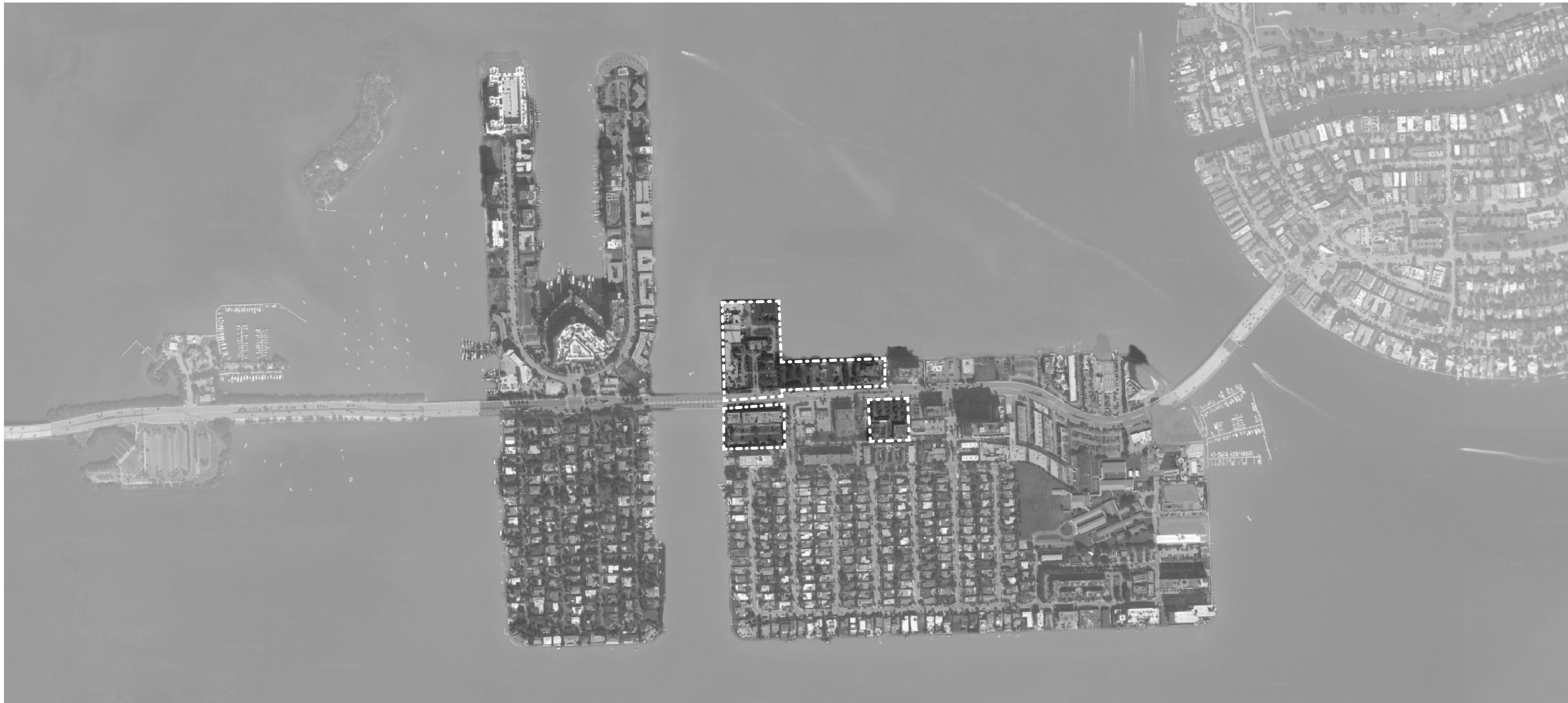


This drawing depicts the design effort of Plusurbia Design for this project and is issued for review solely as an instrument of the services being rendered. It remains the property of this office, and shall not be copied, reproduced or exhibited unless permission in writing is granted.



Site Plan
NOT FOR CONSTRUCTION

status

SUNBEAM
1401 79th Street Causeway
MIAMI, FL 33141

client
project

Site Plan for
Sunbeam NBV SAP

SUNBEAM NBV SAP

SITE PLAN

Mission Statement

"Broadcast Key was created from sand dredged from Biscayne Bay. Ever since, Biscayne Bay has been fighting to reclaim its sand. One of the most important goals of our project is to provide a beneficial impact on the adjacent waters of Biscayne Bay while defending Broadcast Key from the corrosive and erosive action of those same waters."

Team

Owner

Sunbeam
1401 79th Street Causeway
Miami, FL 33141, US
305.795.2650

Land Use

Euclid
46 SW 1st St Ste 300,
Miami, FL 33130, US
305.381.6060

Schubin & Bass

46 SW 1st St Ste 300,
Miami, FL 33130, US
305.381.6060

Urban Planner

Plusurbia Design
1385 Coral Way PH 401,
Miami, FL 33145, US
305.444.4850

Engineer

Kimley Horn
355 Alhambra Cir #1400,
Coral Gables, FL 33134, US
305.673.2025

Revisions

Rev.	Mk'd	Comment
2022.03.24		Site Plan
2022.08.01		Site Plan
2022.09.27		Site Plan

