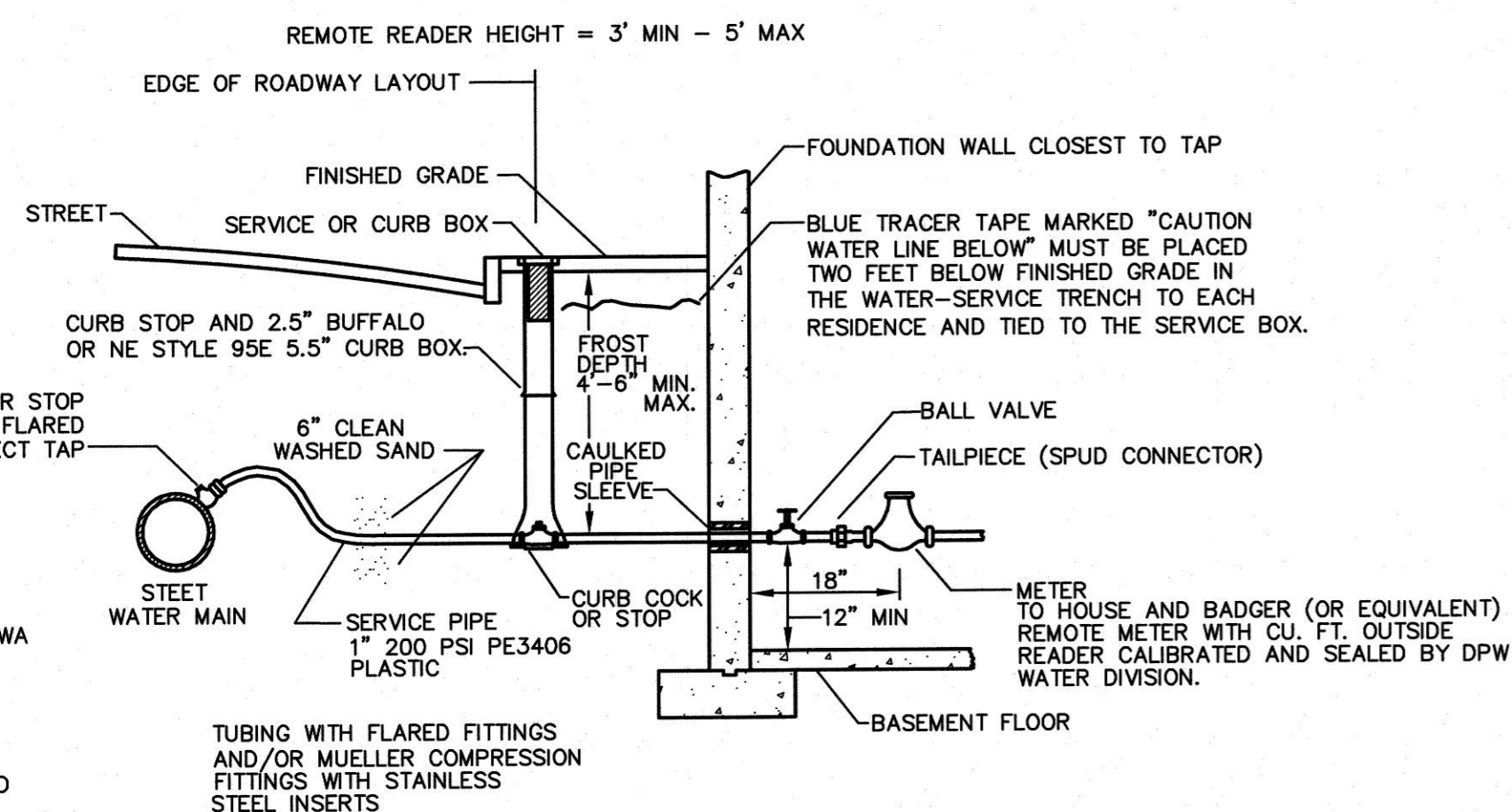
[Signature] DATE 6/7/18

PRECAST CONCRETE SEWER MANHOLE DETAILS

NOT TO SCALE

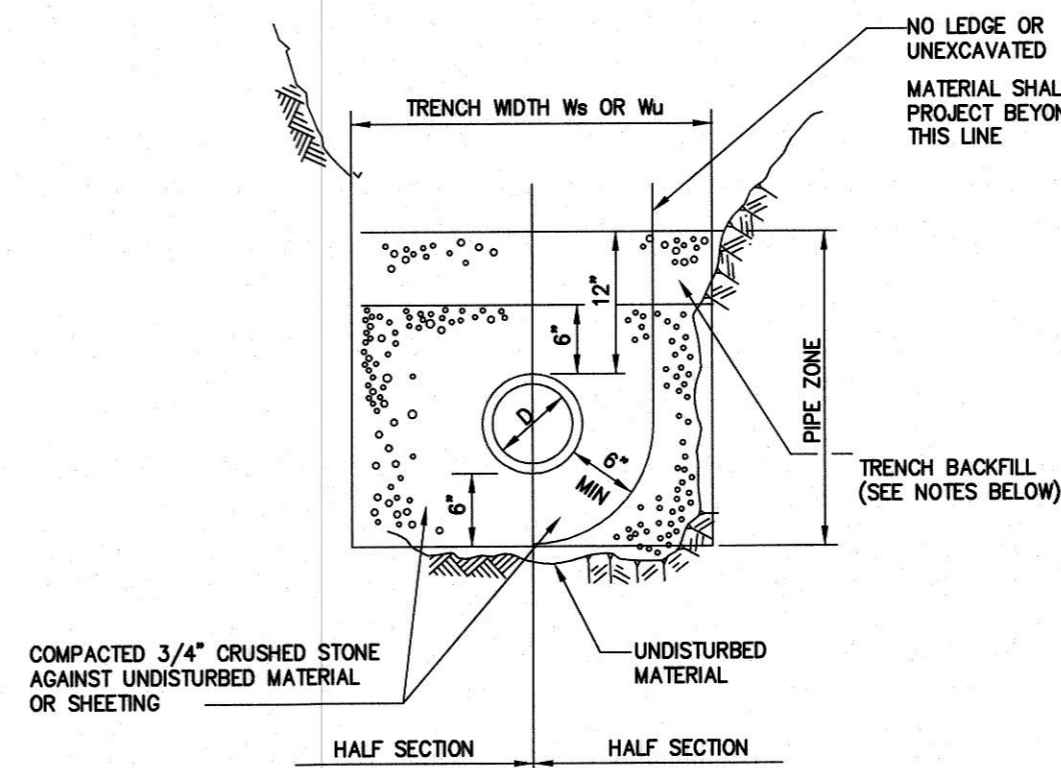
TYPICAL SEWER BUILDING CONNECTION

NOT TO SCALE



TYP. WATER SERVICE CONNECTION

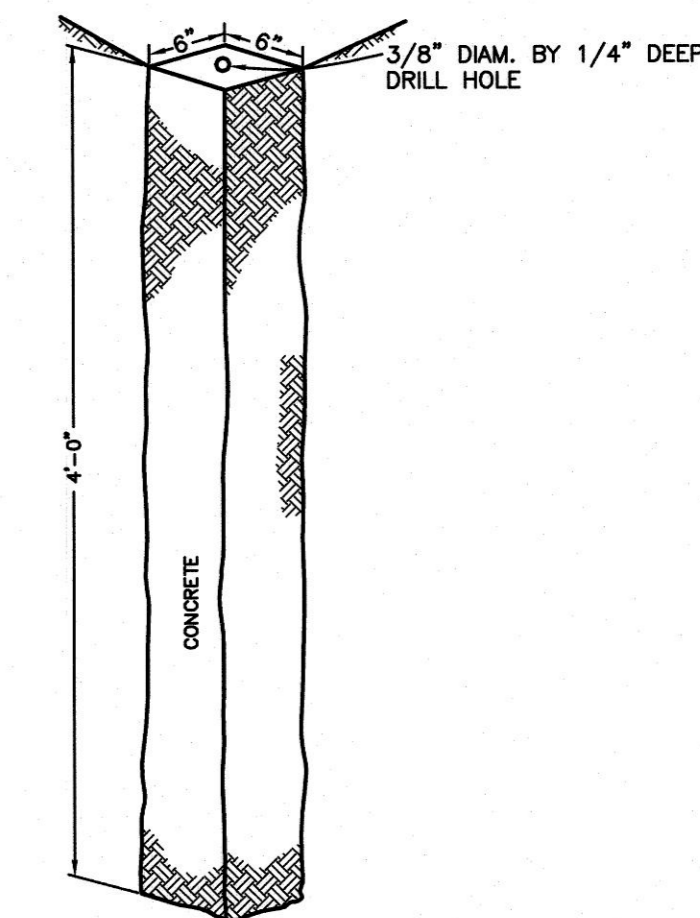
NOT TO SCALE



NOTES:

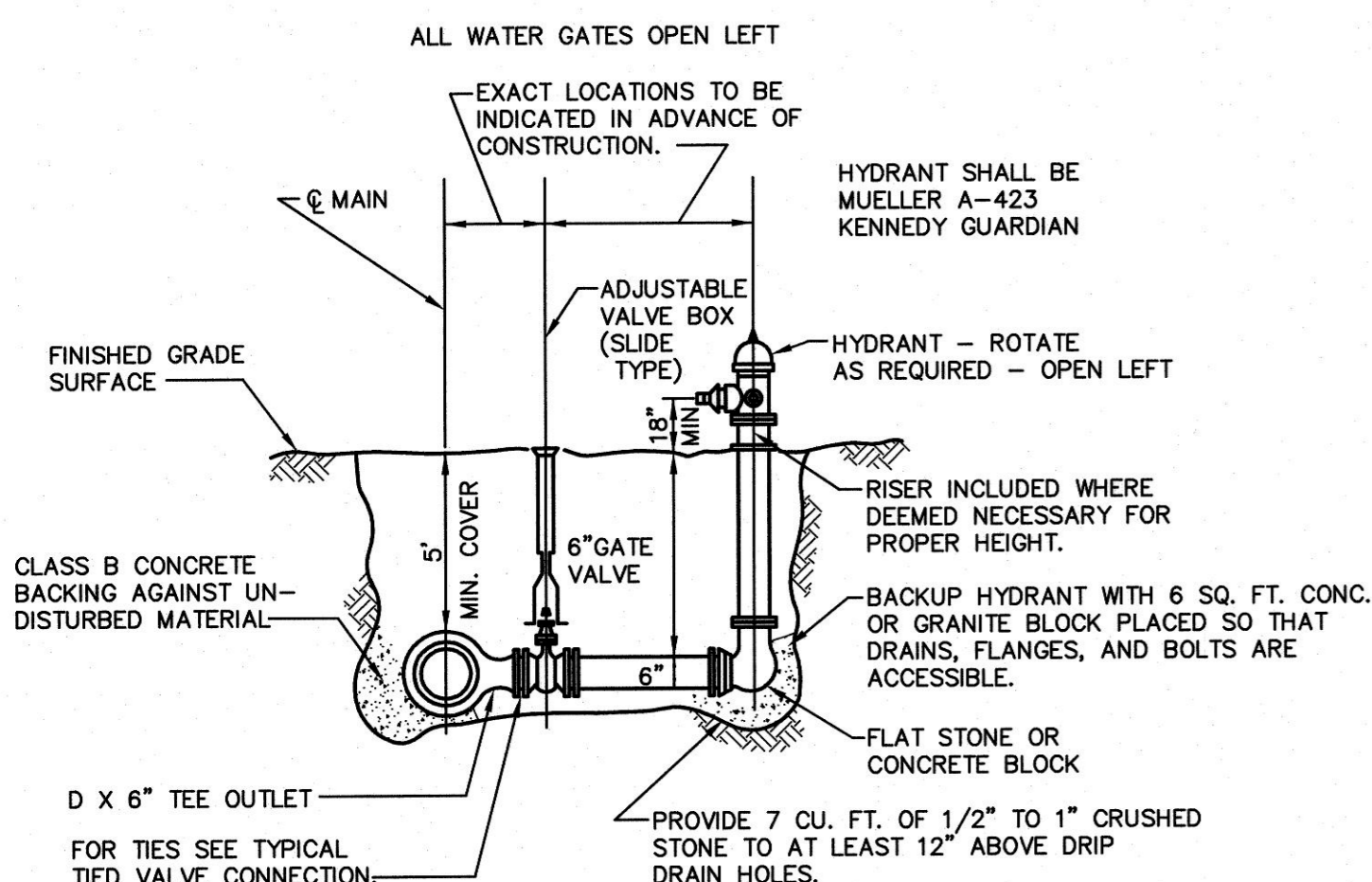
- BACKFILLING TO A POINT 24" ABOVE THE CROWN OF THE PIPE SHALL BE SELECT BORROW, NO LARGE STONES, LOAM, CLAY OR OTHER UNSUITABLE MATERIAL.
- MATERIAL FROM 24" ABOVE TO A POINT 18" BELOW SUBGRADE, SHALL BE ORDINARY BORROW PLACED IN LAYERS AND THOROUGHLY TAMPED. NO ROCK FRAGMENT LARGER THAN 12" DIA. WILL BE PERMITTED IN THIS SECTION.
- THE TOP 18" OF THE TRENCH SHALL BE BACKFILLED WITH ROAD GRADE BANK GRAVEL WHICH, WHEN COMPACTED IN PLACE WILL FORM A SUITABLE FOUNDATION FOR THE BASE COURSE OF ROAD SURFACING.

NOTE: ALL BOUNDS TO BE SET FLUSH W/ GND.



