2018-109 JOB NUMBER As indicated SCALE 100% CD PROGRESS / PRICING SET ISSUED AS 09/25/2020

ISSUE DATE

BURBANK BLVD

 EXISTING TREE TO BE REMOVED PUBLIC FIRE HYDRANT TO BE INSTALLED BY LADWP FIRE HYDRANT DISTANCE TO FDC: 34' (<100' MAX.) RESIDENTIAL ENTRY DRIVE 681.41 LOWEST POINT (6) SHORT TERM BICYCLE RACKS ON SITE PROPERTY LINE BEFORE 5' DEDICATION **BUILDING LINE** PARALLEL TO PROPERTY LINE AFTER 5' DEDICATION ACCESSIBLE ROUTE PROPERTY LINE - DFDA AUTOMATIC DOOR PUSH PLATE, SEE 19/ AD4.2 AUTOMATIC GARAGE DOOR, HOSE BIB PROVIDE 20 TRANSPONDERS -INTERCOM & KEY CARD READER, SEE 19/ AD4.2 TRANSFORMER FIRE DEPARTMENT GAS METER 20' SETBCK PAD KNOX BOX BUILDING LINE

(A.7) FIRE ANNUNCIATOR PANEL RESIDENTIAL PARKING ONLY

APARTMENTS: NEIGHBORING PROPERTY
3-STORY RESIDENTIAL APARTMENT
(NOT INCLUDED) R2 OCCUPANCY - DWELLING UNITS TYPE V-A WOOD CONSTRUCTION FOUR STORIES PARKING GARAGE: S-2 OCCUPANCY - PARKING CONCRETE CONSTRUCTION

CLEAR LINE OF SIGHT FROM STAIR EXIT

S01

SIDE YARD REQUIRED SETBACK (MIN. 7'-0")

86'-0"

4' EASEMENT THE PROPERTY OF TH

NEIGHBORING PROPERTY

1-STORY SINGLE FAMILY RESIDENCE (NOT INCLUDED)

<u>NEIGHBORING PROPERTY</u> 2-STORY SINGLE FAMILY RESIDENCE

ONE BASEMENT LEVEL

NFPA 13 SPRINKLER SYSTEM

55 DWELLING UNITS

(NOT INCLUDED)

ARCHITECTURAL SITE PLAN

1/8" = 1'-0"

BACKFLOW DEVICE FOR IRRIGATION BACKFLOW DEVICE FOR DOMESTIC WATER SERVICE - MECHANICAL SKID FIRE DEPARTMENT CONNECTION - FDC

GAS PIPE DEPRESSED SLAB SEE 10/ AD4.2

10'-2 1/2"

SIDE YARD
REQUIRED
SETBACK
(MIN. 7'-0")

NEIGHBORING PROPERTY
2-STORY RESIDENTIAL APARTMENT

(NOT INCLUDED)

SITE PLAN LEGEND ACCESSIBLE ROUTE FROM PUBLIC RIGHT

OF WAY TO BUILDING ENTRANCE

BUILDING VEHICULAR PARKING GARAGE ENTRY/EXIT

PROPOSED TRANSFORMER AND Т SWITCHGEAR LOCATION. FIRE HYDRANT LOCATION, VERIFY FH LOCATION WITH CIVIL DRAWINGS SETBACK LINE _ _ _ _ _ _

GAS PIPE CHASE

WALL ASSEMBLY LEGEND

ALL CMU 8" NOMINAL SEE EXTERIOR ELEVATIONS & WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION

WOOD	CONSTRUCTION			OPENINGS
	2 HOUR FIRE BARRIER	SHAFT TO CORRIODR SHAFT TO UNIT SHAFT TO SHAFT UNIT TO UNIT 2 HR EXTERIOR WALL	4/ AD1.2 8/ AD1.2 12/ AD1.2 16/ AD1.2	90 MIN.
	1 HOUR FIRE BARRIER	MECHANICAL SHAFT	6/ AD1.4	20 MIN.
••••••	EXTERIOR BEARING WALL	PLASTER FINISH	10/ AD1.4	N/A
	1 HOUR FIRE PARTITION (STC 50)	UNIT TO UNIT	12/ AD1.1	20 MIN.
	1 HOUR FIRE PARTITION (STC 50)	UNIT TO UNIT	8/ AD1.1	20 MIN.
	1 HOUR FIRE PARTITION	CORRIDOR TO UNIT CORRIDOR TO NON-UNIT	4/ AD1.1	20 MIN.
	1 HOUR FIRE BARRIER 2x6 WALL	1 HR EXTERIOR WALL NON-RATED SINGLE WALL	10/ AD1.4 1/ AD1.4	20 MIN. N.R.
	2x4 WALL	NON-RATED SINGLE WALL	1/ AD1.4	N.R.

1. SHADED WALLS SHOWN ON SEGMENT PLANS ARE 2x6 CONSTRUCTION AND BLANK WALLS ARE 2x4 CONSTRUCTION U.N.O.

CEILING PLAN GENERAL NOTES

SLAB PLAN NOTES

REFER TO COVER SHEET FOR SYMBOLS AND ABBREVIATIONS.

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXTENT OF THE

REFER TO FLOOR PLANS FOR TOPPING SLABS.

PLACEMENT OF ANY STRUCTURAL CONCRETE.

OF BUILDING UNLESS NOTED OTHERWISE.

EXCEED 2% MAXIMUM IN ANY DIRECTION.

PENETRATION SIZES AND LOCATIONS.

TO DRAIN PER CIVIL DRAWINGS.

AND LOCAL UTILITY COMPANY.

PRIOR TO POURING CONCRETE.

ETC. NOT SHOWN HERE.

PROVIDED.

ELEVATION, UNLESS NOTED OTHERWISE.

WALL HEIGHT VARIATIONS PER BUILDING.

CONFIGURATION.

PRECISE GRADING PLANS.

OR CENTERLINE OF COLUMN.

STRUCTURAL SLAB WITH HORIZONTAL AND VERTICAL CONTROLS.

REFER TO CIVIL DRAWINGS FOR BUILDING LOCATION ON SITE AND

ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, AND STUD,

CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING EXACT TOP OF

CONTRACTOR SHALL HAVE ALL SLABS, DEPRESSIONS, AND SLOPES

VERIFIED AND CERTIFIED BY A LICENSED SURVEYOR PRIOR TO THE

FINISHED AND SUB-SURFACE CONCRETE/PAVING THAT IS EXPOSED

10. $\,$ ALL FLAT STRUCTURAL SLABS TO RECEIVE TOPPING SLAB AND SLOPE

11. SLOPE AT PARKING STALLS TO BE 5% MAXIMUM IN ANY DIRECTION.

13. EQUIPMENT CONCRETE PAD LOCATIONS AND SIZES TO BE

12. SLOPE AT ACCESSIBLE ROUTE AND ACCESSIBLE PARKING SHALL NOT

COORDINATED WITH GENERAL CONTRACTOR, SUB-CONTRACTOR.

AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION ON

IT IS CONTRACTOR'S RESPONSIBILITY TO ESTABLISH EXACT

LOCATIONS OF CURBS, BLOCK-OUTS, AND GENERAL SLAB

CONTRACTOR TO VERIFY LOCATION AND SIZE OF ALL WALLS AND SLAB OPENINGS, PENETRATIONS, AND EMBEDMENTS, AS WELL AS

17. CONTRACTOR IS TO CONFIRM WITH ALL TRADES THAT ALL WORK,

18. TOP OF CURB ELEVATIONS ARE TO ALIGN WITH FINISH SLAB

INCLUDING PLACEMENT OF HARDWARE, SLEEVES, UTILITIES, ETC.

INTO OR THROUGH STRUCTURAL CONCRETE DECK, IS COMPLETE

REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ENTRY PORCHES,

20. REFER TO SLAB VARIATION PLANS FOR SLAB ELEVATION AND STEM

21. THE SLAB VARIATIONS PLANS SHOW RELATIVE HEIGHTS OF TOP OF

CURBS AT GARAGE AND GARAGE SLAB ELEVATIONS.

SLABS AT LIVING UNITS. REFER TO CIVIL DRAWINGS FOR TOP OF

22. NOT ALL DIRECT ACCESS DOORS FROM GARAGE TO LIVING UNITS ARE

ROUTES FROM UNIT ENTRY DOOR TO GARAGE DOOR. REFER TO CIVIL

SENSITIVE AREAS: STORAGE ROOMS, AREAS WITH FINISH MATERIALS

ACCESSIBLE ROUTES. REFER TO CIVIL PLANS FOR ACCESSIBLE

23. PROVIDE MOISTURE BARRIER UNDER ALL SLAB-ON-GRADE IN

24. CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS

STEP

AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.

SLAB PLAN LEGEND

SHADED AREA INDICATED DEPRESSED

UNDER SIDEWALK, SLOPED TO DRAIN

TOPPING WHERE NOTED; CONCRETE SLAB

CONCRETE SLAB FOR LANDSCAPE

HATCHED AREA INDICATES WOOD

CONSTRUCTION

AND POST-TENSION DESIGN FOR CONCRETE STEPS TO UNITS, IF

STOOPS, WALKS, DRIVEWAYS, SITE WALLS, SLOPES AND ELEVATIONS,

COORDINATE WITH EQUIPMENT SPECIFICATIONS WHERE NECESSARY.

REFER TO CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL,

TO WEATHER IS TO SLOPE TO DRAIN AWAY FROM PERIMETER WALLS

REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL SLAB

STRUCTURAL SLAB ELEVATION BASED ON CIVIL DRAWINGS.

REFER TO SHEET G.30a AND G.30b FOR APPLICABLE GENERAL NOTES

- REFER TO SHEET G.30 & G.31 FOR APPLICABLE GENERAL NOTES.
- REFER TO COVER SHEET FOR SYMBOLS AND ABBREVIATIONS. REFER TO MECHANICAL. ELECTRICAL. PLUMBING. FIRE SPRINKLERS. STRUCTURAL, AND INTERIOR DRAWINGS FOR LAYOUTS AND

ADDITIONAL INFORMATION FOR LOCATION OF LIGHT FIXTURES,

ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, AND STUD, OR CENTERLINE OF COLUMN.

HVAC REGISTERS, AND FIRE SPRINKLER LINES.

- INTERIOR FINISHES SHALL COMPLY WITH CBC CHAPTER 8 FOR FLAME SPREAD PROVISIONS.
- PROVIDE ALL NECESSARY CEILING OR WALL ACCES PANELS AS REQUIRED FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER. AND ELECTRICAL SYSTEMS. IN FIRE-RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF-CLOSING DEVICES.
- ALL VENT AND CLEANOUT LOCATIONS TO BE APPROVED BY OWNER.
- LIGHTS TO BE CENTERED IN CEILING AREAS WITHIN ROOMS OR SPACES, UNLESS NOTED OTHERWISE.
- EXTEND SOFFITS 2" BEYOND FACE OF CABINETS, TYPICAL.
- 10. BUILDING WILL BE FIRE SPRINKLERED THROUGHOUT. GROUP R-2 AND R2.1 FIRE ALARM SYSTEMS AND SMOKE ALARM: (LAFC 907.2.9) D. PROVIDE SINGLE- AND MULTIPLE-STATION SMOKE ALARMS: ON CEILING OR WALL OUTSIDE OF EACH

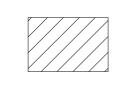
SLEEPING AREAS.

II. IN EACH ROOM USED FOR SLEEPING PURPOSES. III. IN EACH STORY WITHIN A DWELLING UNIT. CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS

CEILING PLAN LEGEND

AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.

ALL FIXTURES SPECIFIED BY OWNER.



FINISH HEIGHT AS REFERENCED ON PLAN ABOVE FINISHED FLOOR OR STRUCTURAL SLAB, U.N.O.



CEILING APPLIED TO UNDERSIDE OF FRAMING ABOVE PER FLOOR FRAMING ASSEMBLY OR EXPOSED CONCRETE AT UNDERSIDE OF PODIUM.

ROOF PLAN NOTES

- REFER TO SHEET G.30 FOR APPLICABLE GENERAL NOTES.
- REFER TO COVER SHEET FOR SYMBOLS AND ABBREVIATIONS.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, AND STUD, OR CENTERLINE OF COLUMN.
- REFER TO ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- MAJOR ROOF SLOPES ARE 3/8" PER FOOT TO PROVIDE MINIMUM 1/4" PER FOOT SLOPE ALONG DRAINAGE FLOW LINES.