Issue dates

Issue	Date
	September 27, 2022

Project data

number	202201
file	Sunbeam NBV Project SAP-SDCD [24/26]
printed	2022.09.27

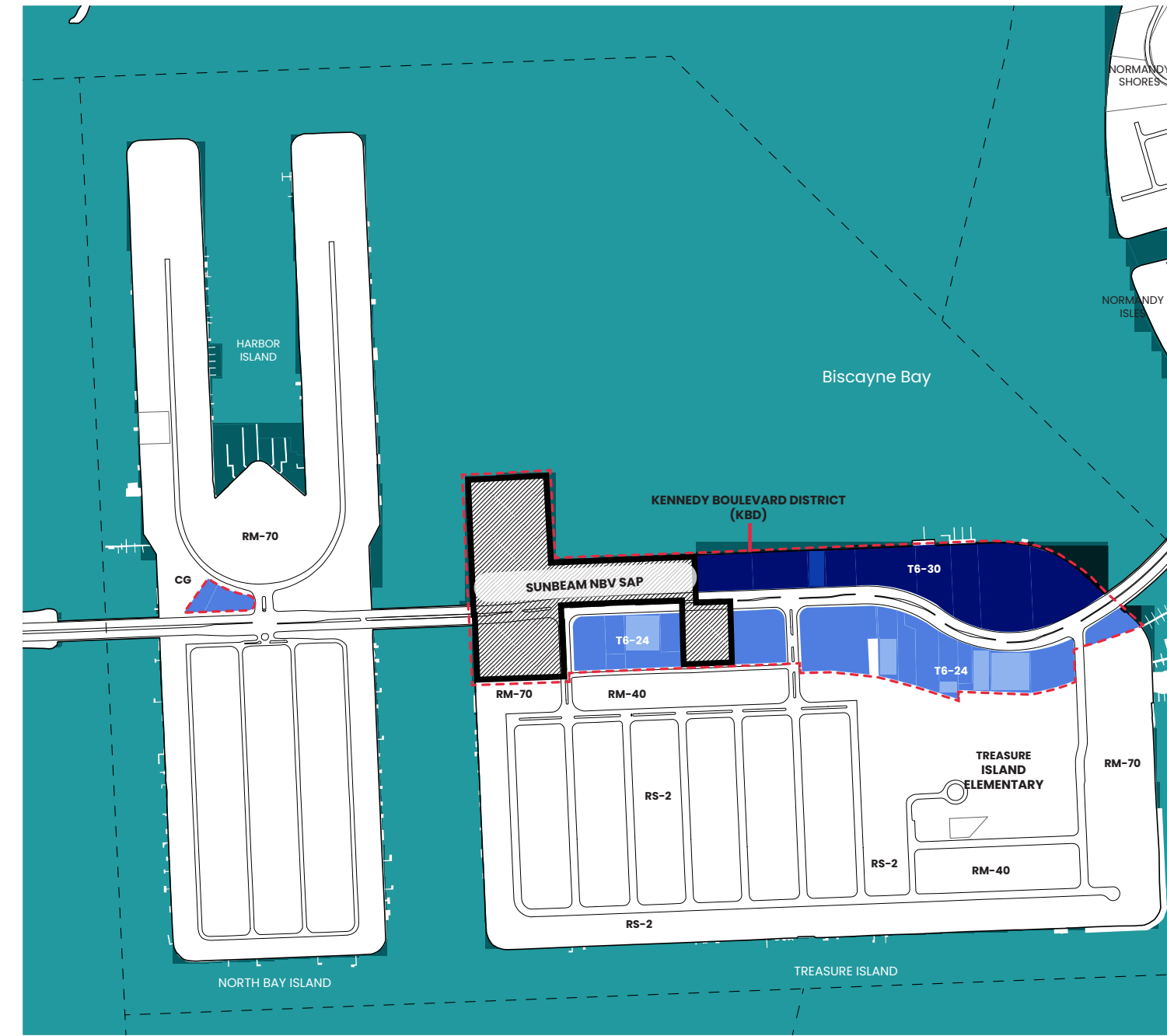
Cover Sheet

G-0.00



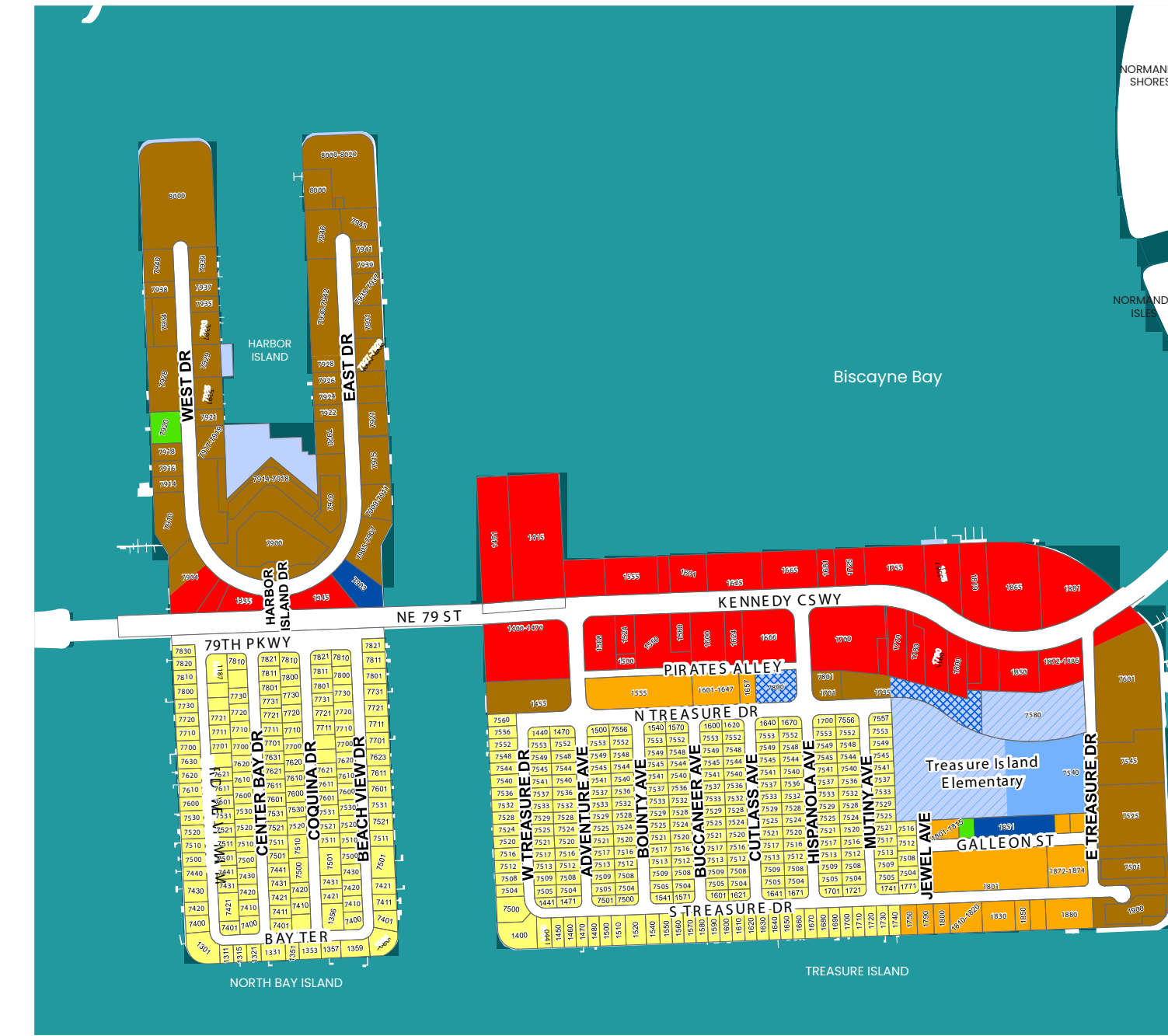
LOCATION MAP

Scale: NTS



FORM-BASED DISTRICTS REGULATING PLAN

Scale: NTS



FUTURE LAND USE MAP

Scale: NTS

Sunbeam NBV SAP

Site Plan General Notes

This Special Area Plan Site Plan ("Sunbeam NBV SAP Site Plan") captions in a condensed, referential manner, as supported by various illustrations, tables and other graphics, the set of regulations pertaining to massing, configuration and disposition of structures, appurtenances and other enhancements envisioned for the redevelopment of the land encompassed by the Sunbeam NBV SAP Form-Based Code attached to the Village Code as Appendix A ("Sunbeam NBV SAP").

Applicability.

Regulations in the Sunbeam NBV SAP shall replace the prior zoning and overlay districts within the boundaries described on the Form-Based Districts Regulating Plan. See Section A.I.D, Sunbeam NBV SAP.

The Sunbeam NBV SAP Form-Based Code shall apply to all new construction and substantial modifications, as defined by the Florida Building Code, within the Sunbeam NBV SAP District.

The Sunbeam NBV SAP shall supersede prior regulations in the North Bay Village Unified Land Development Code (ULDC) for properties within the form-based district except where specified. Where a conflict exists between the Sunbeam

NBV SAP and other portions of the ULDC the Sunbeam NBV SAP shall prevail.

Rules of construction.

In their interpretation and application, the provisions of the Sunbeam NBV SAP, shall be the minimum requirements or maximum limitations, as the case may be, adopted for the promotion of the public health, safety, morals or general welfare.

Special Area Plan.

The purpose of a Special Area Plan is to allow large scale parcels apt for transformative projects intended to yield enhanced quality of life and spur economic development, to be master planned so as to allow greater integration of public improvements and infrastructure, to enable connectivity; to encourage a variety of building heights, massing, and to provide high quality design elements and greater flexibility so as to result in higher or specialized quality building and streetscape design within the Special Area Plan, to further the intent of this Code expressed in Section 15.1 and A.I.B.

General.

All regulations of the underlying transect zone and this Code that are not otherwise addressed by the Sunbeam NBV SAP shall apply.

The Sunbeam NBV SAP provides detailed and specific regulatory guidelines offering flexibility and predictability for the development of the covered property; addressing among others the assignment of thoroughfares (as appropriate), cross block pedestrian passages, and civic spaces, with appropriate transitions to abutting areas. Guidelines for thoroughfares and public frontages may be adjusted to the particular circumstances of the Sunbeam NBV SAP.

Flexible allocation of development capacity, height, and density on individual sites within the Sunbeam NBV SAP are allowed so long as the capacity or height distribution does not result in development that is out of scale or character with the surrounding area and provides for appropriate transitions.

Unless a phase, building, or structure is specifically approved as part of the Sunbeam NBV SAP, any building shall be reviewed by the Planning and Zoning Official for conformance with the Sunbeam NBV SAP and the Code and referred to the Village Manager for final administrative approval per the requirements of A.I.H. and Section 5.9, prior to issuance of the building permit.