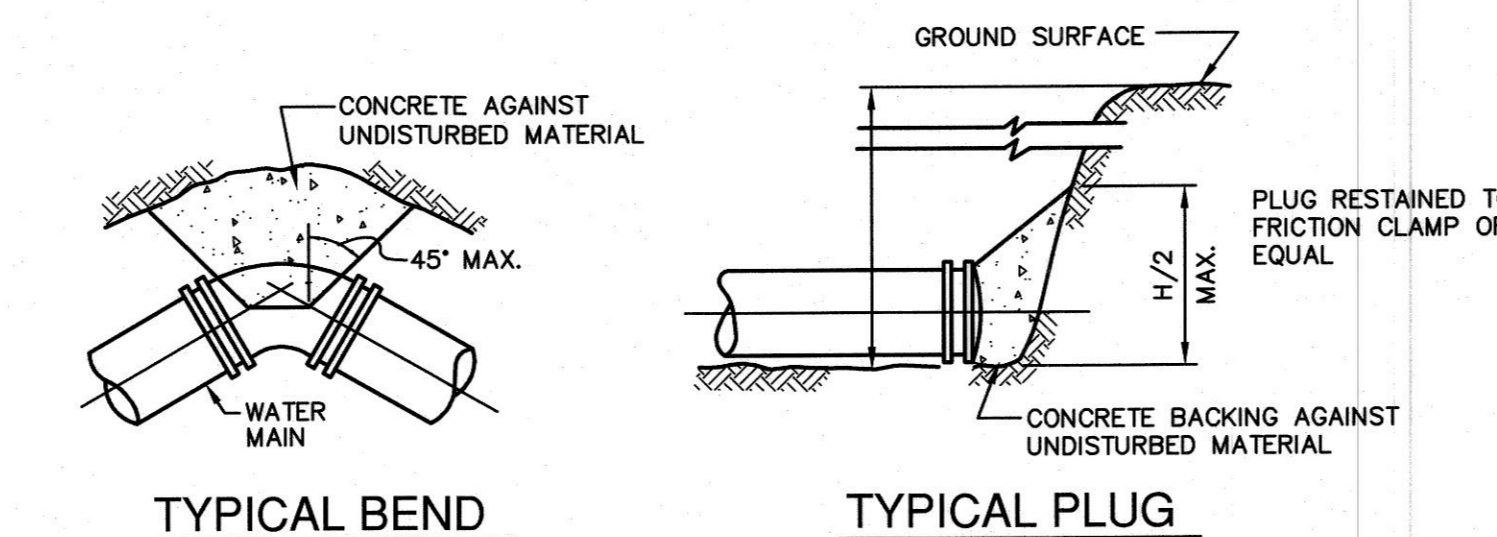
CONCRETE BOUND DETAIL

NOT TO SCALE



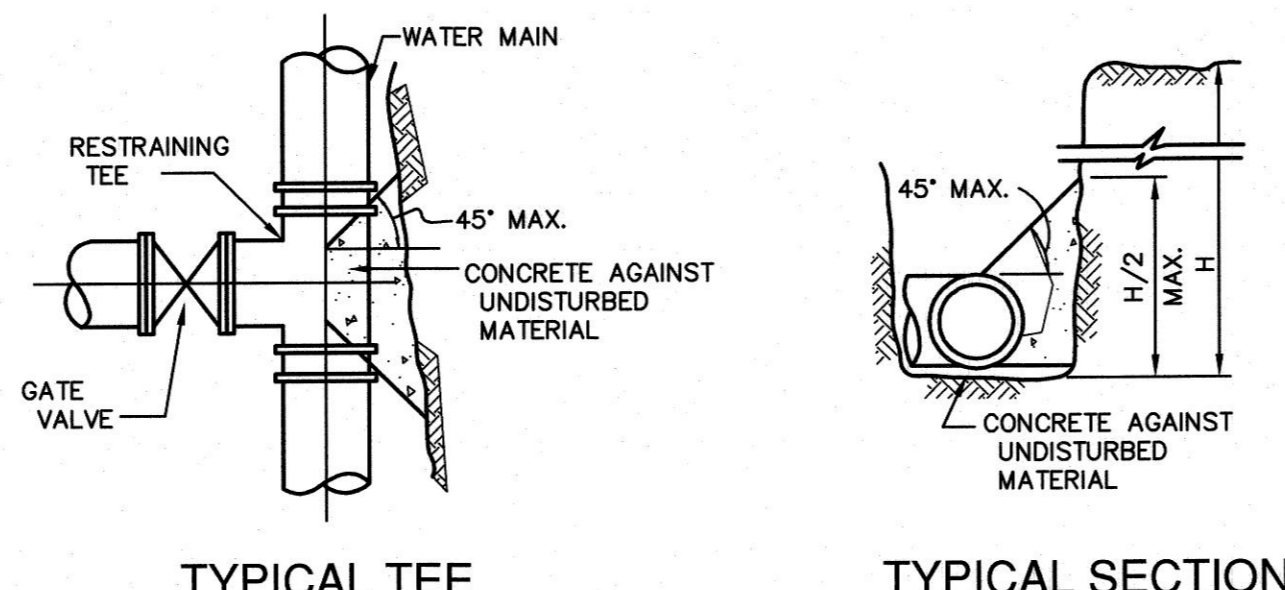
TYP. HYDRANT ASSEMBLY DETAIL

NOT TO SCALE



TYPICAL BEND

TYPICAL PLUG



TYPICAL TEE

TYPICAL SECTION

NOTE: CONCRETE FOR THRUST BLOCKS SHALL BE NO LONGER THAN THE RATIO OF 2 1/2 : 5 1/2 AND SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 2000 PSI (SO THAT FLANGES AND BOLTS ARE ACCESSIBLE.)