ROOF SPOT ELEVATIONS ARE TO TOP OF ROOF SHEATHING,

- UNLESS NOTED OTHERWISE. ROOF ELEVATION DATUM SET AT 0.00' AT 7TH FLOOR TOP PLATE.
- REFER TO STRUCTURAL DRAWINGS FOR:
- SIZE AND LOCATION OF FRAMING AND SHEATHING. B. SPECIAL NAILING AND BLOCKING REQUIREMENTS.
- ROOFING TO BE MINIMUM CLASS "A" 1-HOUR FIRE-RATED ASSEMBLY.
- POWER TOOLS USED TO CUT THE REQUIRED OPENINGS IN THE ROOF SHEATHING SHALL BE CAREFULLY SET TO THE APPROPRIATE DEPTH TO AVOID CUTTING INTO ANY STRUCTURAL MEMBERS OF THE ROOF ASSEMBLY.
- PRIME ALL GALVANIZED SURFACE AREAS THAT ARE TO BE PAINTED. ALL EXPOSED ROOF FLASHING AND PLUMBING VENTS SHALL BE PAINTED TO MATCH ADJACENT SURFACE.
- PROVIDE SPLASH BLOCK AT ALL DOWNSPOUT LOCATIONS. PROVIDE SPLASH BLOCK OR GRAVEL BED WITHIN LANDSCAPE AREAS, REFER TO LANDSCAPE DRAWINGS.
- 13. PER CALIFORNIA PLUMBING CODE, ROOF VENTS SHALL NOT BE PLACED WITHIN 10'-0" FROM, OR LESS THAN 3'-0" ABOVE, AIR INTAKES OR VENT SHAFTS.
- . GUARDS SHALL BE PROVIDED WHERE MECHANICAL EQUIPMENT IS LOCATED WITHIN 10'-0" FROM THE ROOF EDGE OR OPEN SIDE OF A WALKING SURFACE, AND SUCH EDGE OR OPEN SIDE IS MORE THAN 30" ABOVE ROOF, FLOOR, OR GRADE BELOW. THE GUARD SHALL BE CONSTRUCTED TO PREVENT THE PASSAGE OF A 21" DIAMETER
- 15. FAÇADE ACCESS PLAN (OPOS) SHALL BE PROVIDED BY OWNER TO COMPLY WITH OSHA REGULATIONS. THE OWNER SHALL COORDINATE AND NOTIFY THE PROJECT TEAM IF FAÇADE ACCESS REQUIREMENTS NEED TO BE SHOWN IN THESE CONSTRUCTION DOCUMENTS.
- 16. ANY CONTRACTOR INSTALLING FUTURE EQUIPMENT ON ROOF. INCLUDING SOLAR PANELS, RETAIL EQUIPMENT, SATELLITE DISH, ETC. SHALL RETAIN STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ACOUSTICAL, AND WATERPROOFING CONSULTANT SERVICES AND OBTAIN APPROVAL FROM BUILDING OWNER AND

LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION.

- 17. CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT
- 18. REFER TO SHEETS AD6.1, AD6.2, AND AD6.3 FOR TYPICAL ROOF DETAILS.

ROOF LEGEND

H HOOD FOR LINE SETS

ROOF VENTILATOR

WALKWAY PADS

FLOOR PLAN NOTES

- REFER TO SHEET G.30 FOR APPLICABLE GENERAL NOTES.
- REFER TO COVER SHEET FOR SYMBOLS AND ABBREVIATIONS.
- REFER TO SHEET G.10 FOR SANITARY FIXTURE CALCULATIONS.
- REFER TO SHEETS AS.10 AND AS.20 FOR DOOR AND WINDOW SCHEDULES.
- 5. REFER TO SHEET A7.40 FOR STOREFRONTS.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, AND STUD, OR CENTERLINE OF COLUMN.
- 7. REFER TO ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- THESE PLANS SHOW UNIQUE INFORMATION AND UNIT-TO-UNIT RELATIONSHIPS ONLY. REFER TO ENLARGED UNIT PLANS ON A4
- SERIES SHEETS FOR INFORMATION NOT SHOWN.

REFER TO STRUCTURAL DRAWINGS FOR:

- SIZE AND LOCATION OF FRAMING AND SHEATHING. SPECIAL NAILING AND BLOCKING REQUIREMENTS.
- 10. REFER TO CIVIL DRAWINGS FOR BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
- 11. INTERIOR FINISHES SHALL COMPLY WITH CBC CHAPTER 8 FOR
- FLAME SPREAD PROVISIONS.
- 12. ALL STAIR, ELEVATOR, TRASH, CHUTE, AND VENTILATION SHAFTS TO BE 2-HOUR FIRE-RATED BARRIERS. REFER TO SHEET A5.00.
- PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS AS REQUIRED FOR AIR CONDITIONING. PLUMBING. FIRE SPRINKLER. AND ELECTRICAL SYSTEMS. IN FIRE-RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF-CLOSING DEVICES.
- 14. PROVIDE FIRE BLOCKING IN STUD WALL CONCEALED SPACES. INCLUDING FURRED SPACES, AT BOTH VERTICAL AND HORIZONTAL 10 FOOT INTERVALS.
- 15. BUILDING WILL BE FIRE SPRINKLERED THROUGHOUT.
- 16. PROVIDE EXIT SIGNS CONNECTED TO A SOURCE OF EMERGENCY BACKUP POWER.
- 17. CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- 18. PROVIDE ADEQUATE LIGHTING TO ENSURE SAFE ACCESS TO BICYCLE PARKING FACILITIES IN ACCORDANCE WITH SECTION
- 19. NEWLY MECHANICALLY VENTILATED BUILDINGS SHALL PROVIDED REGULARLY OCCUPIED AREAS OF THE BILDINGS WITH A MERV 13 FILTER FOR OUTSIDE AND RETURN AREA. FILTER SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF HE SAME VALUE SHALL BE INCLUDED IN THE OPERATIUONS AND MAINTENANCE MANUAL.
- PROVIDE HIGH SPEED INTERNET OR WIRELESS "WIFI" SERVICE CONNECTION TO EACH UNIT BY WIRELESS ACCESS POINT. SERVICE WILL BE AVAILABLE BY THE PLACED IN SERVICE DATE HIGH SPEED INTERNET SERVICE, WITH A MINIMUM AVERAGE DOWNLOAD SPEED OF 768 KILOBITS/SECOND MUST BE MADE AVAILABLE TO EACH UNIT FOR A MINIMUM OF 15 YEARS, FREE OF CHARGE TO THE TENANTS, AND AVAILABLE AT THE TIME OF THE PROJECT'S PLACED-IN-SERVICE DATE.

FLOOR PLAN LEGEND



MOBILITY UNIT



AUDIBLE / VISUAL AUGMENTED UNIT

GARAGE FLOOR PLAN NOTES

- . REFER TO SHEET G.30 FOR APPLICABLE GENERAL NOTES.
- REFER TO COVER SHEET FOR SYMBOLS AND ABBREVIATIONS.
- 3. REFER TO SHEET G.10 FOR SANITARY FIXTURE CALCULATIONS.
- 4. REFER TO SHEET G.10 FOR PARKING STALL TABULATION.
- REFER TO TYPICAL PARKING STALL LAYOUT ON SHEET A0.01 FOR
- REFER TO SHEETS AS.10 AND AS.20 FOR DOOR AND WINDOW SCHEDULES.
- REFER TO SHEET A7.40 FOR STOREFRONTS.

PARKING STALL CONFIGURATIONS.

- B. ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, AND STUD,
- OR CENTERLINE OF COLUMN. 9. REFER TO ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- 10. REFER TO STRUCTURAL DRAWINGS FOR:
- A. SIZE AND LOCATION OF SHEAR WALLS.
- B. SIZE AND LOCATION OF BEARING WALLS.
- C. COLUMN AND BEAM SIZES.
- D. FLOOR SLAB THICKNESS
- 11. REFER TO CIVIL DRAWINGS FOR BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
- 12. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING EXACT TOP OF STRUCTURAL SLAB ELEVATION BASED ON CIVIL DRAWINGS.
- 13. FINISHED AND SUB-SURFACE CONCRETE/PAVING THAT IS EXPOSED TO WEATHER IS TO SLOPE TO DRAIN AWAY FROM PERIMETER WALLS
- 14. INTERIOR FINISHES SHALL COMPLY WITH CBC CHAPTER 8 FOR FLAME SPREAD PROVISIONS.

OF BUILDING UNLESS NOTED OTHERWISE.

- 15. ALL GARAGE WALLS TO BE PAINTED PER FINISH SPECIFICATIONS.
- 16. ALL STAIR, ELEVATOR, TRASH, CHUTE, AND VENTILATION SHAFTS TO BE 2-HOUR FIRE-RATED BARRIERS. REFER TO SHEET A5.00.
- 17. PROVIDE ALL NECESSARY CEILING OR WALL ACCES PANELS AS REQUIRED FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER, AND ELECTRICAL SYSTEMS. IN FIRE-RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF-CLOSING DEVICES.
- 18. GARAGE WILL BE FIRE SPRINKLERED THROUGHOUT.
- 19. PROVIDE EXIT SIGNS CONNECTED TO A SOURCE OF EMERGENCY BACKUP POWER.
- 20. ALL MECHANICAL DUCTS AND PLUMBING LINES ARE TO BE RUN TIGHT TO THE UNDERSIDE OF SLAB.
- 21. ALL GARAGE CEILING CLEARANCES SHALL BE 7'-6" MINIMUM CLEAR FROM ALL FIXTURES, PLUMIBING LINES, OR MECHANICAL DUCTS. ACCESSIBLE ROUTE TO ALL ACCESSIBLE PARKING STALLS SHALL BE 8'-2" MINIMUM CLEAR.
- 22. SLOPE AT PARKING STALLS TO BE 5% MAXIMUM IN ANY DIRECTION.
- 23. SLOPE AT ACCESSIBLE ROUTE AND ACCESSIBLE PARKING SHALL NOT EXCEED 2% MAXIMUM IN ANY DIRECTION.
- 24. EQUIPMENT CONCRETE PAD LOCATIONS AND SIZES TO BE COORDINATED WITH GENERAL CONTRACTOR, SUB-CONTRACTOR, AND LOCAL UTILITY COMPANY.
- 25. CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- 26. DESIGNATED PARKING STALLS TO BE ASSIGNED BY OWNER.

27. REFER TO 6/AD8.1 AND 10/AD8.1 FOR EV PARKING SPACE AND

- SIGNAGE INFORMATION. 28. REFER TO 4/AD8.1 FOR GARAGE FLOOR FINISH.
- 29. CCTV VERTICAL CLEARANCE PER CBC 11B-502.5 AND 307.4.

LEGEND



MINIMUM 8'-2" HEADROOM CLEARANCE FOR DISABLED ACCESS PATH OF TRAVEL. CLEARANCES SHALL BE MEASURED FROM THE LOWEST POINT OF STRUCTURE, MECHANICAL DUCTS, UTILITY PIPING, LIGHTING FIXTURES, ETC. TO THE FINISH FLOOR LEVEL.



DETECTABLE WARNING STRIP, 36" MINIMUM IN DIRECTION OF TRAVEL

ARCHITECTS

LOS ANGELES | IRVINE | OAKLAND

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THIS SET OF CONSTRUCTION DOCUMENTS HAS BEEN PREPARED FOR THE CONSTRUCTION OF AN

2018-109 JOB NUMBER As indicated 100% CD PROGRESS

/ PRICING SET 09/25/2020

ISSUE DATE

APARTMENT PROJECT.

Bike-Shell™



High security due to built-in door locks with concealed hinges. Locking bar from top to bottom of door.





Bike-Shell™ Model 351

Molded composite lockers shall be manufactured with

fiberglass reinforced plastic with a smooth "X" and "Y"

frame and stippled door. Finish allows easy removal of

pattern on stippled walls and top, with smooth door

graffiti and is resistant to impact, scratches and U.V.

damage. Lockers shall not use an external or internal frame. Walls and top shall be double wall construction for high strength and insolation from the elements

resists impact plus chemicals and stains. Materials will

Number plates recessed in face of door. Stainless steel louvered vents. Gear hooks for riding accessories.