Specific to Sunbeam NBV.

Purpose and intent. The Sunbeam NBV SAP sets forth the standards aligned with the established Urban Core Transect Zones (T6). These standards are intended to:

- Support the goals of the NBV 100 Master Plan;
- Transform Kennedy Causeway into a walkable, mixed-use boulevard that supports vibrant retail and a wide range of transportation modes;
- Lay the groundwork for the long-term incremental development of a great urban center and Main Street that supports diverse locally oriented businesses and cultural institutions;
- Provide improved standards for a wider, more active, and more accessible Island Walk; and
- Redevelop underused and vacant lots in a manner that improves the public realm, increases access to the water and contributes to a robust economic base.

Drawing Index

ID	Layout Name
General	
G-0.00	Cover Sheet
G-0.00	General Notes + Index
Architecture Site	
AS-1.01	Key Plan + Tax Folios
AS-1.02	Survey Exhibits
AS-1.03	Survey Exhibits
AS-1.04	Survey Exhibits
AS-1.05	Survey Exhibits
AS-1.06	Survey Exhibits
AS-1.07	Site Plan Setbacks + Tabulations
AS-1.08	Site Plan View Corridors + Cross-block Passages
AS-1.09	Site Plan + Island Walk
AS-1.10	Site Plan Allowable Height

Site Plan
NOT FOR CONSTRUCTION

status

client
SUNBEAM
1401 79th Street Causeway
MIAMI, FL 33141

project

**Site Plan for
Sunbeam NBV SAP**

Revisions

Rev.	Mk'd	Comment
2022.03.24		Site Plan
2022.08.01		Site Plan
2022.09.27		Site Plan