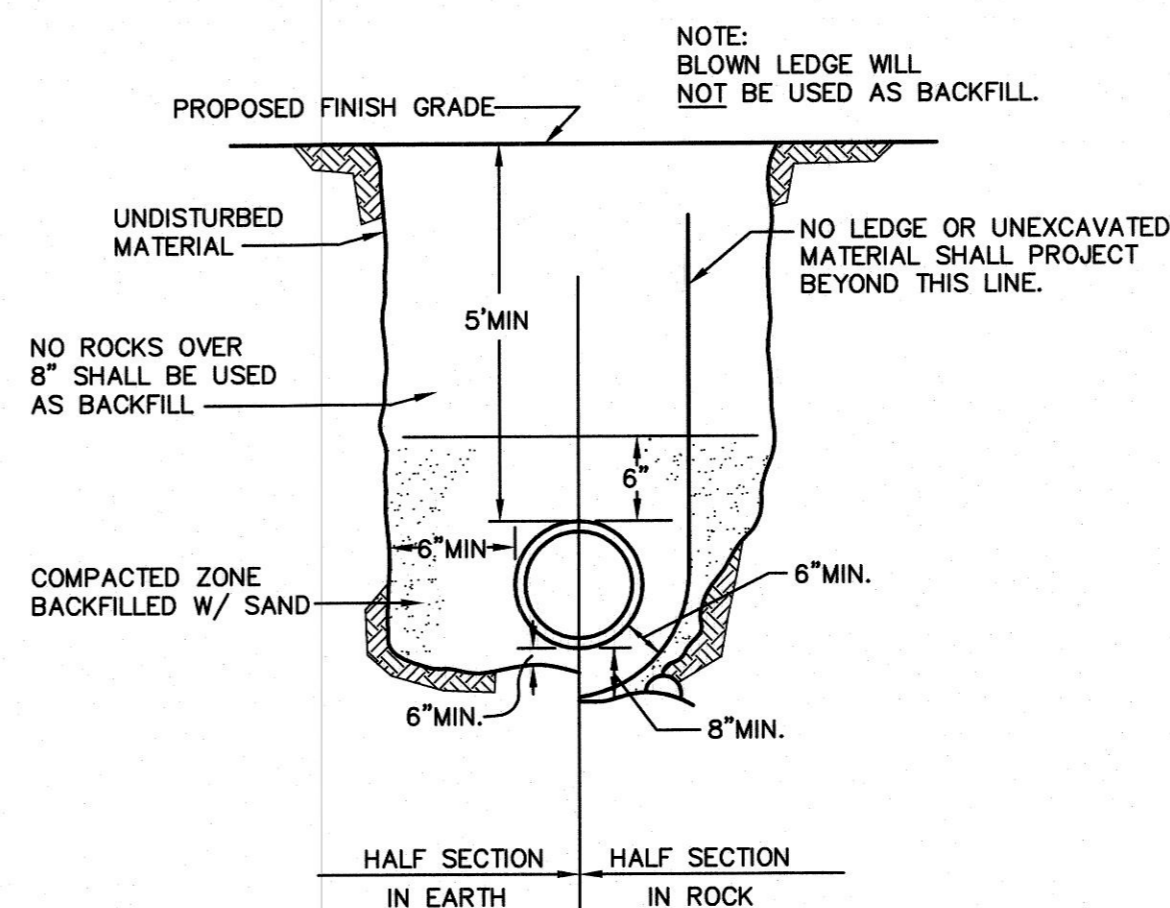
PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND OR LESS	PLUG TEES
6 AND 8	8	8		8
10 AND 12	22	13	8	16