Internal heavy duty locking hardware consists of a

sliding locking bar, 4feet, 2 inches in length which is secured to the door with 1/2 inch stainless steel bolts

and rides on Teflon washers. Movement of locking bar is controlled by stainless steel cams attached to the

Adjustable anchor brackets with stainless steel 3/8"

removable plug-type cylinder. Lock is recessed in the

Heavy duty stainless steel Padlock/U-Lock handle will

accommodate high security Padlocks and U-Locks. For

Please call for custom color, or color match information

American Bicycle Security Company

U-Locks from 1/2" to 3/4" Diameter. Padlocks and U-

2 Standard Lock Options (No charge)
•High-security, T-Handle Abloy cylinder lock,

anchors allow leveling of lockers.

7 Standard Color Options (No charge)

Locks not included.

White

shaft of the lock. High quality heavy duty gauge stainless steel continuous door hinge with not rust. All fasteners and assembly hardware is zinc plated or

withstand extremes in temperature and other weather/environmental conditions. The locker body components shall be joined by internal fasteners.

Please allow 5ft clearance for both doors

entura, CA 93006

nail: <u>turtle@ameribike.com</u>

Models 351, & 352 are our

ncies across the country.

nstruction is highly sistant to impact and

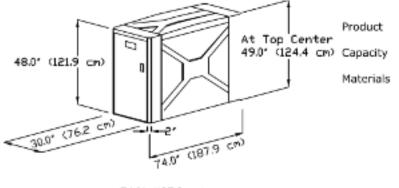
ainting, will not rust or prrode and is extremely

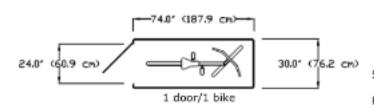
e standard key-lock

educed costs due to low ntenance and long life.

Bike-Shell™ Model 351



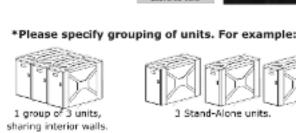






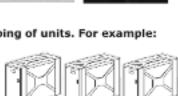








Cannot be taken apart.





- 1. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON 40AMPERE MINIMUM BRANCH CIRCUIT
- THE SERVICE PANEL OR SUBPANEL CIRCUIOT DIRECTORY SHALL IDENTIFY THEW OVERCURRENT PROTECTIVE DEIVCE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH LOS ANGELES ELECTRICAL CODE (4.106.4.2, 4.106.4.3)
- ALL DOWNSPOUTS TO DRAIN TO UNDERGROUND CISTERN. SEE CIVIL PLAN SHEET



P.O. Box 7359 Ventura, CA 93006 Ph: (800) 245-3723 or (805) 933-3688 Fax: (805) 933-1865 www.ameribike.com Email: turtle@ameribike.com

- SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT FULL A SEPARATE ELECTRICAL PERMIT IS REQUIRED.

PARKII	NG SUMMARY	
TYPE	COUNT	SYMBOL
BASEMENT		
EV READY	4	S
EV STANDARD	2	EV
EV VAN ACCESSIBLE	1	EV VAN
STANDARD	10	S
	17	
TOTAL PRIME STALLS	17	

RESIDENT PRIME = DIRECT ENTRY / NON-TANDEM

ASSIGNED PARKING	17
UNASSIGNED PARKING	0
GUEST PARKING	N/A

*PARKING TO BE ASSIGNED BY OWNER

PARKING GARAGE (S-2 OCC.)

OCCUPANCY LOAD FACTOR 1/200 ACCESSORY OCCUPANCY LOAD FACTOR 1/300 PER CBC TABLE 1004.5

8437 / 200 = 43 OCCUPANTS 1828 / 300 = 7 OCCUPANTS TOTAL = 50 OCCUPANTS

2 EXITS REQUIRED 2 EXITS PROVIDED

44" STAIR WIDTH PROVIDED AT EA. EXIT STAIRWAY 34" CLEAR DOOR PROVIDED AT EA. EXIT STAIRWAY

OPENINGS CONCRETE CONSTRUCTION 3 HOUR STRUCTURAL FRAME PRIMARY STRUCTURE 7/ AD1.5 7/ AD1.3 2 HOUR FIRE BARRIER NON-BEARING CMU 90 MIN. 11/ AD1.3 7/ AD1.5 2 HOUR FIRE BARRIER NON-BEARING CONCRETE 90 MIN. 7/ AD1.5 2 HOUR FIRE BARRIER NON-BEARING METAL STUDS 90 MIN. 8/ AD1.3 1 HOUR PARTITION 1 HR FIRE PARTITION CORRIDOR 12/ AD1.3 20 MIN. 1 HOUR EXTERIOR WALL 1 HR EXTERIOR WALL 10/ AD1.5

CONCRETE

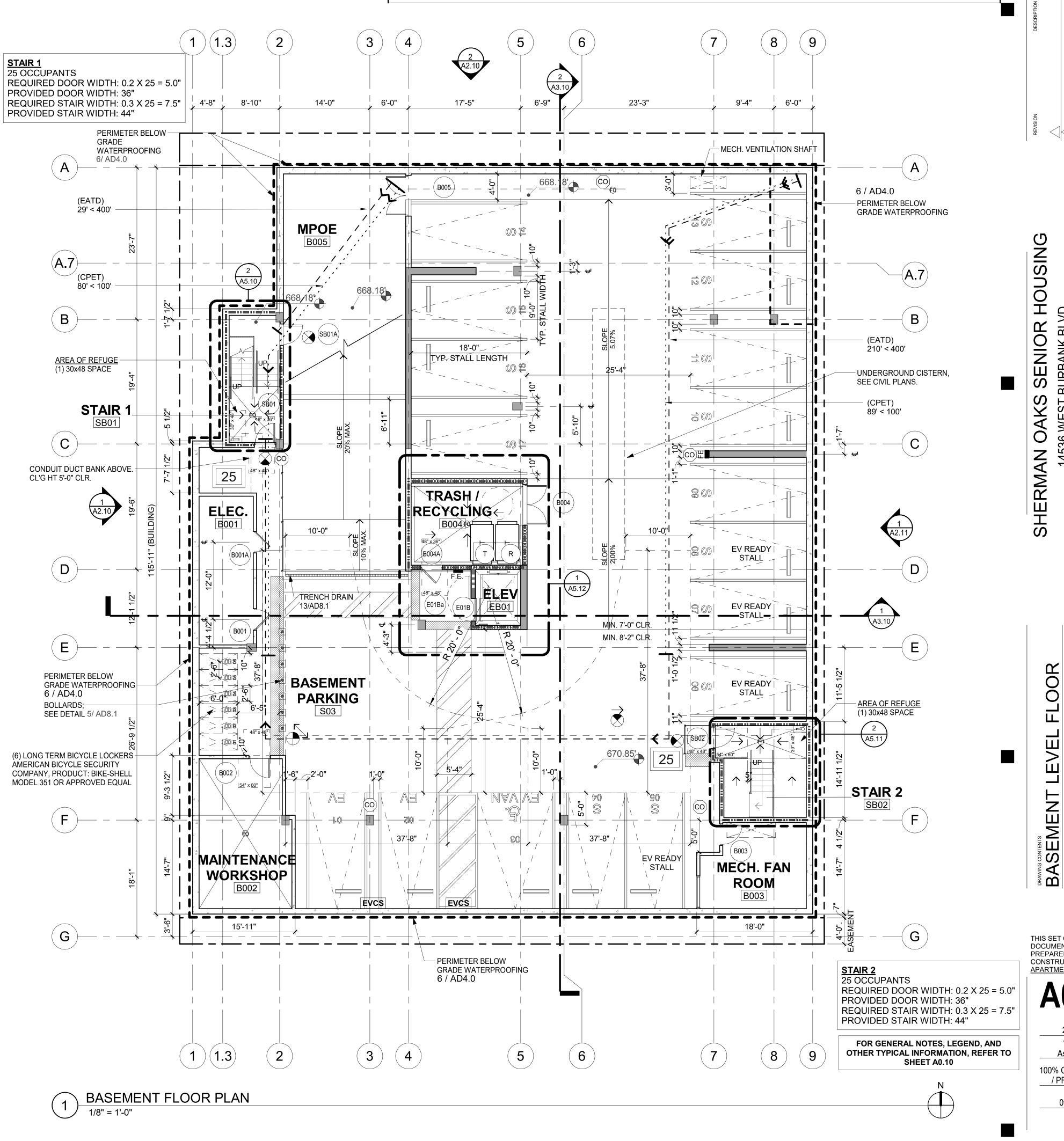
WALL ASSEMBLY LEGEND

ALL CMU 8" NOMINAL.

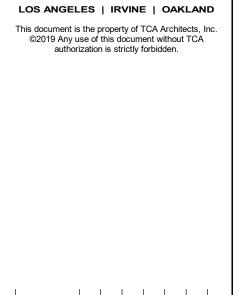
NON-RATED

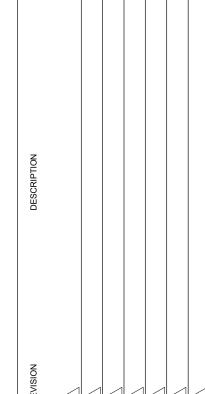
METAL STUD PARTITION 4/ AD1.3 NON RATED WALL N.R. SEE EXTERIOR ELEVATIONS & WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION

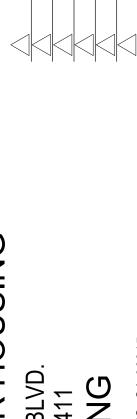
7/ AD1.3







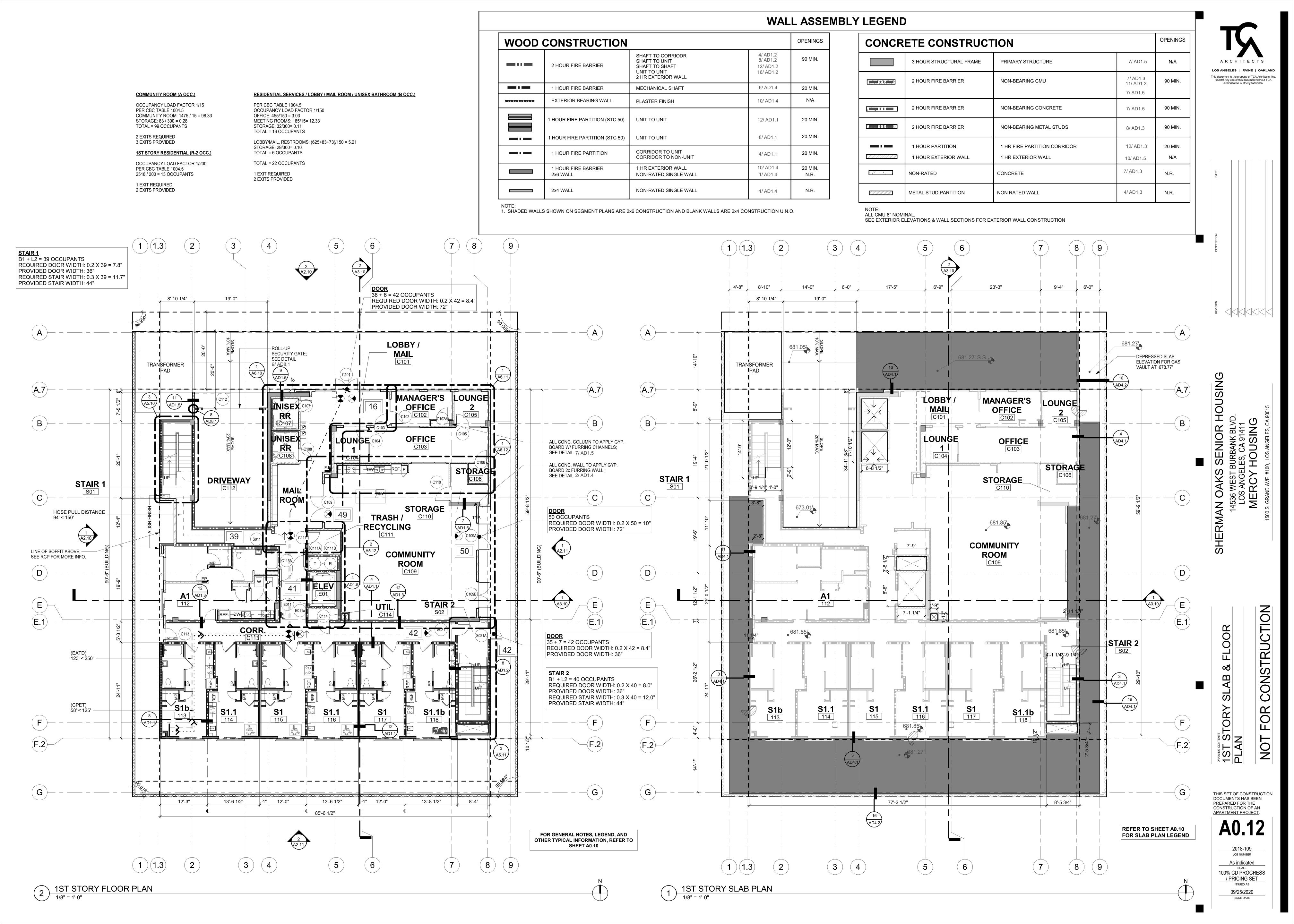


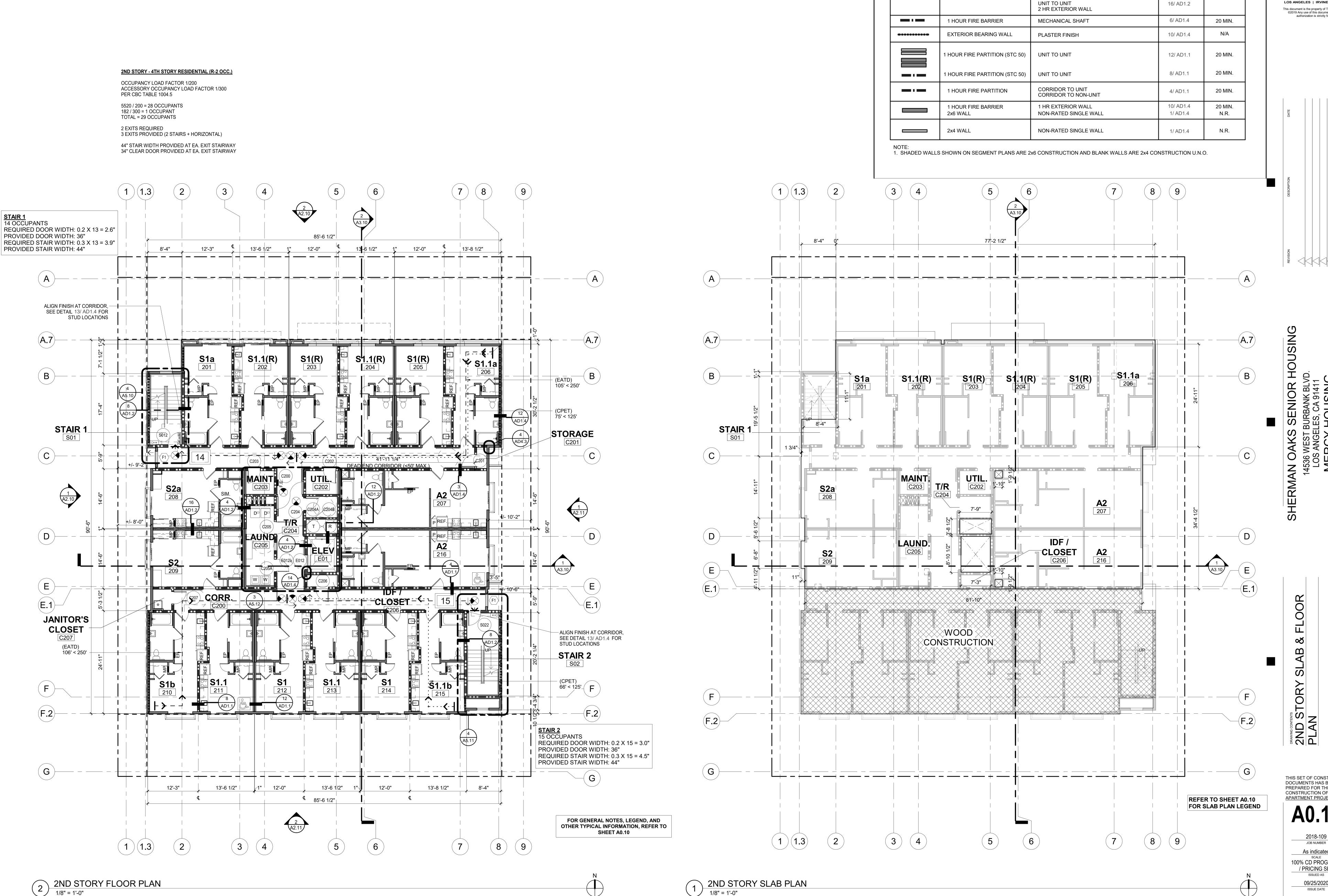


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> 2018-109 JOB NUMBER As indicated 100% CD PROGRESS / PRICING SET ISSUED AS

09/25/2020 ISSUE DATE







OPENINGS

90 MIN.

4/ AD1.2

8/ AD1.2

12/ AD1.2

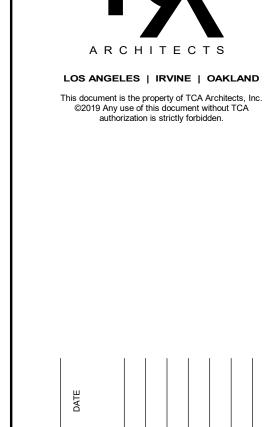
WALL ASSEMBLY LEGEND

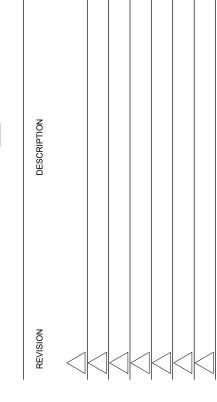
SHAFT TO CORRIODR SHAFT TO UNIT

SHAFT TO SHAFT

WOOD CONSTRUCTION

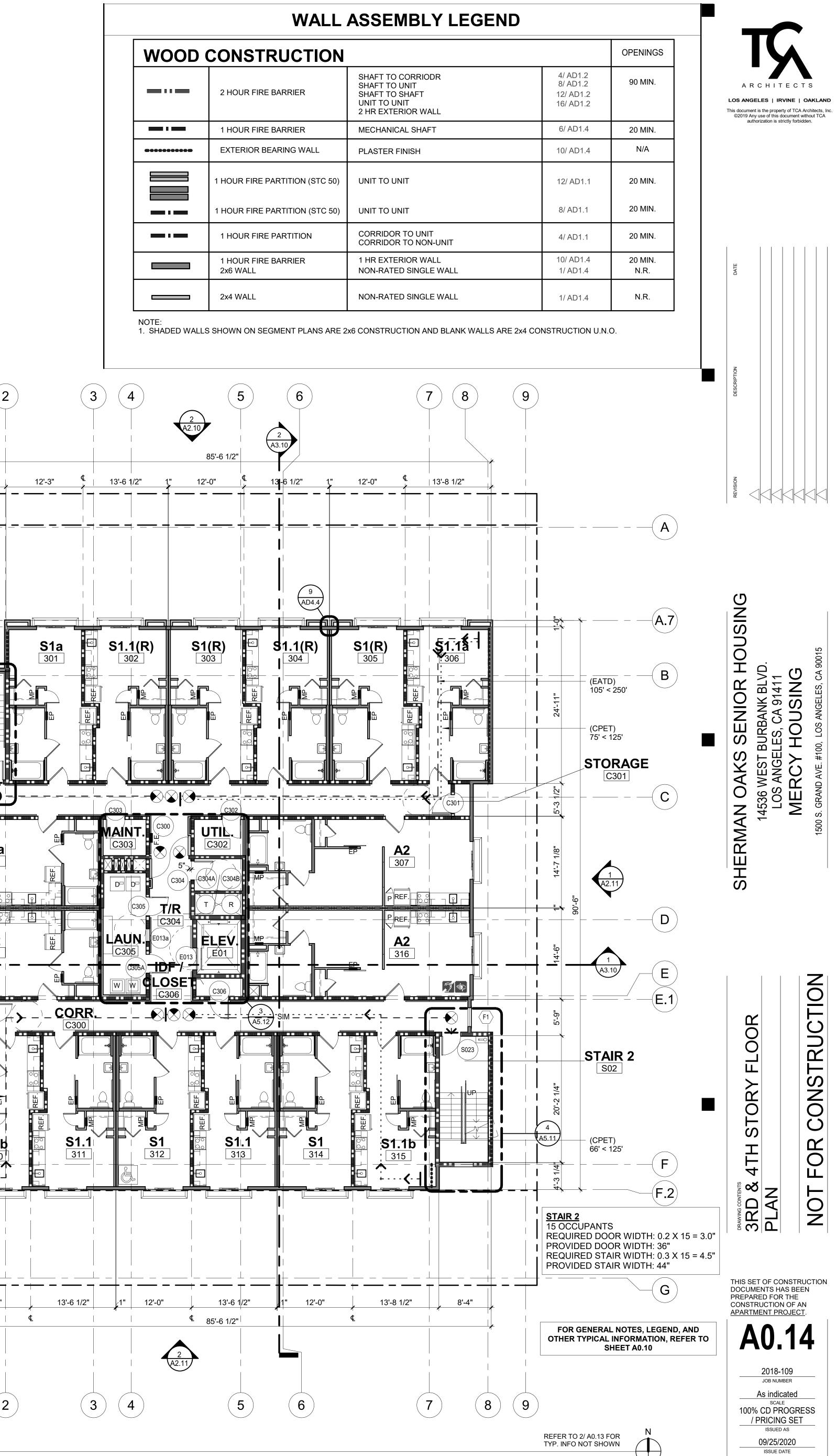
2 HOUR FIRE BARRIER





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STAIR 1 14 OCCUPANTS

(EATD) 105' < 250'

75' < 125'

STORAGE

REFER TO 2/ A0.13 FOR

TYP. INFO NOT SHOWN

S1.1b

13'-8 1/2" 8'-4"

REQUIRED DOOR WIDTH: 0.2 X 14 = 2.8"

REQUIRED STAIR WIDTH: 0.3 X 14 = 4.2"

JANITOR'S

CLOSET

3RD STORY FLOOR PLAN

PROVIDED DOOR WIDTH: 36"

PROVIDED STAIR WIDTH: 44"

STAIR 1 14 OCCUPANTS

REQUIRED DOOR WIDTH: 0.2 X 14 = 2.8"

REQUIRED STAIR WIDTH: 0.3 X 14 = 4.2"

STAIR 1

JANITOR'S

CLOSET

(EATD) 106' < 250'

2 4TH STORY FLOOR PLAN
1/8" = 1'-0"

85'-6 1/2"

13'-6 1/2"

¢ 85'-6 1/2"

PROVIDED DOOR WIDTH: 36"

PROVIDED STAIR WIDTH: 44"



Solar Reflectance Index

EnergySmart Colors	Initial Solar Reflectance Index	3-Year Solar Reflectance Index
EnergySmart White4	107	90
EnergySmart Tan ^a	89	79
Energy5mart Reflective Gray*	90	80
Energy5mart Patina Green ^a	64	51

transportation, handling, storage and disposal of

applications.

* Rects Staff, EFR, Green Grobes, and California's Title 24 min or for Street Stope applications. **ENVIRONMENTAL, HEALTH AND SAFETY**

APPLICATION INSTRUCTIONS

APPLICATION For further information and advice regarding Sarnafil G 410 is installed after proper preparation of the chemical products, user should refer to the actual Safety approved substrate. The membrane is unrolled into Data Sheets containing physical, environmental, Sarnacol® adhesive in accordance with 5lka's technical toxicological and other safety related data. User must requirements and then pressed into place with a read the current actual Safety Data Sheets before using minimum 75 lb (34 kg) steel roller. Sarnafil G 410 seams any products. In case of an emergency, call CHEMTREC are heat-welded together by trained operators using at 1-800-424-9300, International 703-527-3887. hat-air welding equipment. Different Sarnacol adhesives require different application methods. Please consult Sika's Specifications or Applicator Handbook for detailed installation procedures.