Issue dates

Issue	Date
	September 27, 2022

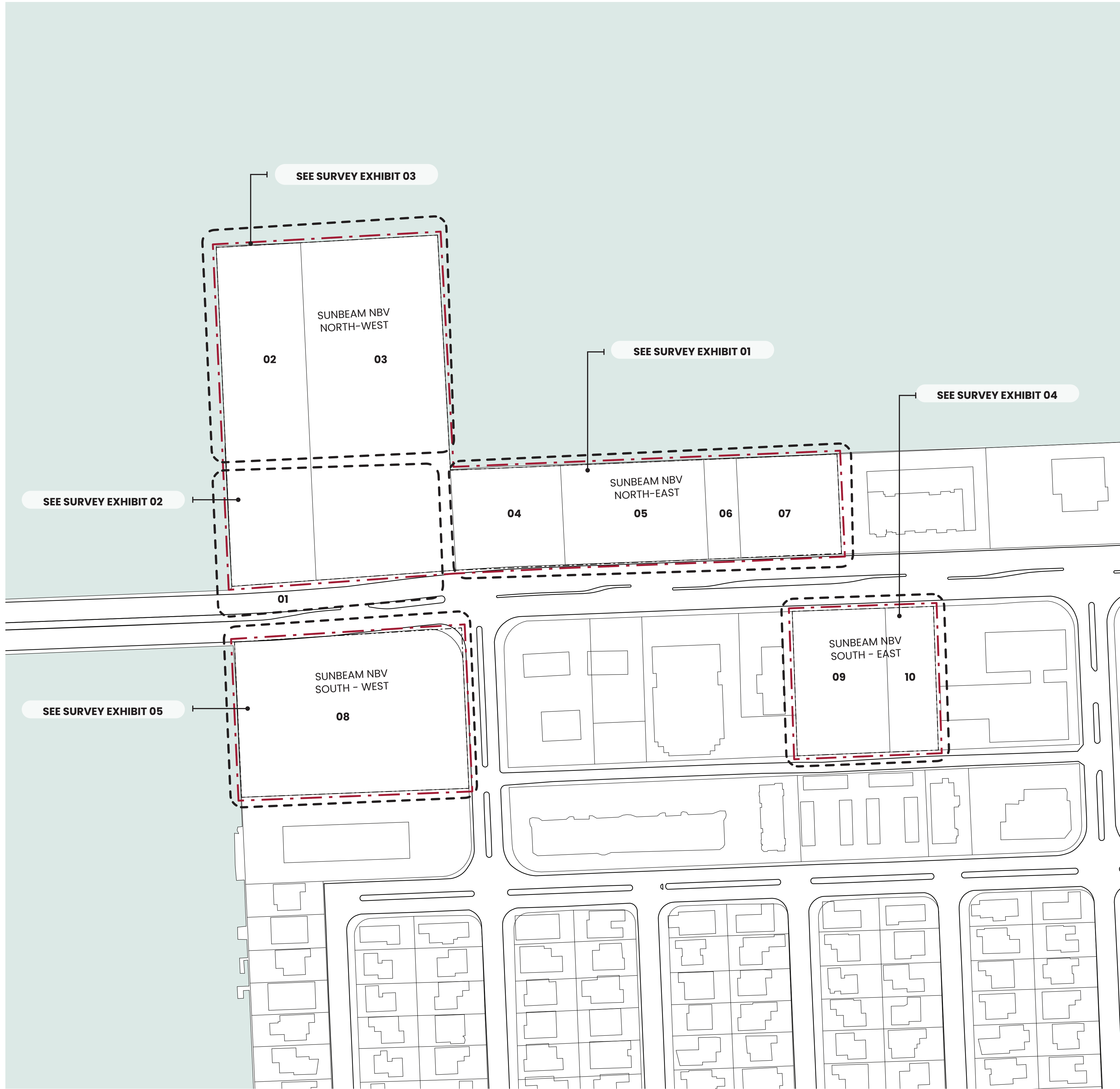
Project data

number	202201
file	Sunbeam NBV Project SAP-SDCD [24.026]
printed	2022.09.27

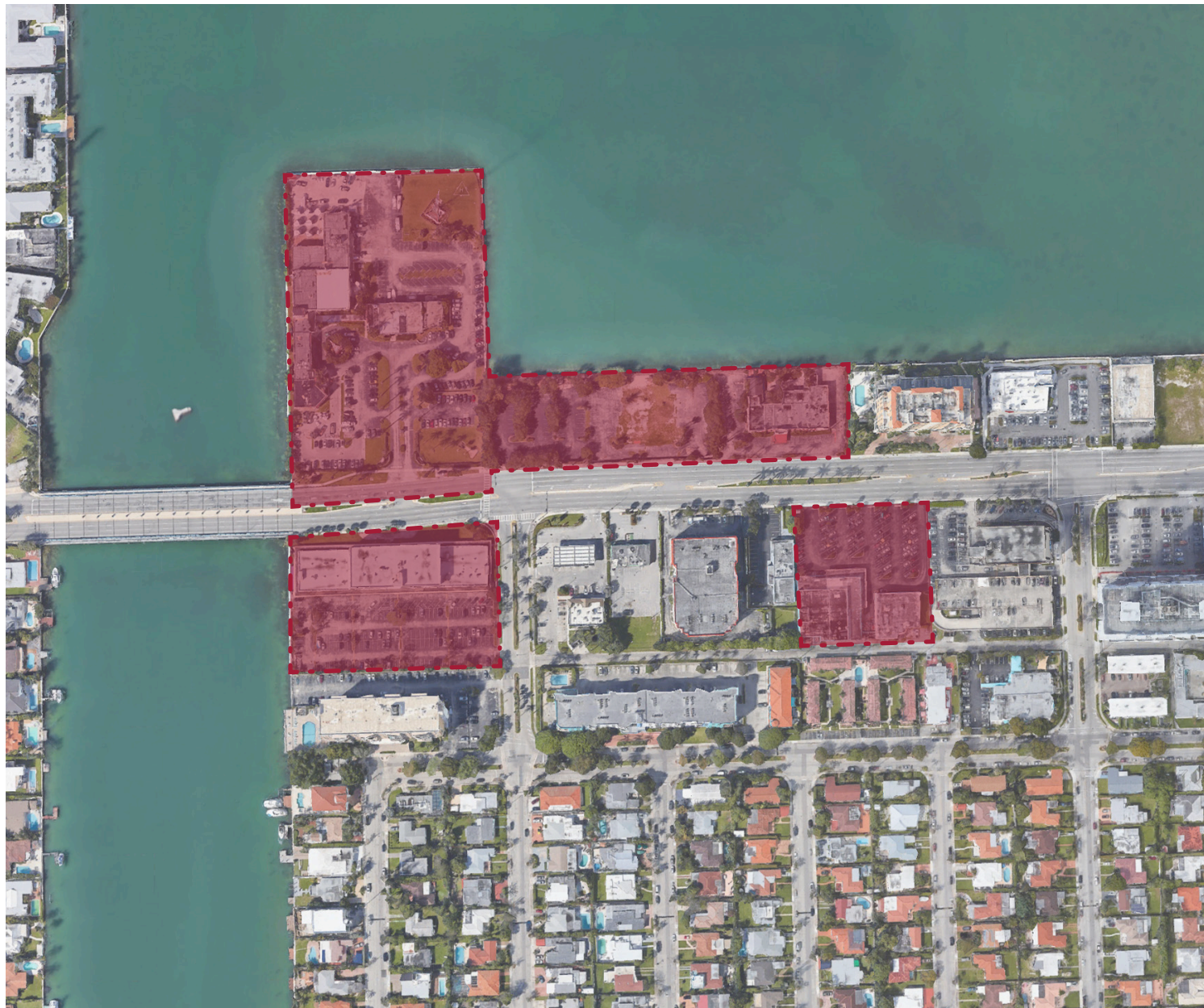
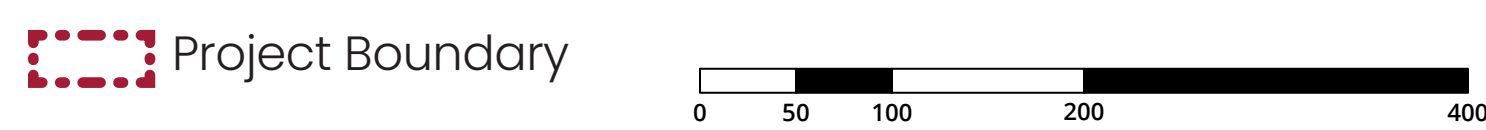
General Notes + Drawing Index

G-0.01

This drawing depicts the design effort of Plusurbia Design for this project and is issued for review solely as an instrument of the services being rendered. It remains the property of this office, and shall not be copied, reproduced or exhibited unless permission in writing is granted.



SUNBEAM NBV SAP - KEY PLAN
Scale: 1:100



LOCATION MAP
Scale: NTS

Tax Folios Table

Folio	Lot Area SF	Lot Area AC
01 23-3209-000-0010	1,000	0.023
02 23-3209-000-0200	94,379	2.167
03 23-3209-000-0201	145,490	3.340
04 23-3209-000-0020	36,000	0.826
05 23-3209-000-0030	47,700	1.095
06 23-3209-000-0031	10,800	0.248
07 23-3209-000-0040	36,000	0.826
Sub-Total North Side		371,369 8.525
08 23-3209-000-0161	118,417	2.718
Sub-Total South Side - West		118,417 2.718
09 23-3209-010-0240	48,125	1.105
10 23-3209-010-0270	24,543	0.563
Sub-Total South Side - East		72,668 1.668
GRAND TOTAL		562,454 12.912

*For the purposes of this study lot areas from the Miami Dade Property Appraiser are used.

Folio #23-3209-000-010 (part of Kennedy Blvd) included to calculate maximum FAR and density but not for development purposes.

Site Plan
NOT FOR CONSTRUCTION

status

SUNBEAM
1401 75th Street Causeway
MIAMI, FL 33141

client

project

Site Plan for
Sunbeam NBV SAP

Revisions

Rev.	Mk'd	Comment
2022.03.24		Site Plan
2022.08.01		Site Plan
2022.09.27		Site Plan

Issue dates

Issue	Date
	September 27, 2022

Project data

number	202201
file	Sunbeam NBV Project SAP-SDCD [24/26]
printed	2022.09.27

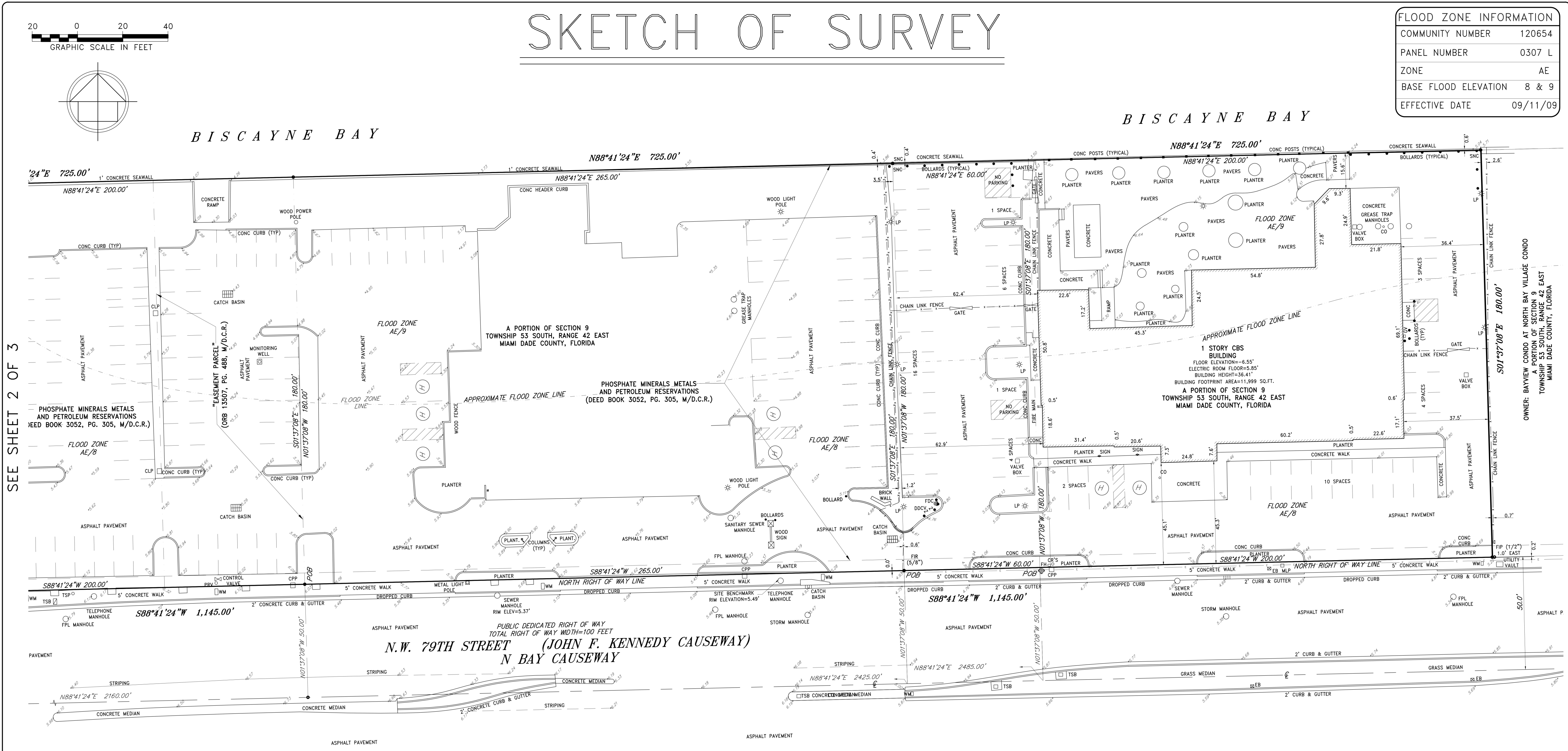
Key Plan + Tax Folios

AS-1.01

This drawing depicts the design effort of Plusurbia Design for this project and is issued for review only as an instrument of the services being rendered. It remains the property of this office, and shall not be copied, reproduced or exhibited unless permission in writing is granted.