TYP. THRUST BLOCK DETAIL

NOT TO SCALE

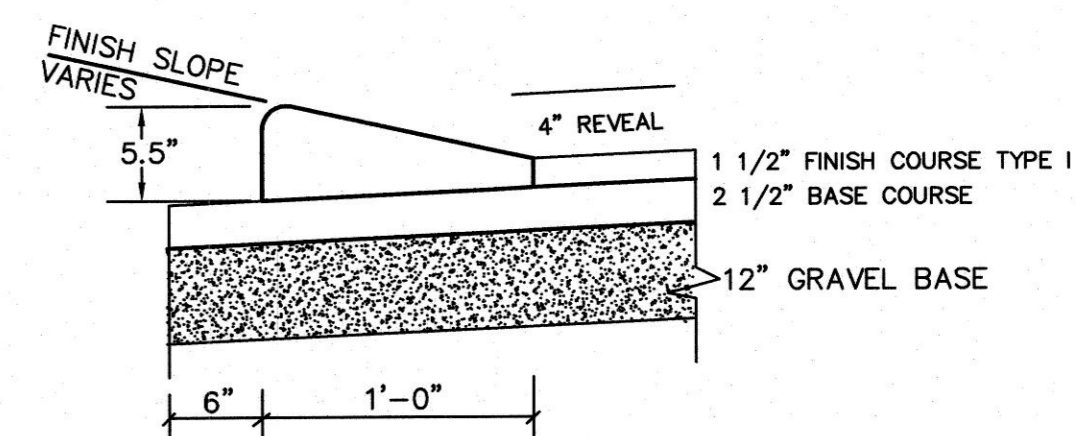
SEWER MAIN TRENCH DETAIL

NOT TO SCALE



WATER MAIN TRENCH DETAIL

NOT TO SCALE



CAPE COD BERM DETAIL

NOT TO SCALE

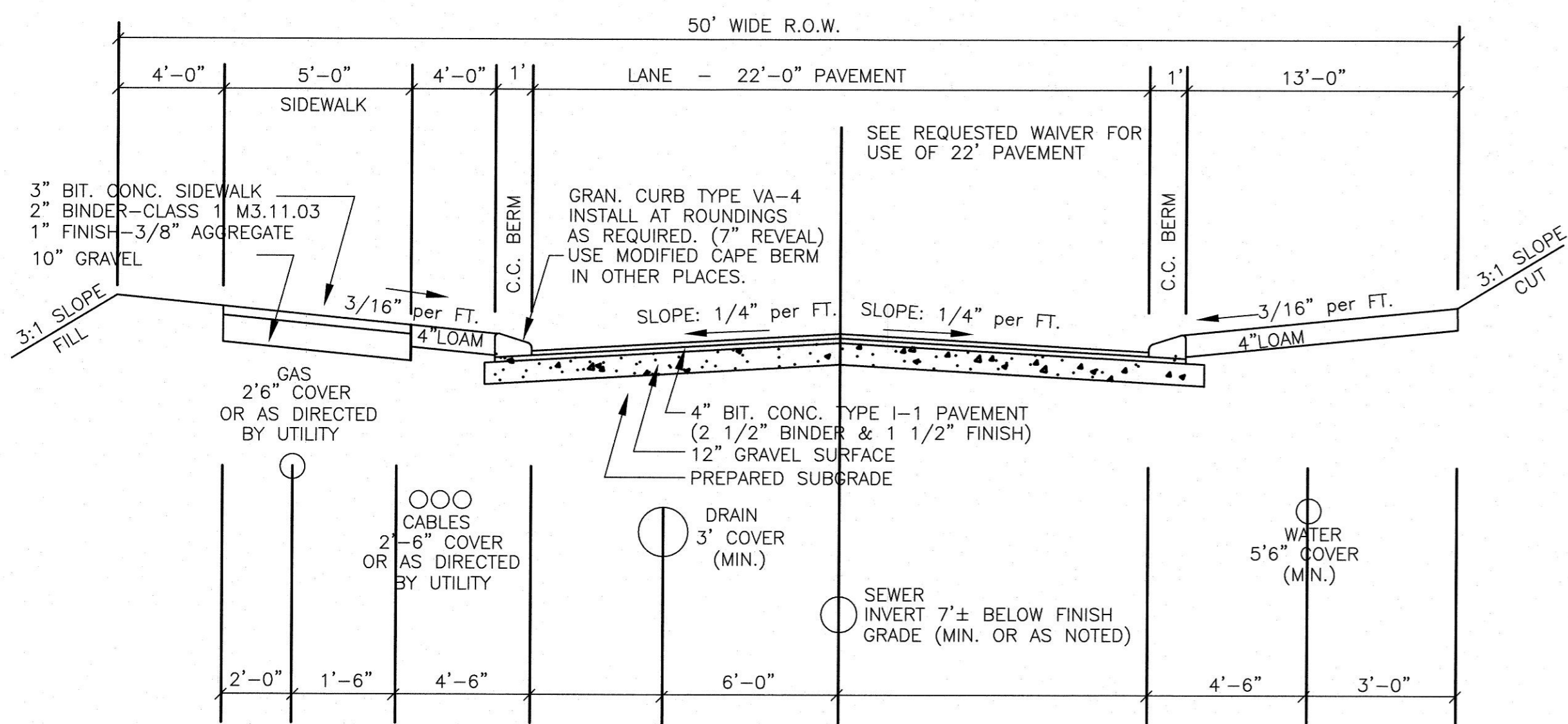
DEFINITIVE SUBDIVISION PLAN
BROGDEN ROAD EXTENSION
ASHLAND, MASSACHUSETTS

PREPARED FOR:
A & M REALTY TRUST
43 RIDGEWOOD STREET
ASHLAND, MA 01721

2018 JUN 18 AM 11:36

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19 EXCHANGE STREET
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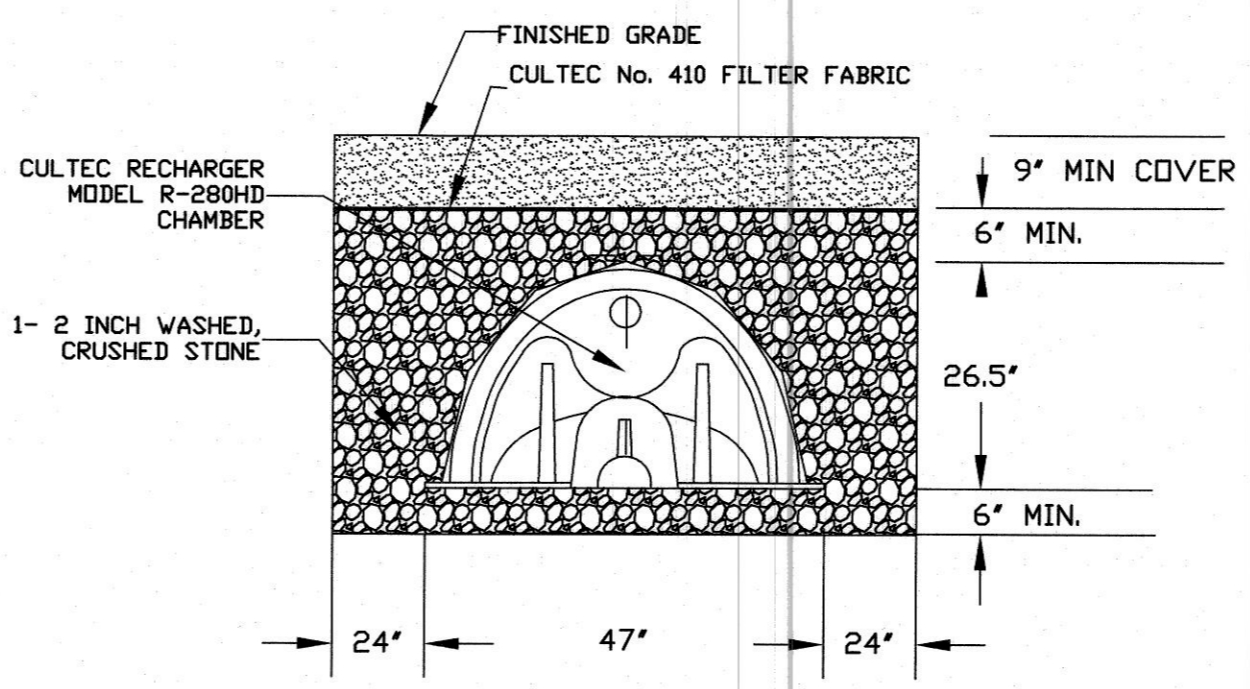
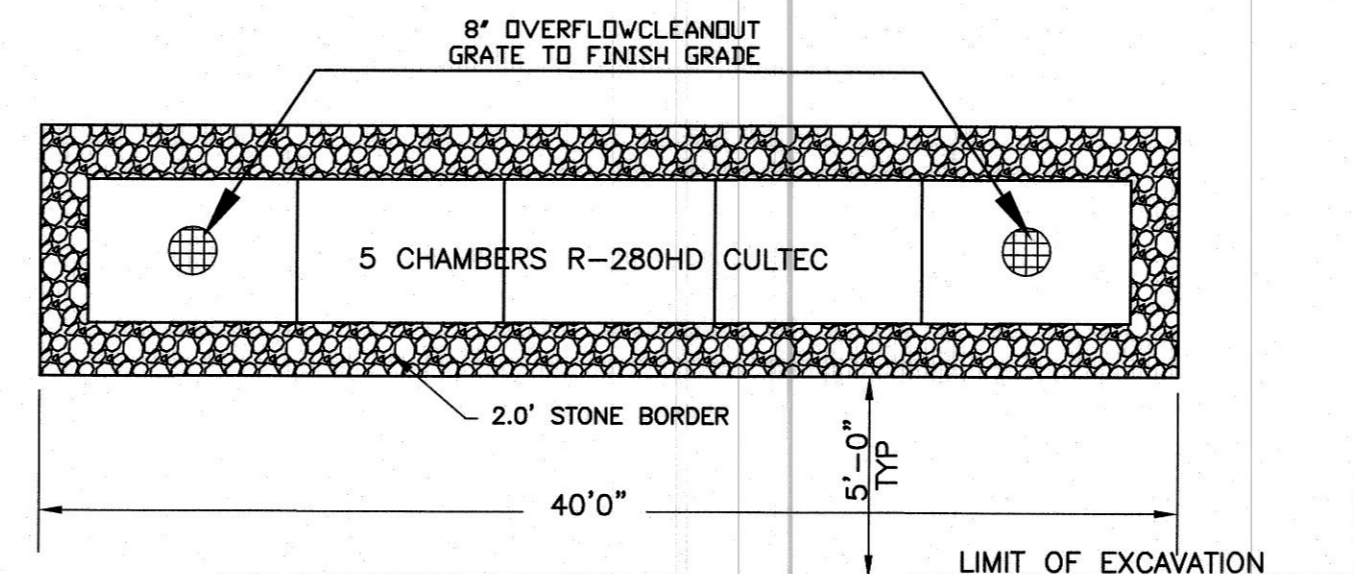
JOB No. 16130
DATE: OCTOBER 25, 2017
SCALE: AS SHOWN
SHEET: 9 of 10
PLAN #: 27,167



(NOT TO SCALE)

TYPICAL RIGHT OF WAY CROSS SECTION

ASHLAND, MASS.



PROVIDE 1 ROW - 5 CHAMBERS

CULTEC DRY ROOF RUNOFF INFILTRATION DETAIL

NOT TO SCALE

SCHEDULE OF ELEVATIONS:

Desc.	Lot 1	Lot 2
Min. Cover Elev.	254.0	280.0
Top System Elev.	253.2	279.2
Bot System Elev.	250.0	276.0
G.W. Elev.	248.0	274.0

Recommended Single-Level Installation of Cultec R-280HD Unit Storm Water Management

NOTE:

LIMIT OF EXCAVATION: (To extend 5 feet beyond limits of system)

ALL FILL SUBSOIL (A' & B' Horizons) AND ANY DELETERIOUS MATERIAL MUST BE REMOVED FROM THE AREA OF THE LEACHING SYSTEM AND OTHER DESIGNATED LIMITS AND BACKFILLED WITH APPROVED CLEAN BANK RUN GRAVEL GRADED SO NOT MORE THAN 45% OF THE SAMPLE IS RETAINED IN A #4 SIEVE, OF THAT PASSING, 20% OR LESS SHALL PASS A #100 SIEVE AND 5% OR LESS SHALL PASS THE #200 SIEVE. NOT MORE THAN 90% SHALL BE RETAINED ON THE #50 SIEVE. SAMPLE FOR SIEVE ANALYSIS TO BE TAKEN FROM SAMPLE IN PLACE.