MAINTENANCE

Standard maintenance of Sarnafil systems should include regular inspections of flashings, drains, and termination sealants at least twice a year and after each

AVAILABILITY/WARRANTY

AVAILABILITY
From Sika Corporation Roofing Authorized Applicators For use within Samafil or Sikaplan systems.

Upon successful completion of the installed roof by the Sika Authorized Applicator, Sika Corporation will provide a warranty to the Building Owner via the Sika Authorized

BASIS OF PRODUCT DATA

Results may differ based upon statistical variations depending upon mixing methods and equipment, temperature, application methods, test methods, actual site conditions and curing conditions.

OTHER RESTRICTIONS See Legal Disclaimer.

Product Data Sheet August 2000, Version 06:01, 02090506-227959-2022

4/5



LEGAL DISCLAIMER . KEEP CONTAINER TIGHTLY CLOSED . KEEP OUT OF REACH OF CHILDREN

 NOT FOR INTERNAL CONSUMPTION FOR INDUSTRIAL USE ONLY . FOR PROFESSIONAL USE ONLY

Prior to each use of any product of Sika Corporation, its subsidiaries or affiliates ("SIKA"), the user must always read and follow the warnings and instructions on the product's most current product label, Product Data Sheet and Safety Data Sheet which are available at usa.sika.com or by calling SIKA's Technical Service Department at 1,800,933,7452. Nothing contained in any SIKA literature or materials relieves the user of the obligation to read and follow the warnings and instructions for each SIKA product as set forth in the current product label, Product Data Sheet and Safety Data Sheet prior to use of the SIKA product.

SIKA warrants this product for one year from date of installation to be free from manufacturing defects and to meet the technical properties on the current Product Data Sheet if used as directed within the product's shelf life. User determines suitability of product for intended use and assumes all risks. User's and/or buyer's sole remedy shall be limited to the purchase price or replacement of this product exclusive of any labor costs. NO OTHER WARRANTIES EXPRESS OR IMPLIED SHALL APPLY INCLUDING ANY WARRANTY OF

MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE, SIKA SHALL NOT BE LIABLE UNDER ANY LEGAL THEORY FOR SPECIAL OR CONSEQUENTIAL DAMAGES. SIKA SHALL NOT BE RESPONSIBLE FOR THE USE OF THIS PRODUCT IN A MANNER TO INFRINGE ON ANY PATENT OR ANY OTHER INTELLECTUAL PROPERTY RIGHTS HELD

Sale of SIKA products are subject to the Terms and Conditions of Sale which are available at https://usa.sika.com/en/group/SikaCorp/termsandconditions.html or by calling 1-800-933-7452.



Sike Corporation 201 Folio Avenue widtherst, NI 2727

100 Can Food Phone: +1 800 450 2504 Fex: +1781-929-5365 Percycles obvious







Sama(#5410-00F16;3;Smarr-en-US-)18-2020(-6-1-put) **BUILDING TRUST**

São Mexicano S.A. de C.V. Carreters L bre Celays Km. 15

Phone 52 542 2385300

Energy Smart Tan CRRC Product ID 0674-0004



PRODUCT DATA SHEET

Sarnafil® G 410-60 EnergySmart

Sarnafil G 410 Roof Membrane is a PVC thermoplastic membrane

PRODUCT DESCRIPTION

Sarnafil® G 410-60 EnergySmart Roof Membrane is a PVC thermoplastic membrane produced with an integral fiberglass mat reinforcement for excellent dimensional stability, is highly reflective, with heat-weldable seams, and a unique lacquer coating applied to the top of the membrane to reduce dirt pick up.

Sarnafil G 410 is used in adhered applications with various adhesives over various substrates. AREAS OF APPLICATION New Roofs Renoofs Becovers Flashings

CHARACTERISTICS / ADVANTAGES

Factory applied lacquer coated to reduce dirt pick up

EnergySmart Highly reflective

Hot-air welded seams for long-term performance Proven membrane performance Superior fire resistance

Excellent dimensional stability

APPROVALS / STANDARDS FM Global Underwriters Laboratories Underwriters Laboratories of Canada ICC Code Compliance – ESR 1157 Miami-Dade County Florida Building Code NSF/ANSI 847: Platinum Certified ENERGY STAR*

 California Title 24 LEED / Green Globes

Product Data Sheet August 2000, Version 06.01.

1/5

DUCT	INFORMATION	

PRODUCT INFORMATION			
Chemical Base		taining ultraviolet light stabilizers, flame ement with a unique lacquer coating on the	
Recycled Content	9% Pre-consumer, 1% Post-consu	mer	
Reinforcing Material	Fiberglass		
Packaging	60 mil (1.5 mm) Membrane (Whit 10 ft × 100 ft (3 m × 30 m) roll, 38 8 rolls per pallet 5 ft × 100 ft (1.5 m × 30 m) roll, 19 12 rolls per pallet Coverstrip: 8" × 100 ft (20 cm × 30 25 rolls per pallet	9 lbs (177 kg) per roll. 95 lbs (89 kg) per roll.	
	60 mil (1.5 mm) Membrane (Patir 6.56 ft x 65.6 ft (2 m x 20 m) roll, 19 rolls per pallet Coverstrip: 8° x 100 ft (20 cm x 30 25 rolls per pallet	168 lbs (76 kg) per roll,	
Appearance / Color	 Top: White, Reflective Gray, Ta Bottom: Gray 	n, and Patina Green	
Shelf Life	N/A		
Storage Conditions	Store rolls on pallets and fully protected from the weather with clean canvatarpoulins. Unvented polyethylene tarpoulins are not accepted due to the accumulation of moisture beneath the tarpoulin in certain weather conditions that may affect the ease of membrane weldability.		
Overall Thickness	60 mil (minimum thickness) 45 mil	(ASTM 0-75 (ASTM Type I D-4434 Spec, Requiremen	
Thickness Above Scrim	27 mil 15 mil	(ASTM D 763 (ASTM Type T 0-4434 Spet, Requirement	
TECHNICAL INFORMATION	Í		
Resistance to Static Puncture	Pass 33 lbf (15 kg)	(ASTM D-S60 (ASTM Type I D 4434 Spec. Requiremen	
Resistance to Dynamic Puncture	Pass 7.3 ft-lbf (10 J)	(ASTM 0-563 (ASTM Type 1 0-4434 Spec, Requirement	
Tensile Strength	80 lef (356 N) 55 lef (245 N)	(ASTM D.75 (ASTM Type I D-4434 Spec. Requiremen	
Elongation at Break	250 & 220% MD & EMD* 250 & 220% MD & CMD* 5MB - Madrice Decrine, SMD - Coss Madri	(ASTM 0-75 (ASTM Type T D-4434 Spec, Requirement P Decition	
Linear Dimensional Change	-0.02%	(ASTM 0-120	

Product I	Data Sheet
SamaTP*	6 410-60 Energy9man
August 2	050, Version 06.01
0209050	62220154552





(ASTM Type T D-4434 Spec. Requirement).

(ASTM Type II D 4434 Spec. Requirement)

(ASTM D-1004)

m Strength	Pass 75% of original? Frettre secure through member	er e rupture nel scern l	(ASTM D-751) (ASTM Type T D-9434 Spet, Requirement) ware.
Temperature Bend	Pass Pass -40°F (-40°C)		(ASTM 0-2135) (ASTM Type I D 4434 Spec. Regularment)
ention of Properties after Hea	t Ageing Tensile Strength, % of a Elongation, % of ongin Tensile Strength, % of a Elongation, % of origin	al: Pass original: 90	(ASTM 0-9045) (ASTM 0-751) (ASTM Type 1 D-4434 Spec. Requirement)
Exposure	10,000 hours 5,000 hours		(ASTM G-154) (ASTM Type 1 D-4434 Spec. Requirement)
	Cracking (7x magnification)	None	
	Discoloration (by observation)	Negligibi	*
	Crazing (7x magnification)	None	
ight Change after Immersion I	n Water 1,9% + 3.0%		(ASTM Type 1 0-4434 Spec. Requirement)
r Reflectance	EnergySmart Colors	Initial Solar Reflectance	3-Year Solar Reflectance
	Energy5mart White?	0.85	0.74
	EnergySmart Tan ²	0.73	0.65
	EnergySmart Beflective Gray ^a	0.73	0.66
	EnergySmart Patina Green ^a	0.55	9.46
	applications.	mentilobes, and Calif	orials Title 3d of the 2 for Low and Steep Slope or in 5 Title 3d of the 2 for Steep Slope applications.
rmal Emittance	EnergySmart Colors	Initial Therm Emittance	al 3-Year Thermal Emittence-
	EnergySmart White?	0.86	0.84
	EnergySmart Tank	0.85	0.86
	EnergySmart Reflective Gray ^a	0.89	0.98
	EnergySmarti Patina Green ^a	0.86	0.85
	Applications.	neer thickes, and Calife	Shids Michigal mink 18th 24 order is for Low and Steep Shape mink 18th 24 order is for Steep Stope applications.



3/5

ROOF DECK A (R OCC.)

OCCUPANCY LOAD FACTOR 1/200 PER CBC TABLE 1004.5

412 / 200 = 3 OCCUPANTS

1 EXIT REQUIRED 2 EXIT PROVIDED

44" STAIR WIDTH PROVIDED AT EA. EXIT STAIRWAY 34" CLEAR DOOR PROVIDED AT EA. EXIT STAIRWAY

ROOF DECK B (R OCC.)