SKETCH OF SURVEY

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120654
PANEL NUMBER	0307 L
ZONE	AE
BASE FLOOD ELEVATION	8 & 9
EFFECTIVE DATE	09/11/09



SEE SHEET 2 OF 3

- NOTES :
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
 - THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
 - THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
 - UNDERGROUND IMPROVEMENTS NOT SHOWN.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).
 - BENCHMARK REFERENCE: MIAMI/DADE COUNTY BENCHMARK P-313, ELEVATION=5.25' (NGVD29)
 - BEARINGS SHOWN HEREON ARE BASED ON THE DEED.

- LEGEND:
- | | | | |
|----------|---------------------------|--------|--------------------------|
| CKD | CHECKED BY | A/C | AIR CONDITIONER |
| CONC | CONCRETE | ICV | IRRIGATION CONTROL VALVE |
| DWN | DRAWN BY | CLP | CONCRETE LIGHT POLE |
| FB/PG | FIELD BOOK AND PAGE | WV | WATER VALVE |
| SIR | SET IRON ROD & CAP #6448 | CR | CABLE RISER |
| SNC | SET NAIL AND CAP #6448 | BRP | BACK FLOW PREVENTER |
| FIR | FOUND IRON ROD | WM | WATER METER |
| FIP | FOUND IRON PIPE | *3.85 | ELEVATIONS |
| FNC | FOUND NAIL AND CAP | TSP | TRAFFIC SIGNAL BOX |
| FND | FOUND NAIL & DISC | TSP | TRAFFIC SIGNAL POLE |
| P.B. | PLAT BOOK | POC | POINT OF COMMENCEMENT |
| M/D.C.R. | MIAMI/DADE COUNTY RECORDS | POB | POINT OF BEGINNING |
| -X- | CHAIN LINK/ WOOD FENCE | CO | CLEAN OUT |
| ELEV | ELEVATION | PLANT. | PLANTER |
| EB | ELECTRIC BOX | | |
| CBS | CONCRETE BLOCK STRUCTURE | | |
| -E- | OVERHEAD UTILITY WIRES | | |

I HEREBY CERTIFY THAT THE "SKETCH OF SURVEY" OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN JANUARY, 2021. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

Digitally signed by Richard E Cousins
Date: 2021.12.15 08:39:18 -05'00'

FOR THE FIRM, BY: _____
RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4188
SURVEY DATE : 01/11/21

COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :
KATZ BARRON
ATTORNEYS AT LAW

1401, 1415, 1555 & 1601
N BAY CAUSEWAY
NORTH BAY VILLAGE, FL 33131

SKETCH OF SURVEY

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	12/15/21	DATA/COUL	AM	REC

PROJECT NO: 9525-21
SCALE : 1" = 20'

SHEET
1 OF 3
SHEETS

Site Plan
NOT FOR CONSTRUCTION

STATUS

SUNBEAM
1401 79th Street Causeway
MIAMI, FL 33141

client

project

Site Plan for
Sunbeam NBV SAP

Revisions

Rev.	Mk'd	Comment
2022.03.24		Site Plan
2022.08.01		Site Plan
2022.09.27		Site Plan

Issue dates

Issue	Date
	September 27, 2022

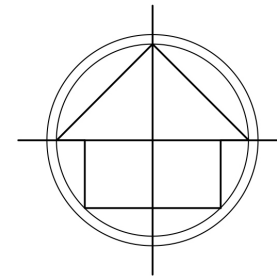
Project data

number	202201
file	Sunbeam NBV Project SAP-SDCD [24x26]
printed	2022.09.27

Survey Exhibits

AS-1.02

SKETCH OF SURVEY



LEGAL DESCRIPTION:

FOLIO # 23-3209-000-0040

COMMENCING AT THE ONE-HALF MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, AS SHOWN ON THE MAP OF HIGHWAY RIGHT-OF-WAY OF PROPOSED NORTHEAST SEVENTY-NINTH STREET CAUSEWAY WHICH SAME IS RECORDED IN PLAT BOOK 25 AT PAGE 70, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, RUN NORTH 88°41'24" EAST 2485 FEET; THENCE NORTH 1°37'00" WEST 50.00 FEET TO THE POINT OF BEGINNING OF THE HERINAFTER DESCRIBED PARCEL; THENCE FROM THE ABOVE ESTABLISHED POINT OF BEGINNING, CONTINUE NORTH 1°37'08" WEST FOR A DISTANCE OF 180.00 FEET TO A POINT; THENCE RUN NORTH 88°41'24" EAST FOR A DISTANCE OF 200 FEET TO A POINT; THENCE RUN SOUTH 1°37'08" EAST FOR A DISTANCE OF 180.00 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF NORTHEAST 79TH STREET CAUSEWAY; THENCE RUN SOUTH 88°41'24" WEST ALONG SAID LINE FOR A DISTANCE 200 FEET TO THE POINT OF BEGINNING.

AND FOLIO # 23-3209-000-0031

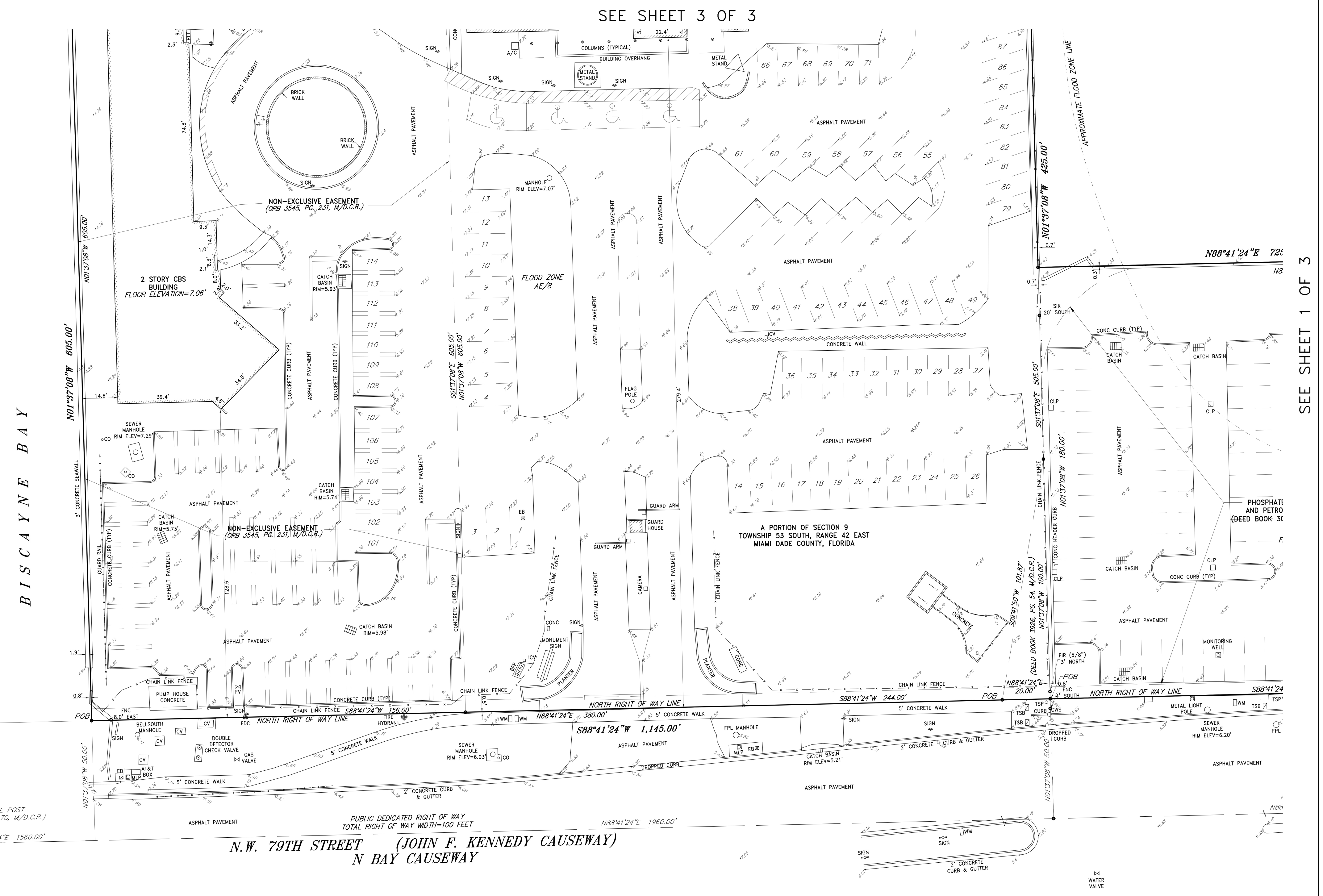
COMMENCING AT THE ONE-HALF MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, AS SHOWN ON THE MAP OF HIGHWAY RIGHT-OF-WAY OF PROPOSED NORTHEAST SEVENTY-NINTH STREET CAUSEWAY WHICH SAME IS RECORDED IN PLAT BOOK 25 AT PAGE 70, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, RUN NORTH 88°41'24" EAST 2425 FEET; THENCE NORTH 1°37'00" WEST 50.00 FEET TO THE POINT OF BEGINNING OF THE HERINAFTER DESCRIBED PARCEL; THENCE FROM THE ABOVE ESTABLISHED POINT OF BEGINNING CONTINUE NORTH 1°37'08" WEST FOR A DISTANCE OF 180.00 FEET TO A POINT; THENCE RUN NORTH 88°41'24" EAST FOR A DISTANCE OF 60 FEET TO A POINT; THENCE RUN SOUTH 1°37'08" EAST FOR A DISTANCE OF 180.00 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF N.E. 79TH STREET CAUSEWAY; THENCE RUN SOUTH 88°41'24" WEST ALONG SAID LINE FOR A DISTANCE OF 60 FEET TO THE POINT OF BEGINNING.