GENERAL NOTES

1. ALL ROOF RUNOFF SHALL BE DIRECTED TO LEACHING SYSTEM VIA GUTTERS, DOWNSPOUTS AND PIPING.

2. ALL CULTEC CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.

APPROVED BY THE ASHLAND PLANNING BOARD:

[Signature]

[Signature]

DATE APPROVED: May 17, 2018

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[Signature] 6/14/18

TOWN CLERK DATE

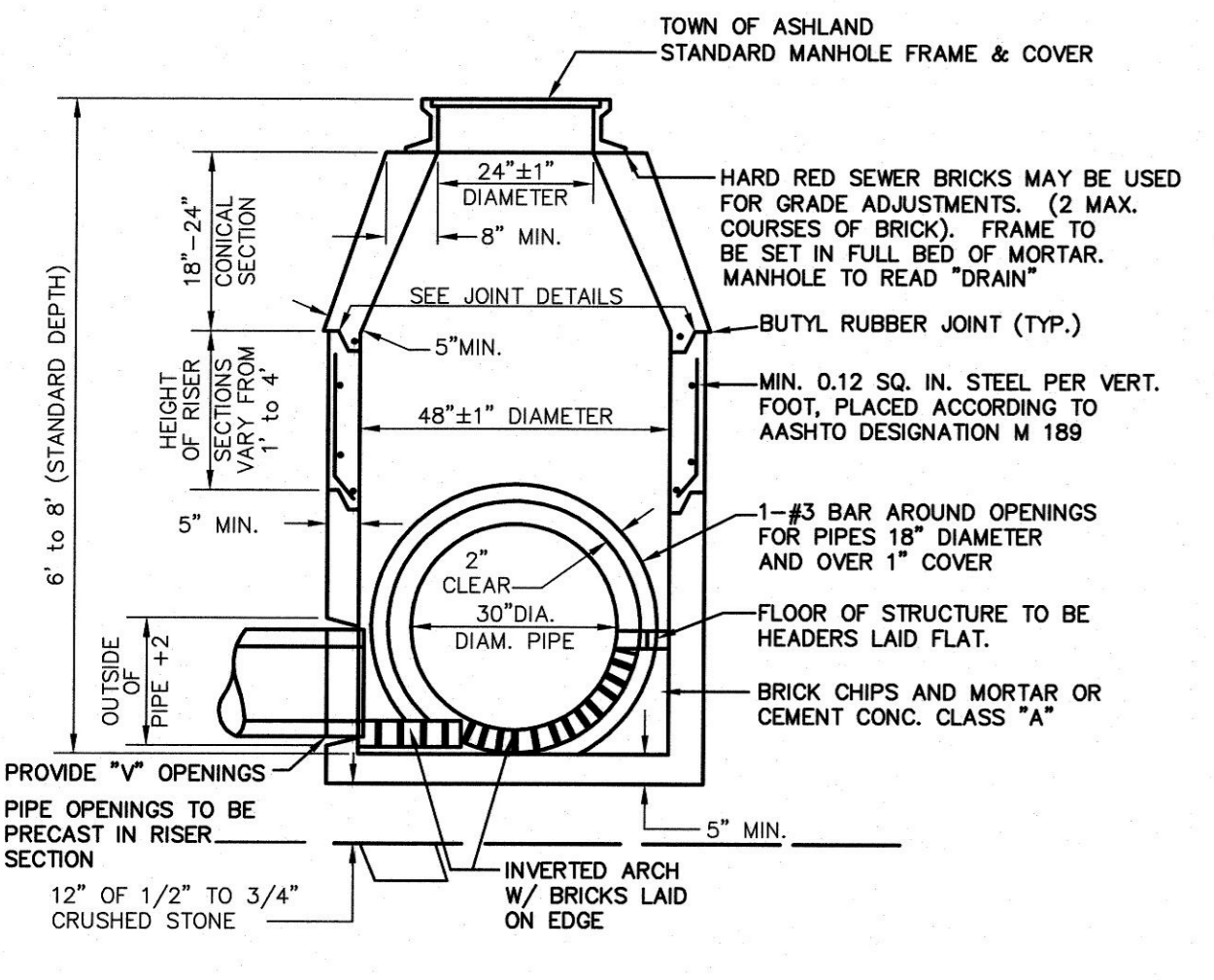
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[Signature] 6/7/18