OCCUPANCY LOAD FACTOR 1/200 PER CBC TABLE 1004.5 426 / 200 = 3 OCCUPANTS

1 EXIT REQUIRED

2 EXITS PROVIDED 44" STAIR WIDTH PROVIDED AT EA. EXIT STAIRWAY

34" CLEAR DOOR PROVIDED AT EA. EXIT STAIRWAY

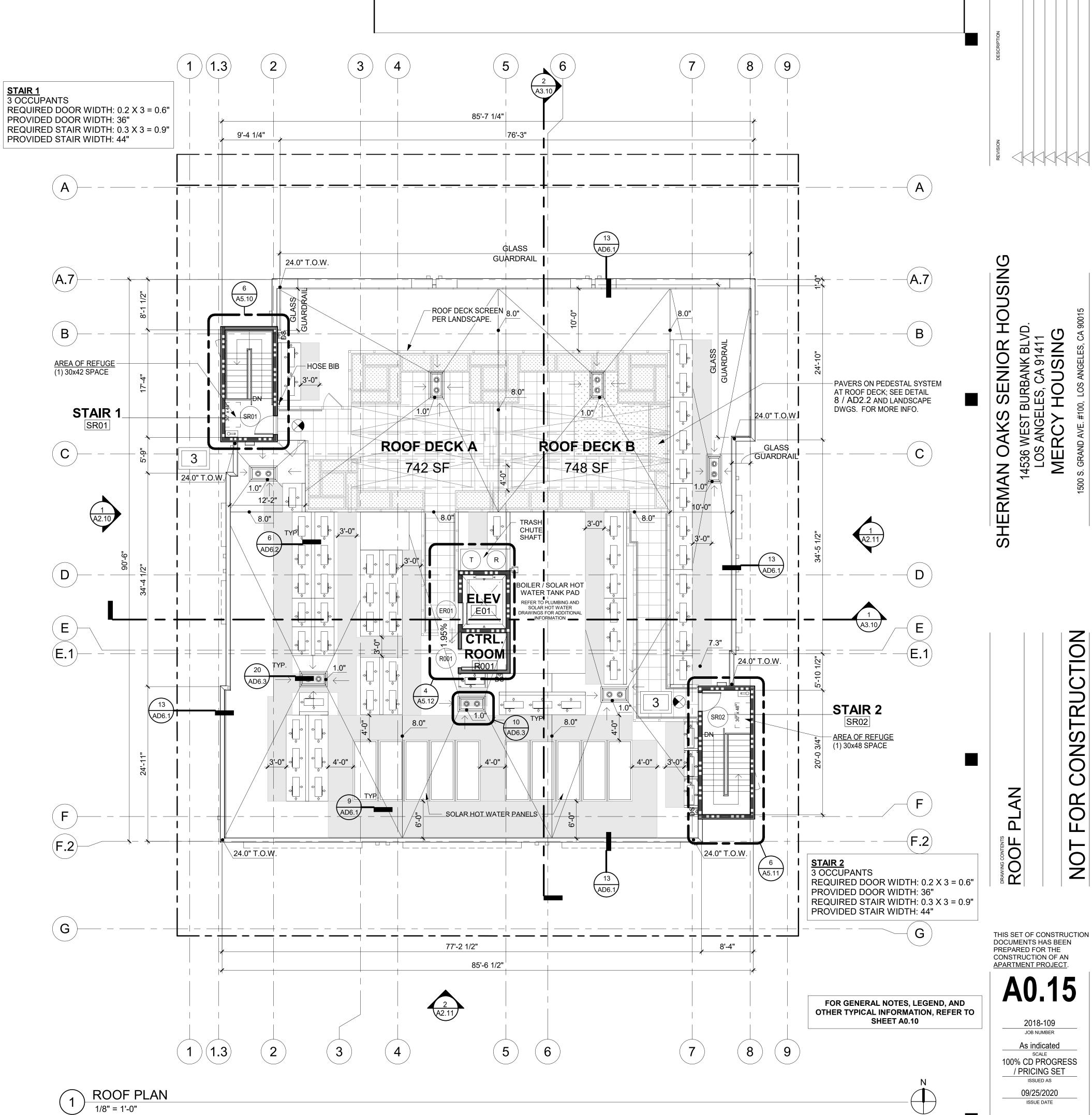
NOTES

1. ALL ROOF RUNOFF TO DRAIN TO UNDERGROUND CISTERN. SEE CIVIL PLAN SHEET

WALL ASSEMBLY LEGEND

WOOD	CONSTRUCTION			OPENINGS
	2 HOUR FIRE BARRIER	SHAFT TO CORRIODR SHAFT TO UNIT SHAFT TO SHAFT UNIT TO UNIT 2 HR EXTERIOR WALL	4/ AD1.2 8/ AD1.2 12/ AD1.2 16/ AD1.2	90 MIN.
	1 HOUR FIRE BARRIER	MECHANICAL SHAFT	6/ AD1.4	20 MIN.
••••••	EXTERIOR BEARING WALL	PLASTER FINISH	10/ AD1.4	N/A
	1 HOUR FIRE PARTITION (STC 50)	UNIT TO UNIT	12/ AD1.1	20 MIN.
	1 HOUR FIRE PARTITION (STC 50)	UNIT TO UNIT	8/ AD1.1	20 MIN.
	1 HOUR FIRE PARTITION	CORRIDOR TO UNIT CORRIDOR TO NON-UNIT	4/ AD1.1	20 MIN.
	1 HOUR FIRE BARRIER 2x6 WALL	1 HR EXTERIOR WALL NON-RATED SINGLE WALL	10/ AD1.4 1/ AD1.4	20 MIN. N.R.
	2x4 WALL	NON-RATED SINGLE WALL	1/ AD1.4	N.R.

1. SHADED WALLS SHOWN ON SEGMENT PLANS ARE 2x6 CONSTRUCTION AND BLANK WALLS ARE 2x4 CONSTRUCTION U.N.O.





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CEILING APPLIED TO UNDERSIDE OF FRAMING ABOVE PER FLOOR FRAMING ASSEMBLY OR EXPOSED CONCRETE AT UNDERSIDE OF PODIUM. 3 6 UNISEX S1.1(R) UNISEX 10' - 0" STORAGE C106 STAIR E.1 S1.1b GG G 1 (1.3) (6) 1 (1.3) 3 8 (6) 2ND STORY

1/8" = 1'-0" 1ST STORY
1/8" = 1'-0"

CEILING PLAN LEGEND

ALL FIXTURES SPECIFIED BY OWNER.

NOTE

THE BUILDING"

1. "EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT

2. EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT

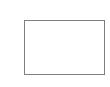
CONTROLLED BY A HUMIDITY CONTROL"

AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF

OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE

DROP CEILING: FINISH HEIGHT AS REFERENCED ON PLAN ABOVE FINISHED FLOOR OR STRUCTURAL SLAB, U.N.O.







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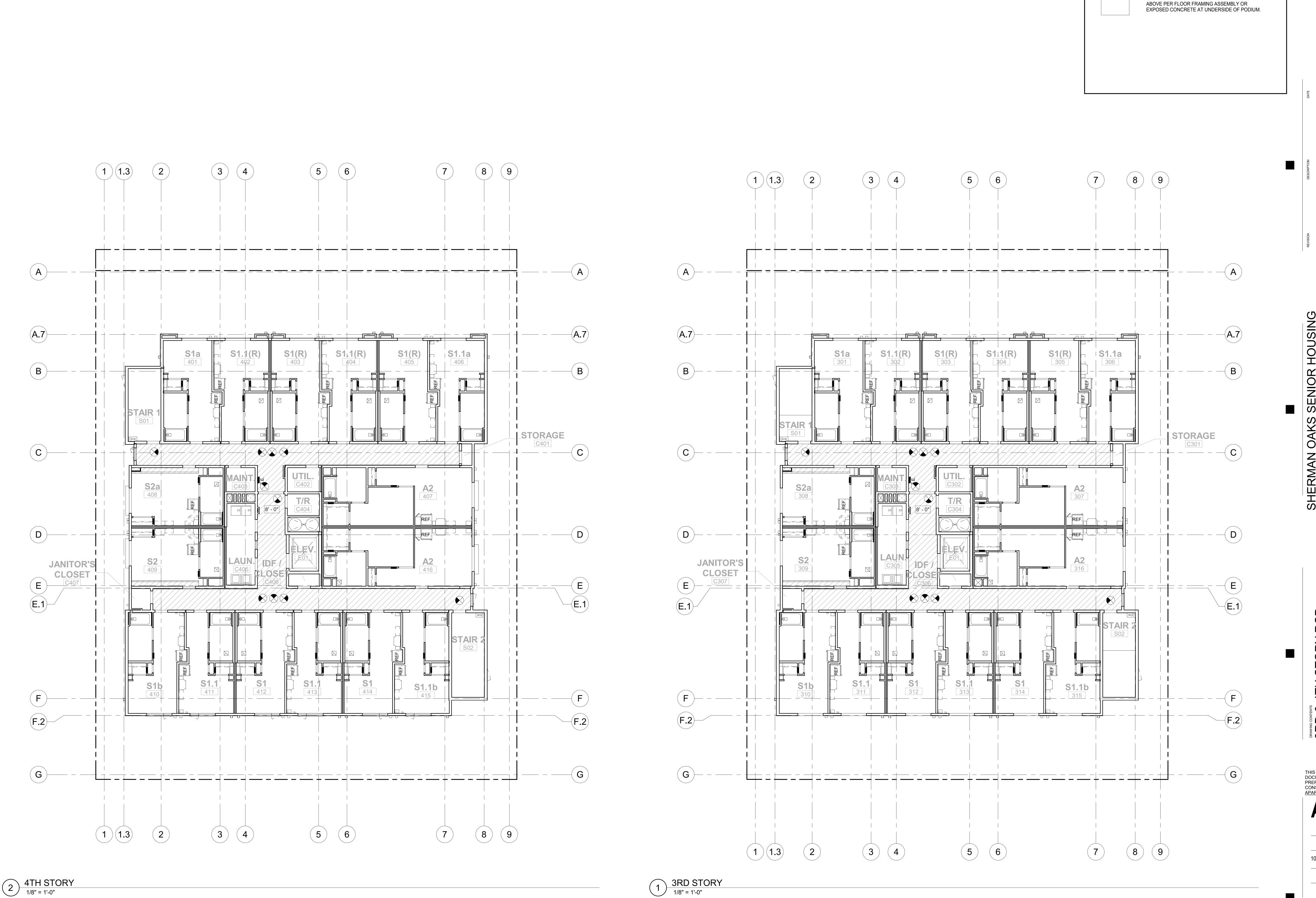
2018-109 JOB NUMBER As indicated

SCALE

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ISSUED AS 09/25/2020



CEILING PLAN LEGEND

FINISH HEIGHT AS REFERENCED ON PLAN ABOVE

FINISHED FLOOR OR STRUCTURAL SLAB, U.N.O.

CEILING APPLIED TO UNDERSIDE OF FRAMING

ALL FIXTURES SPECIFIED BY OWNER.

DROP CEILING:

1. "EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT

2. EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL."

THE BUILDING"

AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF

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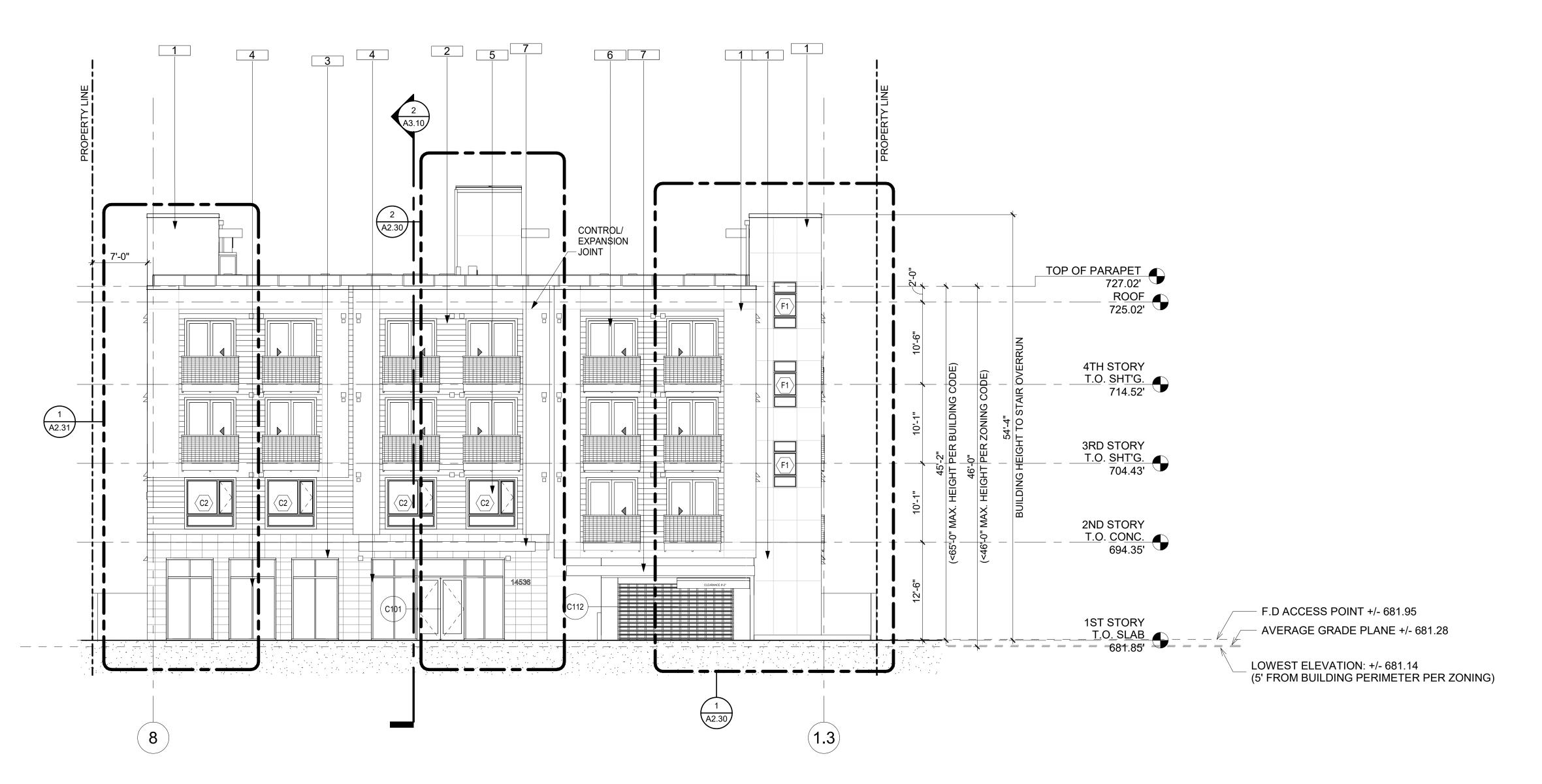
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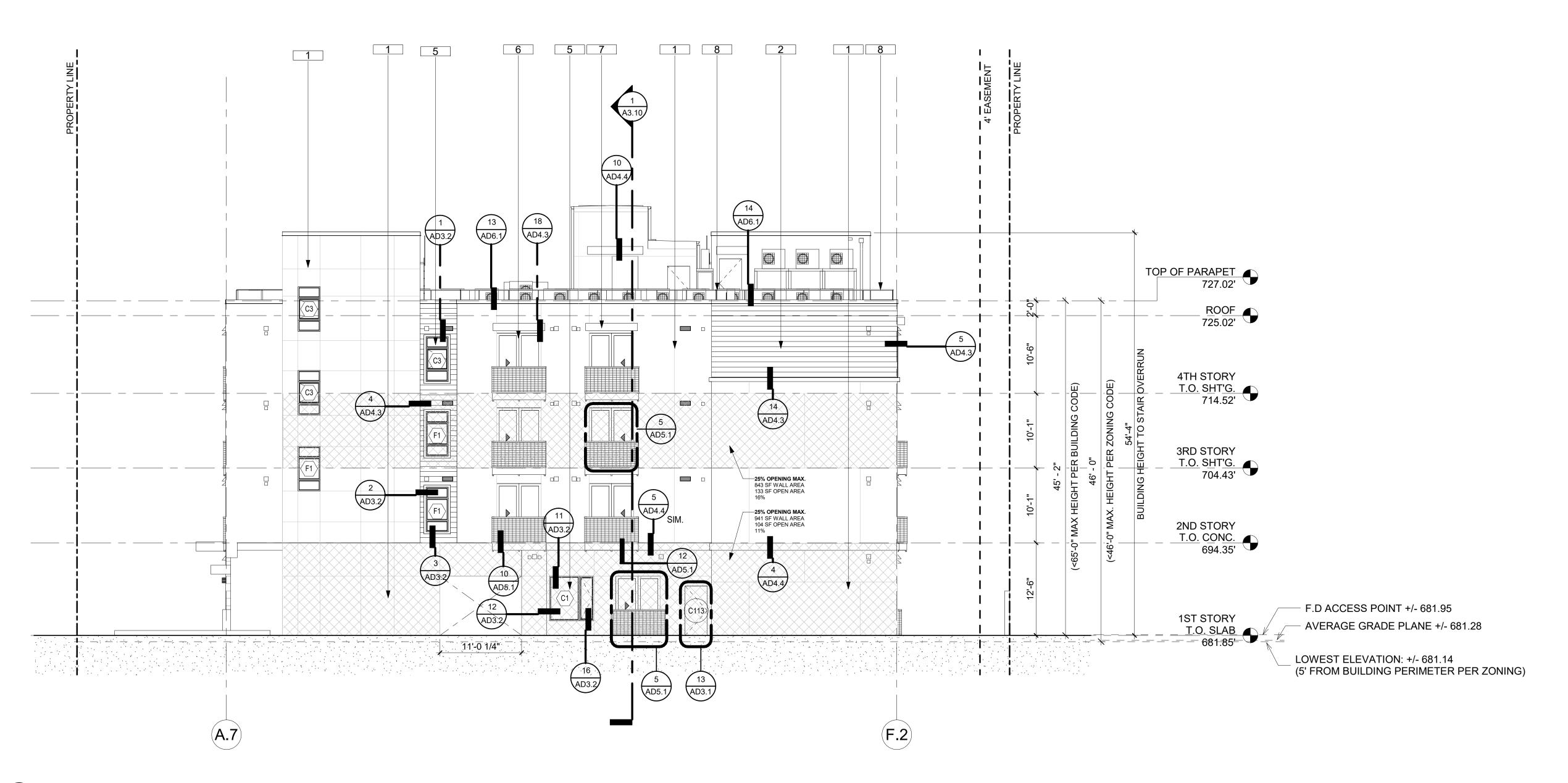
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NORTH ELEVATION