AND FOLIO # 23-3209-000-0030

COMMENCING AT THE ONE-HALF MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, AS SHOWN ON THE MAP OF HIGHWAY RIGHT-OF-WAY OF PROPOSED NORTHEAST SEVENTY-NINTH STREET CAUSEWAY, WHICH SAME IS RECORDED IN PLAT BOOK 25, AT PAGE 70 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; RUN NORTH 88°41'24" EAST FOR 1960 FEET; THENCE NORTH 01°37'08" WEST FOR 50.00 FEET TO THE POINT OF BEGINNING OF THE HERINAFTER DESCRIBED PARCEL; THENCE FROM THE ABOVE ESTABLISHED POINT OF BEGINNING CONTINUE NORTH 01°37'08" WEST FOR A DISTANCE OF 180 FEET TO A POINT; THENCE RUN NORTH 88°41'24" EAST FOR A DISTANCE OF 200 FEET TO A POINT; THENCE RUN SOUTH 01°37'08" EAST FOR A DISTANCE OF 180 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF N.E. 79TH STREET CAUSEWAY; THENCE RUN SOUTH 88°41'24" WEST ALONG SAID LINE FOR A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING. LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA.

AND FOLIO # 23-3209-000-0020

COMMENCING AT THE ONE-HALF MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, AS SHOWN ON THE MAP OF HIGHWAY RIGHT-OF-WAY OF PROPOSED NORTHEAST SEVENTY-NINTH STREET CAUSEWAY, WHICH SAME IS RECORDED IN PLAT BOOK 25, AT PAGE 70 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; RUN NORTH 88°41'24" EAST, FOR 2160 FEET; THENCE NORTH 01°37'08" WEST FOR 50.00 FEET TO THE POINT OF BEGINNING OF THE HERINAFTER DESCRIBED PARCEL; THENCE FROM THE ABOVE ESTABLISHED POINT OF BEGINNING CONTINUE NORTH 01°37'08" WEST FOR A DISTANCE OF 180 FEET TO A POINT; THENCE RUN NORTH 88°41'24" EAST FOR A DISTANCE OF 265 FEET TO A POINT; THENCE RUN SOUTH 01°37'08" EAST FOR A DISTANCE OF 180 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF N.E. 79TH STREET CAUSEWAY; THENCE RUN SOUTH 88°41'24" WEST ALONG SAID LINE FOR A DISTANCE OF 265 FEET TO THE POINT OF BEGINNING. LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA.



SEE SHEET 3 OF 3

SEE SHEET 1 OF 3

COUSINS SURVEYORS & ASSOCIATES, INC.
 3921 SW 47TH AVENUE, SUITE 1011
 DAVIE, FLORIDA 33314
 CERTIFICATE OF AUTHORIZATION : LB # 6448
 PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :
KATZ BARRON
 ATTORNEYS AT LAW

1401, 1415, 1555 & 1601
 N BAY CAUSEWAY
 NORTH BAY VILLAGE, FL 33131

SKETCH OF SURVEY

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	12/16/21	DATA/COLL	AM	REC

PROJECT NO: 9525-21
 SCALE : 1" = 20'

SHEET
 2 OF 3
 SHEETS

Site Plan
 NOT FOR CONSTRUCTION

status

SUNBEAM
 1401 79th Street Causeway
 MIAMI, FL 33141

client

project

Site Plan for
Sunbeam NBV SAP

Revisions

Rev.	Mk'd	Comment
2022.03.24		Site Plan
2022.08.01		Site Plan
2022.09.27		Site Plan

Issue dates

Issue	Date
	September 27, 2022

Project data

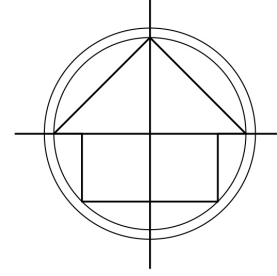
number	202201
file	Sunbeam NBV Project SAP-SDCD [24/26]
printed	2022.09.27

Survey Exhibits

AS-1.03

This drawing depicts the design effort of Plusurbia Design for this project and is issued for review only as an instrument of the services being rendered. It remains the property of this office, and shall not be copied, reproduced or exhibited unless permission in writing is granted.

This drawing depicts the design effort of Plusurbia Design for this project and is issued for review only as an instrument of the services being rendered. It remains the property of this office, and shall not be copied, reproduced or exhibited unless permission in writing is granted.



SKETCH OF SURVEY

BISCAYNE BAY

LAND DESCRIPTION:

FOLIO # 23-3209-000-0201

COMMENCE AT THE ONE-HALF MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, MIAMI-DADE COUNTY, FLORIDA; THENCE RUN NORTH 88 DEGREES 41'24" EAST ALONG THE CENTERLINE OF THE HIGHWAY RIGHT OF WAY OF THE NORTHEAST SEVENTY-NINTH STREET CAUSEWAY ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 70, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, FOR A DISTANCE OF 1560 FEET TO A POINT; THENCE RUN NORTH 1 DEGREE 37'08" WEST FOR A DISTANCE OF 50 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF THE SAID NORTHEAST SEVENTY-NINTH STREET CAUSEWAY; THENCE CONTINUE NORTH 1 DEGREE 37'08" WEST FOR A DISTANCE OF 605 FEET TO A POINT; THENCE RUN NORTH 88 DEGREES 41'24" EAST FOR A DISTANCE OF 156 FEET TO A POINT (WHICH IS THE POINT OF BEGINNING OF A PARCEL OF LAND HEREIN DESCRIBED); THENCE CONTINUE NORTH 88 DEGREES 41'24" EAST FOR A DISTANCE OF 244 FEET TO A POINT; THENCE RUN SOUTH 1 DEGREE 37'08" EAST FOR A DISTANCE OF 505 FEET TO A POINT; THENCE RUN SOUTH 9 DEGREES 41'50" WEST FOR A DISTANCE OF 101.87 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE ON THE SAID NORTHEAST SEVENTY-NINTH STREET CAUSEWAY, THENCE RUN SOUTH 88 DEGREES 41'24" WEST ALONG THE NORTH RIGHT OF WAY LINE OF SAID NORTHEAST SEVENTY-NINTH STREET CAUSEWAY FOR A DISTANCE OF 224 FEET TO A POINT; THENCE RUN NORTH 1 DEGREE 37'08" WEST FOR A DISTANCE OF 605 FEET TO THE POINT OF BEGINNING.