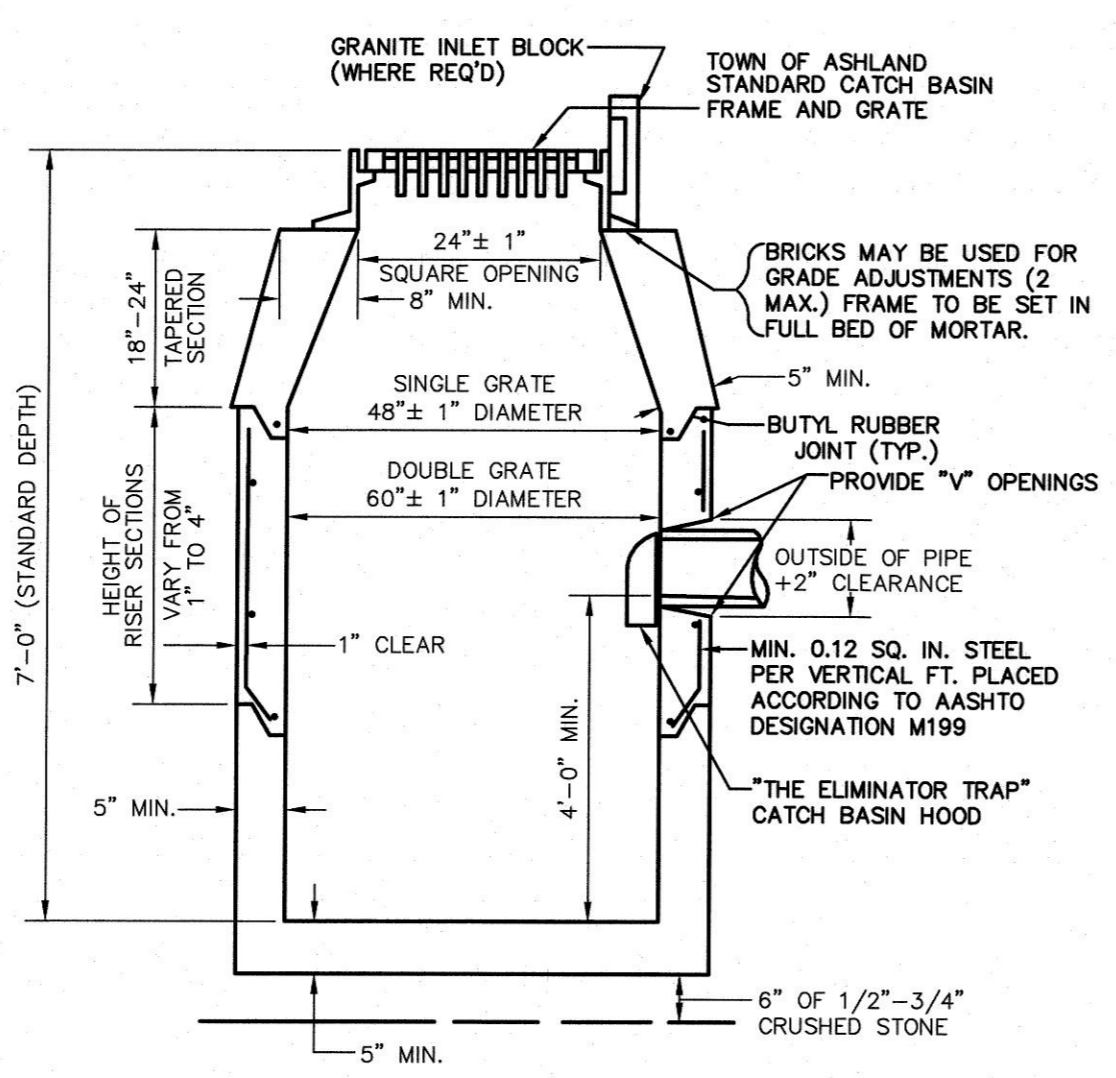
JOYCE E. HASTINGS P.L.S. DATE

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PRECAST CONCRETE MANHOLE DETAIL

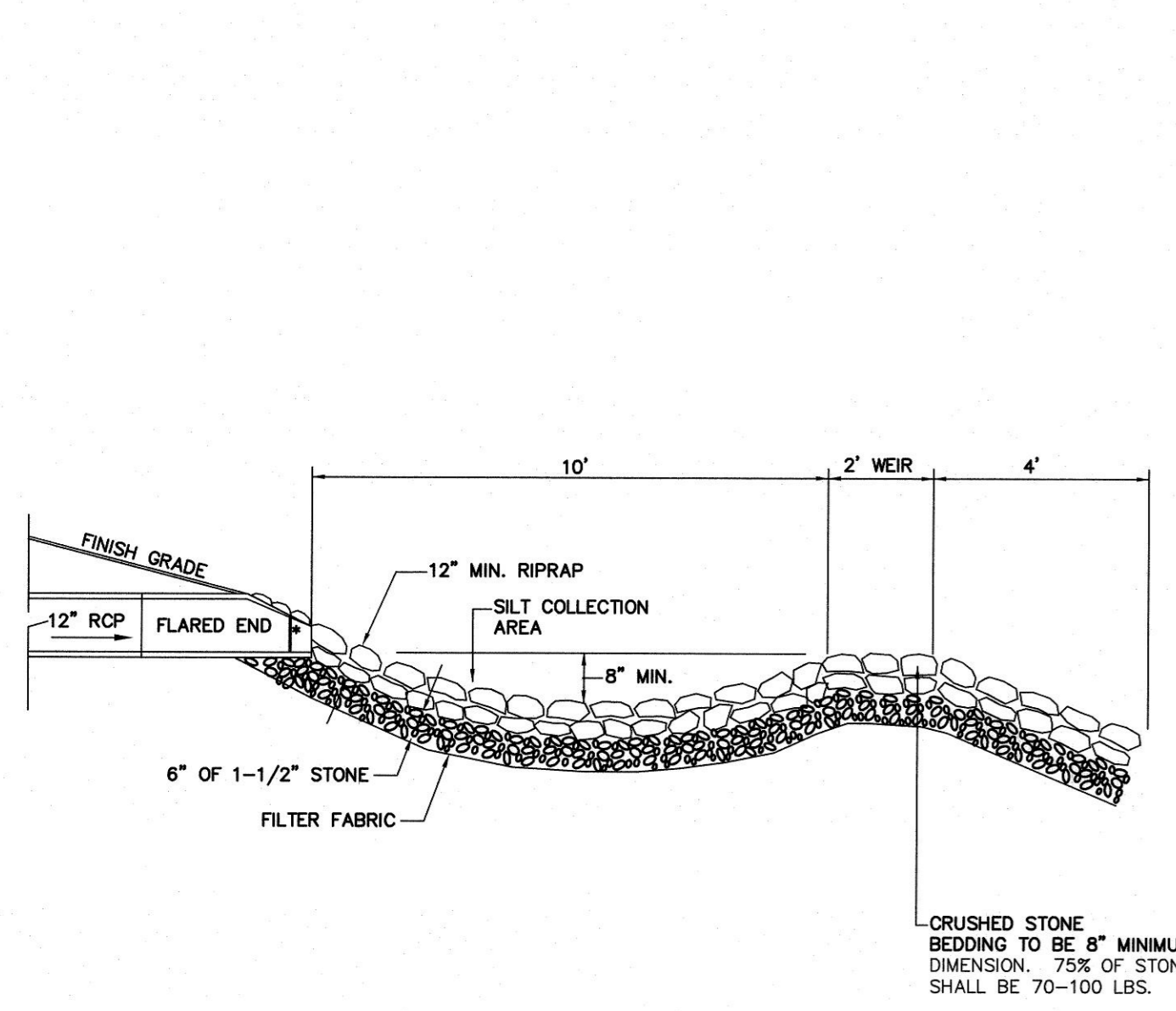
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN DETAIL