1/8" = 1'-0"



1 WEST ELEVATION 1/8" = 1'-0"

ELEVATION NOTES

- . REFER TO SHEET G.30 & G.31 FOR APPLICABLE GENERAL NOTES.
- 2. REFER TO COVER SHEET FOR SYMBOLS AND ABBREVIATIONS.
- 3. REFER TO SHEET AS.20 FOR GLAZED OPENING STC RATINGS.
- 4. THESE PLANS SHOW UNIQUE INFORMATION AND OVERALL RELATIONSHIPS ONLY. REFER TO ENLARGED ELEVATION AND SECTION SHEETS FOR INFORMATION NOT SHOWN.
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- 7. PER ASTM C 1063, EXTERIOR PLASTER CONTROL JOINTS TO BE INSTALLED IN VERTICAL SURFACES EXCEEDING 144 SQUARE FEET IN AREA AND HORIZONTAL SURFACES EXCEEDING 100 SQUARE FEET IN AREA. DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1.
- 8. ALL WEEP SCREED LINES SHALL BE LEVEL AND STEP WITH ADJACENT GRADE. STEPPING OF WEEP SCREED TO OCCUR AT INSIDE CORNERS. BOTTOM EDGE OF WEEP SCREED SHALL BE INSTALLED NOT LESS THAN 1 INCH BELOW THE JOINT FORMED BY THE FOUNDATION AND FRAMING. NOSE OF SCREED SHALL BE PLACED 4 INCHES MINIMUM ABOVE GRADE OR 2 INCHES MINIMUM ABOVE PAVED SURFACE.
- 9. ALL WINDOW HEAD HEIGHTS TO BE 8'-0" ABOVE FINISH FLOOR, UNLESS NOTED OTHERWISE.
- ALL WINDOWS TO BE RECESSED, EXCEPT AT DECKS, UNLESS NOTED OTHERWISE. REFER TO BUILDING AND UNIT PLANS FOR SPECIFIC INFORMATION.
- 11. FRAMING SUB-CONTRACTOR SHALL REVIEW AND COORDINATE EXTERIOR LIGHTING AND SIGNAGE LOCATIONS AND SHALL PROVIDE SOLID BLOCKING WHERE REQUIRED.
- 12. FAÇADE ACCESS PLAN (OPOS) SHALL BE PROVIDED BY OWNER TO COMPLY WITH OSHA REGULATIONS. THE OWNER SHALL COORDINATE AND NOTIFY THE PROJECT TEAM IF FAÇADE ACCESS REQUIREMENTS NEED TO BE SHOWN IN THESE CONSTRUCTION DOCUMENTS.
- 13. CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.

KEYNOTE

	MATERIAL LEGEND
NO.	MATERIAL
	EXTERIOR CEMENT PLASTER
2	PAINTED CEMENT BOARD SIDING
3	PROCELAIN TILE
4	STOREFRONT SYSTEM
5	VINYL WINDOW
6	VINYL SLIDING GLASS DOOR
7	METAL AWNING
8	42" GUARDRAIL

KEYPLAN

BURBANK BLVD.

1

RMAN OAKS SENIOR HOUSIN 14536 WEST BURBANK BLVD. LOS ANGELES, CA 91411 MERCY HOUSING

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EXTERIOR ELEVATIONS

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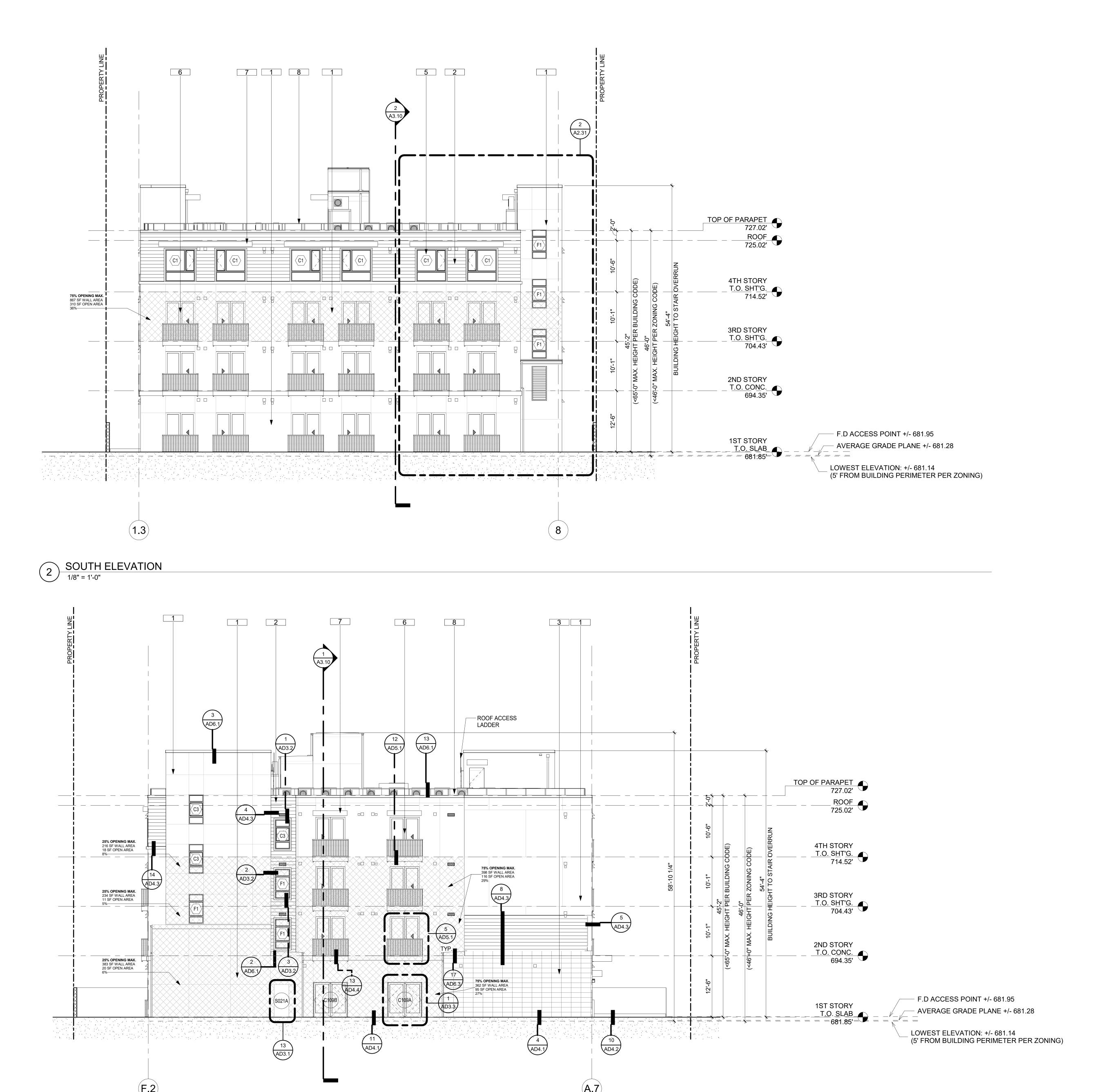
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EAST ELEVATION

ELEVATION NOTES

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KEYNOTE

MATERIAL LEGEND MATERIAL NO. EXTERIOR CEMENT PLASTER PAINTED CEMENT BOARD SIDING PROCELAIN TILE STOREFRONT SYSTEM VINYL WINDOW VINYL SLIDING GLASS DOOR METAL AWNING 42" GUARDRAIL

KEYPLAN

BURBANK BLVD.

SHERMAN OAK

ARCHITECTS

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MOIL

DRAWING CONTENTS

EXTERIOR

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> 09/25/2020 ISSUE DATE

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- 8. ALL WINDOW HEAD HEIGHTS TO BE 8'-0" ABOVE FINISH FLOOR, UNLESS NOTED OTHERWISE.
- 9. ALL WINDOWS TO BE RECESSED, EXCEPT AT DECKS, UNLESS NOTED OTHERWISE. REFER TO BUILDING AND UNIT PLANS FOR SPECIFIC INFORMATION.
- 10. FRAMING SUB-CONTRACTOR SHALL REVIEW AND COORDINATE EXTERIOR LIGHTING AND SIGNAGE LOCATIONS AND SHALL PROVIDE SOLID BLOCKING WHERE REQUIRED.
- 11. CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.