AND

FOLIO # 23-3209-000-0201

COMMENCE AT THE INTERSECTION OF THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, MIAMI-DADE COUNTY, FLORIDA; WITH THE CENTER LINE OF THE NORTHEAST 79TH STREET CAUSEWAY AS SHOWN ON PLAT RECORDED IN PLAT BOOK 25, PAGE 70, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE NORTH 88 DEGREES 41'24" EAST, ALONG THE CENTER LINE OF THE AFORESAID NORTHEAST 79TH STREET CAUSEWAY FOR A DISTANCE OF 1,560.0 FEET TO A POINT; THENCE NORTH 1 DEGREE 37'8" WEST FOR A DISTANCE OF 50.00 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF THE SAID NORTHEAST 79TH STREET CAUSEWAY; THENCE RUN NORTH 88 DEGREES 41'24" EAST, ALONG THE NORTH RIGHT OF WAY LINE OF THE NORTHEAST 79TH STREET CAUSEWAY FOR A DISTANCE OF 380.00 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE CONTINUE NORTH 88 DEGREES 41'24" EAST ALONG THE NORTH RIGHT OF WAY LINE OF THE SAID NORTHEAST 79TH STREET CAUSEWAY FOR A DISTANCE OF 20.00 FEET TO A POINT; THENCE NORTH 1 DEGREE 37'8" WEST FOR A DISTANCE OF 100.00 FEET TO A POINT; THENCE SOUTH 9 DEGREES 41'50" WEST FOR A DISTANCE OF 101.87 FEET TO THE POINT OF BEGINNING; THE SAID PARCEL BEING A TRIANGULAR TRACT OF LAND SHOWN ON THE SKETCH MARKED "SKETCH TO ACCOMPANY LEGAL DESCRIPTION TO PARCELS OF LAND IN SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, MIAMI-DADE COUNTY, FLORIDA" PREPARED BY M.B. GARRIS, CIVIL AND CONSULTING ENGINEER, MARCH 16, 1953, BEARING NOTATION: "NOTE: THIS SKETCH REVISED 10, FEB. 1954 CORRECTING THE RANGE DESIGNATION FROM RANGE 41 TO RANGE 42" WHICH SKETCH APPEARS IN DEED BOOK 3926 AT PAGE 54.

TOGETHER WITH:

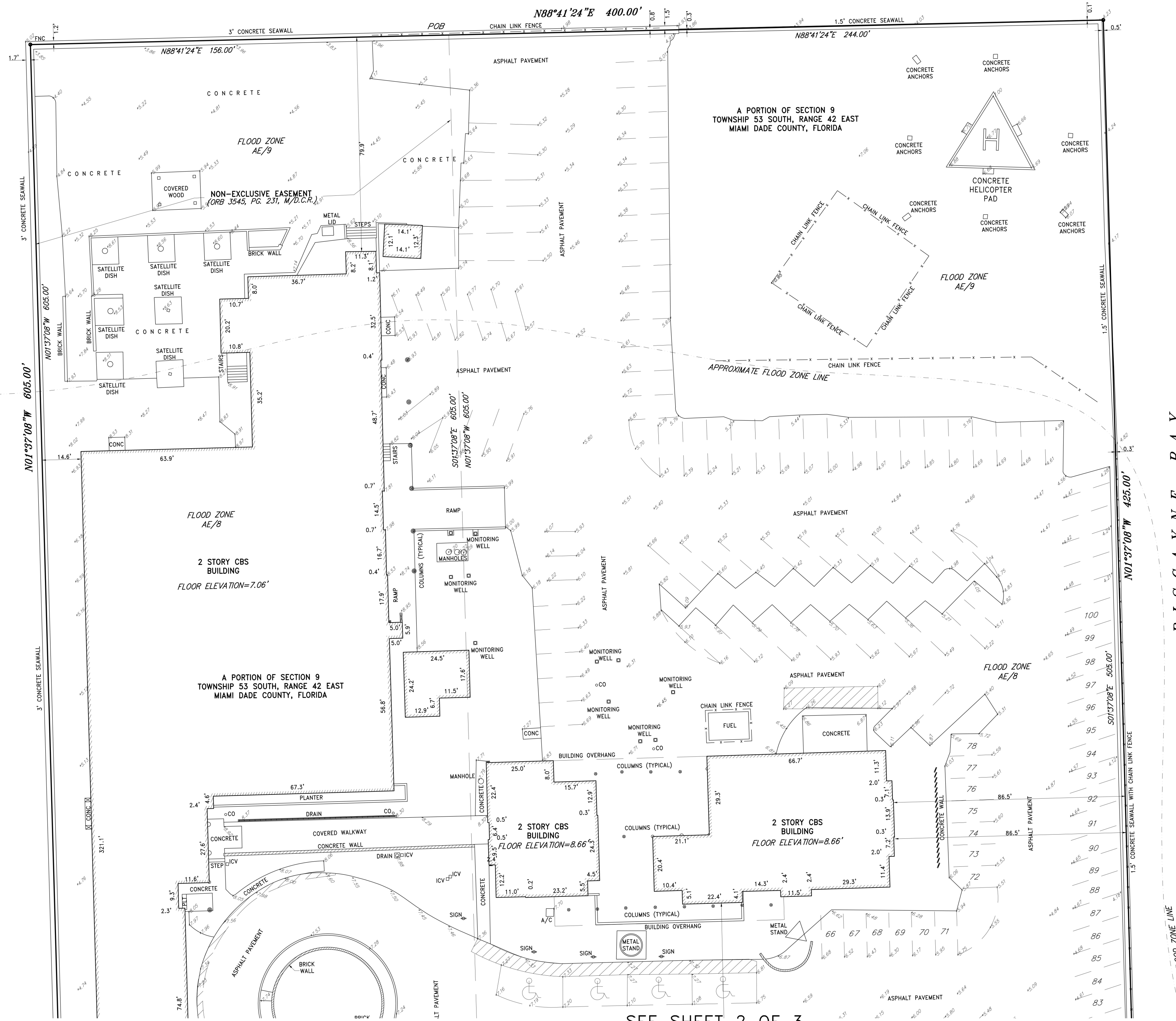
THE NON-EXCLUSIVE EASEMENTS AND OTHER RIGHTS DESCRIBED IN THAT CERTAIN AGREEMENT MADE BETWEEN BISCAYNE TELEVISION CORPORATION, A FLORIDA CORPORATION AND SUNBEAM TELEVISION CORPORATION, A FLORIDA CORPORATION, DATED THE 18TH DAY OF DECEMBER, 1962 AND RECORDED DECEMBER 19, 1962, IN OFFICIAL RECORDS BOOK 3454, PAGE 213, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, ON, OVER AND UNDER THE FOLLOWING DESCRIBED PROPERTY:

COMMENCE AT THE ONE-HALF MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, MIAMI-DADE COUNTY, FLORIDA; THENCE RUN NORTH 88°41'24" EAST, ALONG THE CENTERLINE OF THE HIGHWAY RIGHT OF WAY OF THE NORTHEAST SEVENTY-NINTH STREET CAUSEWAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 70, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, FOR A CONTINUED DISTANCE OF 1560 FEET TO A POINT; THENCE RUN NORTH 1°37'08" WEST FOR A DISTANCE OF 50 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF THE SAID NORTHEAST SEVENTY-NINTH STREET CAUSEWAY AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE CONTINUE NORTH 1°37'08" WEST FOR A DISTANCE OF 605 FEET TO A POINT; THENCE RUN NORTH 88° 41'24" EAST FOR A DISTANCE OF 156 FEET TO A POINT; THENCE RUN SOUTH 1°37'08" EAST FOR A DISTANCE OF 605 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF THE SAID NORTHEAST SEVENTY-NINTH STREET CAUSEWAY, THENCE RUN SOUTH 88°41'24" WEST ALONG THE NORTH RIGHT OF WAY LINE OF SAID NORTHEAST SEVENTY-NINTH STREET CAUSEWAY FOR A DISTANCE OF 156 FEET TO THE POINT OF BEGINNING.