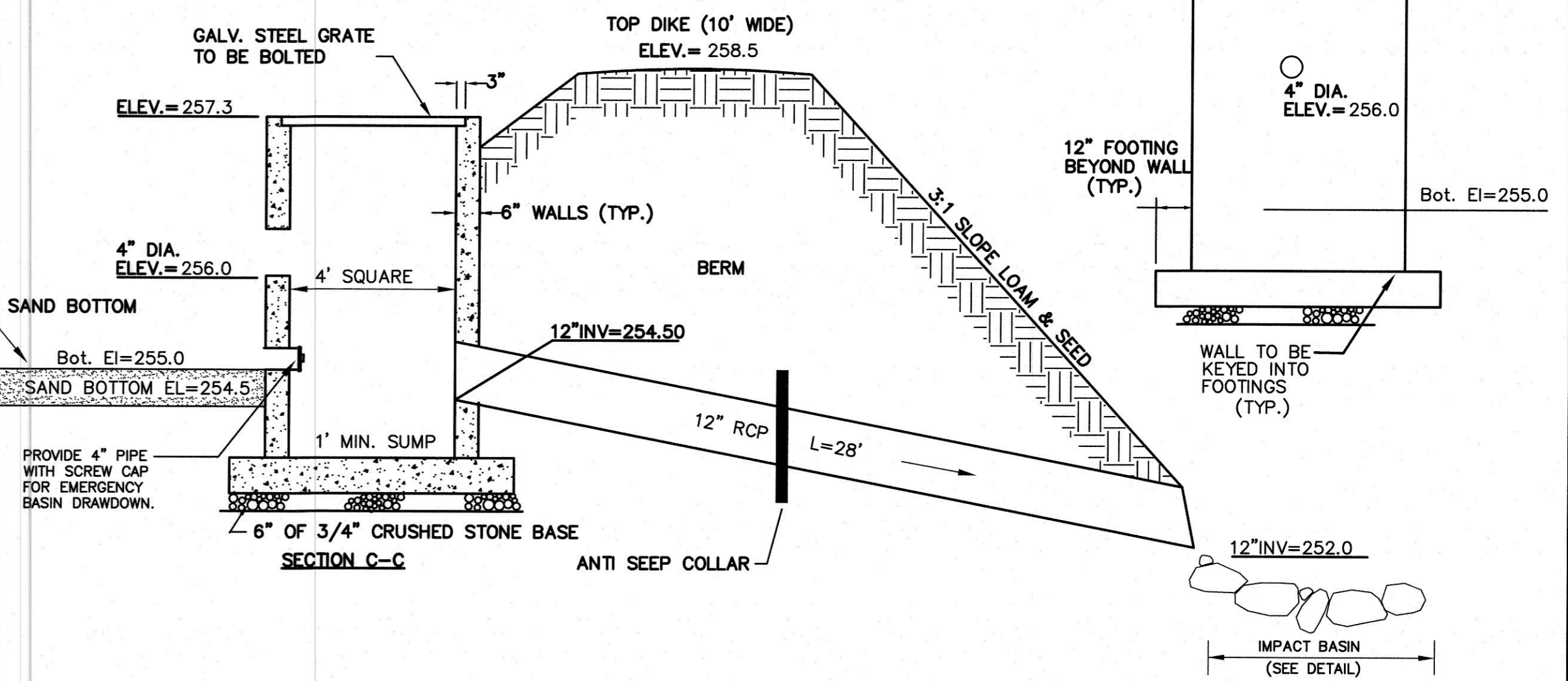
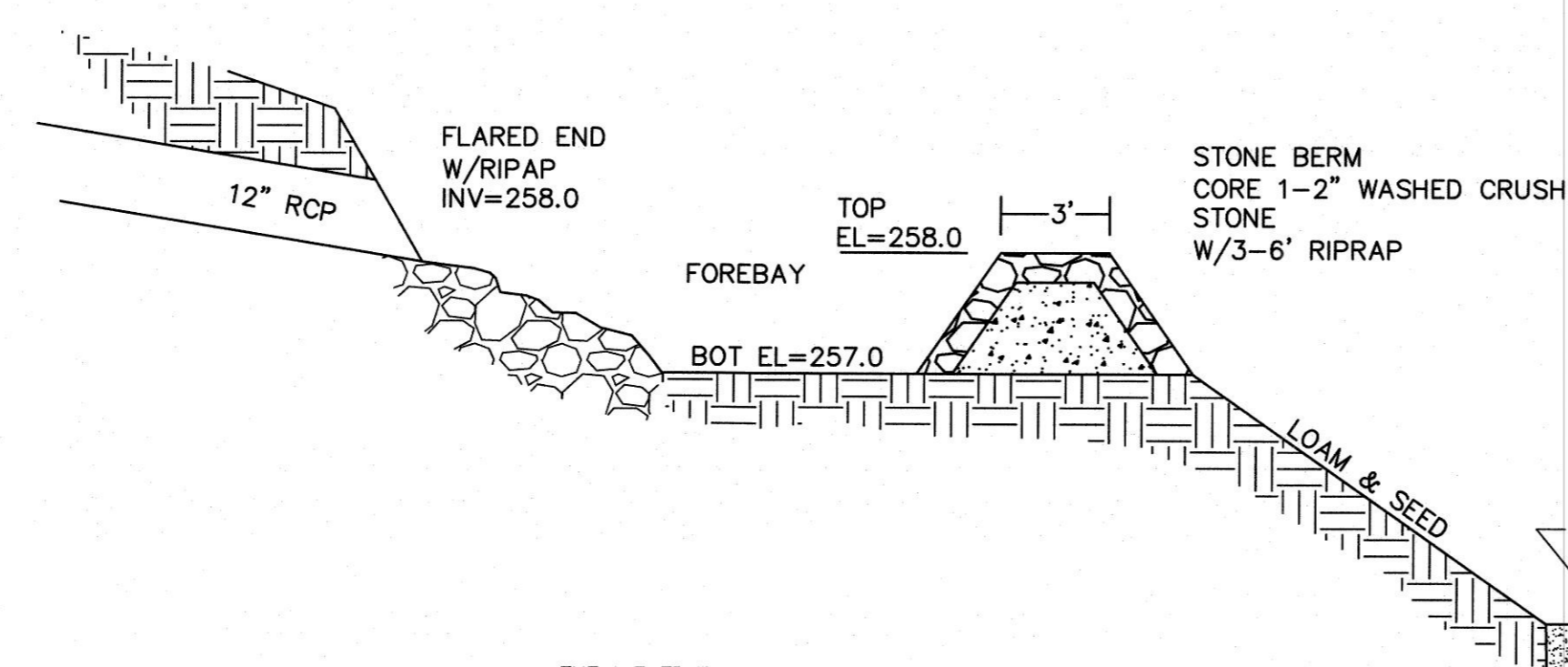
NOT TO SCALE

NOTE: NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.



STONE PROTECTION OUTLET DETAIL

NOT TO SCALE



DRAINAGE BASIN & OUTLET STRUCTURE DETAIL

(PRECAST CONCRETE STRUCTURE)

NOT TO SCALE

THE INFILTRATION SYSTEM AREA SHALL BE A BE EXCAVATED AND ALL DELETERIOUS MATERIAL REMOVED TO THE DEPTH OF THE NATURAL PARENT MATERIAL.

LIMIT OF EXCAVATION & SAND BOTTOM

ALL DELETERIOUS MATERIAL MUST BE REMOVED FROM THE AREA OF THE INFILTRATION SYSTEMS AND OTHER DESIGNATED LIMITS AND FILLED WITH APPROVED, CLEAN, GRANULAR SAND. THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 2 INCHES AND BE GRADED SO NOT MORE THAN 45% OF THE SAMPLE IS RETAINED IN A #4 SIEVE, OF THAT PASSING, 20% OR LESS SHALL PASS A #100 SIEVE AND 5% OR LESS SHALL PASS THE #200 SIEVE. NOT MORE THAN 90% SHALL BE RETAINED ON THE #50 SIEVE.

DEFINITIVE SUBDIVISION PLAN

BROGDEN ROAD EXTENSION

ASHLAND, MASSACHUSETTS

PREPARED FOR:

A & M REALTY TRUST

43 RIDGEWOOD STREET

ASHLAND, MA 01721

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JOB No. 16130

DATE: OCTOBER 25, 2017

SCALE: AS SHOWN

SHEET: 10 of 10

PLAN #: 27,167

DETAIL