WALL SECTION NOTES

- REFER TO SHEET G.30 FOR APPLICABLE GENERAL NOTES.
- REFER TO SHEET G.11 FOR SYMBOLS AND ABBREVIATIONS.
- THE PURPOSE OF THESE WALL SECTIONS IS TO SHOW VERTICAL DIMENSIONS AND THE RELATIONSHIP OF BUILDING COMPONENTS. REFER TO DETAILS NOTED FOR CONSTRUCTION ASSEMBLIES.
- REFER TO MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
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ARCHITECTS

LOS ANGELES | IRVINE | OAKLAND

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THIS SET OF CONSTRUCTION DOCUMENTS HAS BEEN PREPARED FOR THE CONSTRUCTION OF AN APARTMENT PROJECT.

> 2018-109 JOB NUMBER 1/4" = 1'-0" 100% CD PROGRESS / PRICING SET 09/25/2020

ENLARGED ELEVATION NOTES

- . REFER TO SHEET G.30 FOR APPLICABLE GENERAL NOTES.
- 2. REFER TO COVER SHEET FOR SYMBOLS AND ABBREVIATIONS.
- 3. REFER TO SHEET AS.20 FOR GLAZED OPENING STC RATINGS.
- 4. REFER TO MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 5. ALL CONTROL JOINTS AND FINISH MATERIALS SHALL WRAP AROUND CORNERS AND CONTINUE ONTO ADJACENT WALLS WHETHER SHOWN OR NOT, UNLESS NOTED OTHERWISE. PER ASTM C 1063 INSTALL CONTROL JOINTS WHERE AN EXPANSION JOINT OCCURS IN THE BASE EXTERIOR WALL. INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING CHANGES DIRECTION.
- 6. PER ASTM C 1063, EXTERIOR PLASTER CONTROL JOINTS TO BE INSTALLED IN VERTICAL SURFACES EXCEEDING 144 SQUARE FEET IN AREA AND HORIZONTAL SURFACES EXCEEDING 100 SQUARE FEET IN AREA. DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1.
- ALL WEEP SCREED LINES SHALL BE LEVEL AND STEP WITH ADJACENT GRADE. STEPPING OF WEEP SCREED TO OCCUR AT INSIDE CORNERS. BOTTOM EDGE OF WEEP SCREED SHALL BE INSTALLED NOT LESS THAN 1 INCH BELOW THE JOINT FORMED BY THE FOUNDATION AND FRAMING. NOSE OF SCREED SHALL BE PLACED 4 INCHES MINIMUM ABOVE GRADE OR 2 INCHES MINIMUM ABOVE PAVED SURFACE.
- 8. ALL WINDOW HEAD HEIGHTS TO BE 8'-0" ABOVE FINISH FLOOR, UNLESS NOTED OTHERWISE.
- 9. ALL WINDOWS TO BE RECESSED, EXCEPT AT DECKS, UNLESS NOTED OTHERWISE. REFER TO BUILDING AND UNIT PLANS FOR SPECIFIC INFORMATION.
- 10. FRAMING SUB-CONTRACTOR SHALL REVIEW AND COORDINATE EXTERIOR LIGHTING AND SIGNAGE LOCATIONS AND SHALL PROVIDE SOLID BLOCKING WHERE REQUIRED.
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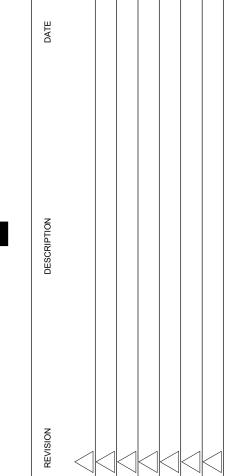
WALL SECTION NOTES

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- REFER TO SHEET G.11 FOR SYMBOLS AND ABBREVIATIONS.
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ARCHITECTS

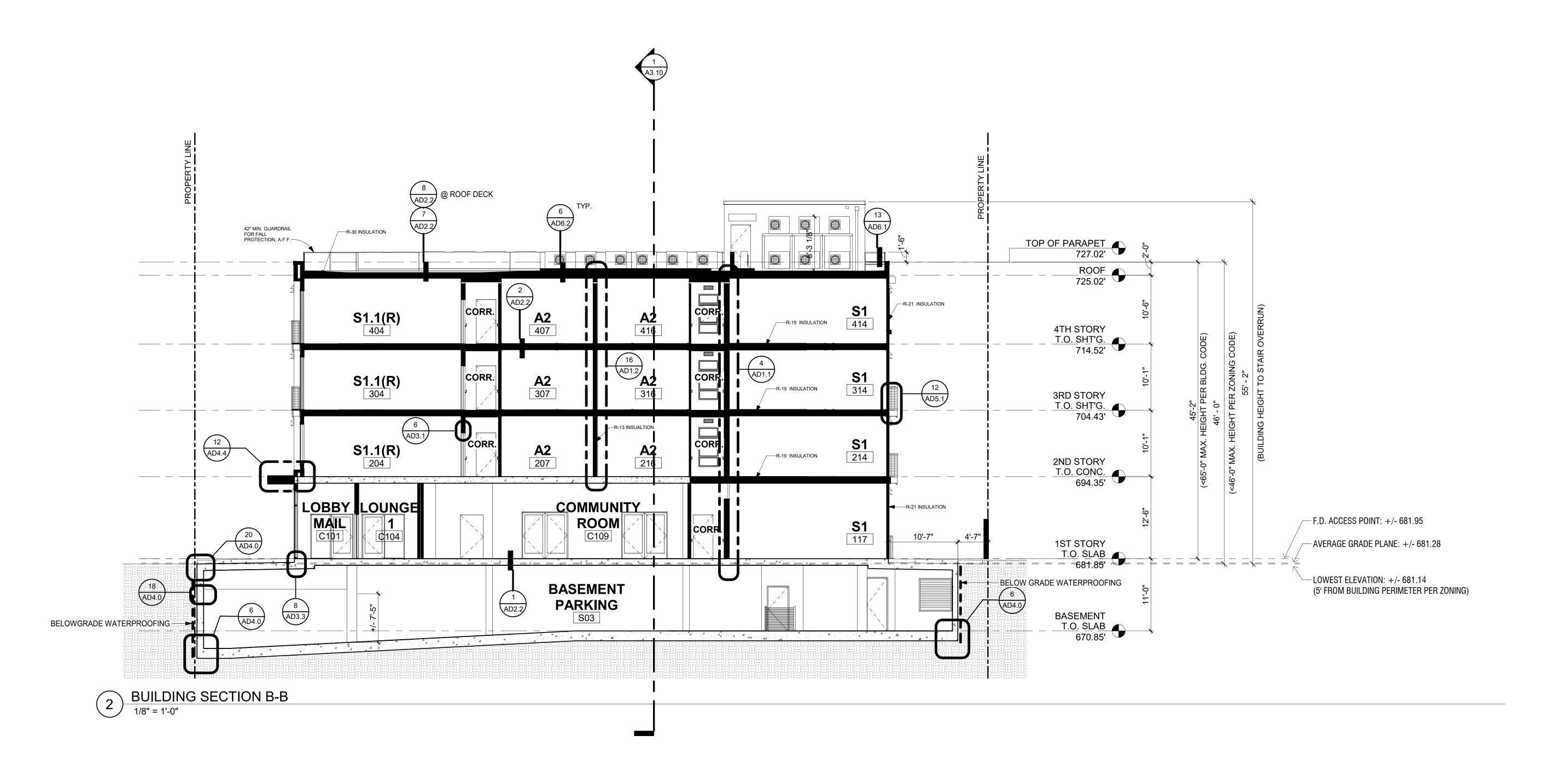
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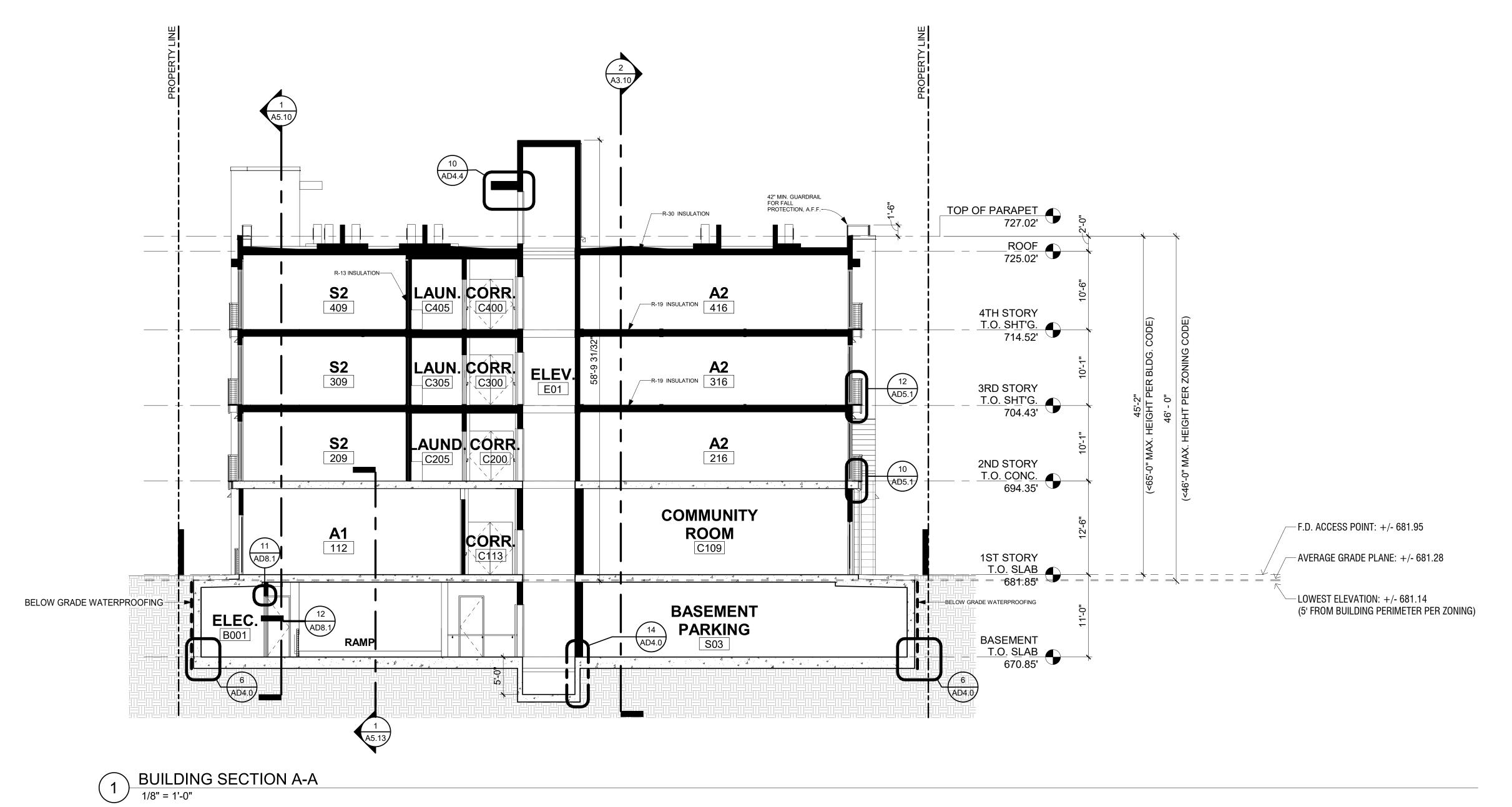
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2018-109 JOB NUMBER 1/4" = 1'-0" 100% CD PROGRESS / PRICING SET 09/25/2020

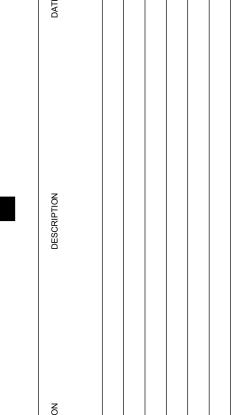




SECTION NOTES

- REFER TO SHEET G.30 & G.31 FOR APPLICABLE GENERAL NOTES.
- 2. REFER TO COVER SHEET FOR SYMBOLS AND ABBREVIATIONS.
- 3. THE PURPOSE OF THESE OVERALL SECTIONS IS TO SHOW VERTICAL DIMENSIONS AND THE RELATIONSHIP OF BUILDING COMPONENTS. REFER TO DETAILS NOTED FOR CONSTRUCTION ASSEMBLIES.
- 1. REFER TO MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.





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14536 WEST BURBANK BLVD.

LOS ANGELES, CA 91411

MERCY HOUSING

OVERALL BUILDING
SECTIONS
NOT FOR CONSTRUCTION