AND

FOLIO # 23-3209-000-0200

COMMENCE AT THE ONE-HALF MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, MIAMI-DADE COUNTY, FLORIDA; THENCE RUN NORTH 88°41'24" EAST, ALONG THE CENTERLINE OF THE HIGHWAY RIGHT OF WAY OF THE NORTHEAST SEVENTY-NINTH STREET CAUSEWAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 70, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, FOR A CONTINUED DISTANCE OF 1560 FEET TO A POINT; THENCE RUN NORTH 1°37'08" WEST FOR A DISTANCE OF 50 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF THE SAID NORTHEAST SEVENTY-NINTH STREET CAUSEWAY AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE CONTINUE NORTH 1°37'08" WEST FOR A DISTANCE OF 605 FEET TO A POINT; THENCE RUN NORTH 88° 41'24" EAST FOR A DISTANCE OF 156 FEET TO A POINT; THENCE RUN SOUTH 1°37'08" EAST FOR A DISTANCE OF 605 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF THE SAID NORTHEAST SEVENTY-NINTH STREET CAUSEWAY, THENCE RUN SOUTH 88°41'24" WEST ALONG THE NORTH RIGHT OF WAY LINE OF SAID NORTHEAST SEVENTY-NINTH STREET CAUSEWAY FOR A DISTANCE OF 156 FEET TO THE POINT OF BEGINNING.



SEE SHEET 2 OF 3

COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :
KATZ BARRON
ATTORNEYS AT LAW

1401, 1415, 1555 & 1601
N BAY CAUSEWAY
NORTH BAY VILLAGE, FL 33131

SKETCH OF SURVEY

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	12/10/21	DATA/COLL	AM	REC

PROJECT NO: 9525-21
SCALE : 1" = 20'

SHEET
3
OF
3
SHEETS

Site Plan
NOT FOR CONSTRUCTION

status

client
SUNBEAM
1401 79th Street Causeway
MIAMI, FL 33141

project

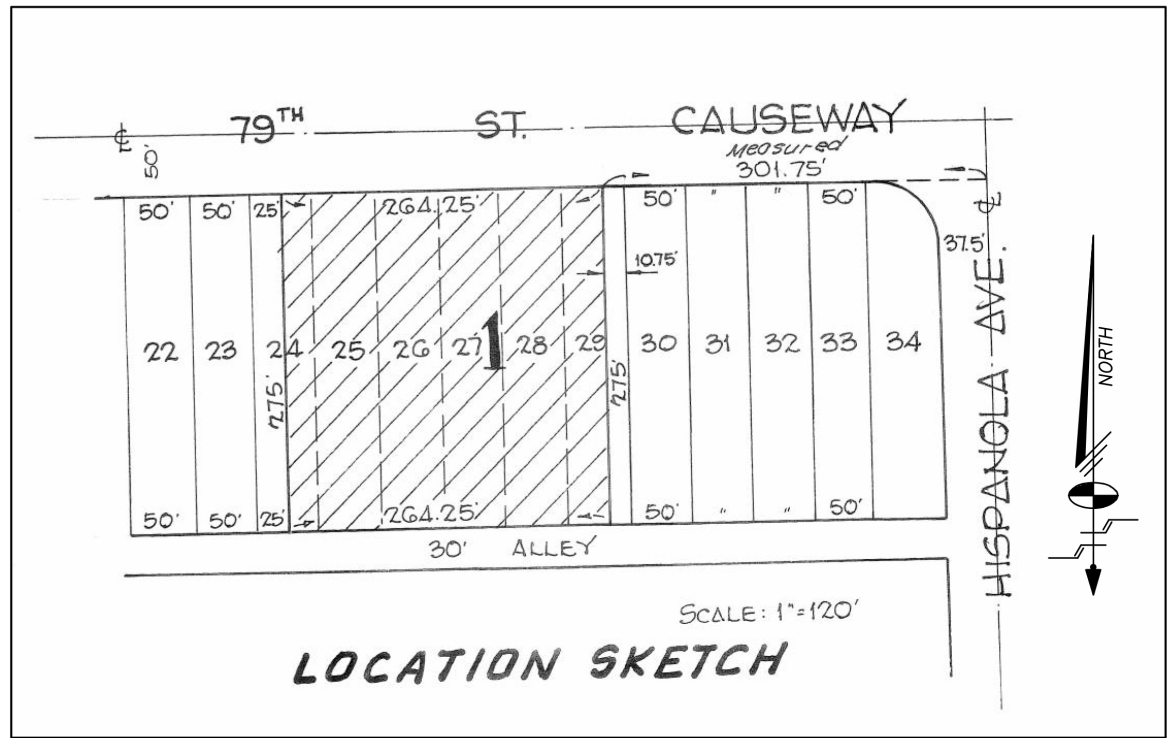
Site Plan for
Sunbeam NBV SAP

Revisions		
Rev.	Mk'd	Comment
2022.03.24		Site Plan
2022.08.01		Site Plan
2022.09.27		Site Plan

Issue dates		
Issue	Date	September 27, 2022
Project data		
number	202201	
file	Sunbeam NBV Project SAP-SDCD [24x26]	
printed	2022.09.27	

This drawing depicts the design effort of Plusurbia Design for this project and is issued for review only on an instrument of the services being rendered. It remains the property of this office, and shall not be copied, reproduced or exhibited unless permission in writing is granted.

- GENERAL LEGEND:**
- ALUMINUM LIGHT POST (SINGLE)
 - ALUMINUM LIGHT POST (DOUBLE)
 - ALUMINUM LIGHT POST (TRIPLE)
 - ALUMINUM LIGHT POST (QUAD)
 - ANCHOR/FLY WIRE
 - BACKFLOW PREVENTER ASSEMBLY
 - BENCH MARK
 - CABLE TELEVISION BOX
 - CATCH BASIN
 - CENTERLINE
 - DOUBLE DETECTOR CHECK VALVE
 - CIRCULAR DRAIN
 - COLUMN (CIRCULAR)
 - COLUMN (SQUARE)
 - CONCRETE LIGHT POLE (DOUBLE)
 - CONCRETE POWER POLE
 - CONTROL POINT
 - CURB INLET
 - ELECTRIC BOX
 - ELECTRIC HAND HOLE
 - ELEVATIONS (SEE NOTES FOR DATUM)
 - ERE HYDRANT
 - FLAGPOLE
 - FLOW LINE
 - FORCE MAIN MANHOLE
 - FORCE MAIN VALVE
 - F.P.L. ELECTRIC MANHOLE
 - F.P.L. TRANSFORMER PAD
 - F.P.L. TRANSMISSION POLE
 - GAS METER
 - GAS PUMP
 - GAS MANHOLE
 - GAS VALVE
 - GREASE TRAP MANHOLE
 - GROUND LIGHTING
 - GUARD POST
 - IRRIGATION HAND HOLE
 - IRRIGATION VALVE
 - MALBOX
 - MONITOR WELL
 - MONUMENT LINE
 - N-5 INLET
 - N-6 INLET
 - PARKING METER
 - PEDESTRIAN CROSSING SIGNAL
 - PERMANENT REFERENCE MONUMENT
 - POST INDICATOR VALVE
 - VACUUM BREAKER ASSEMBLY
 - PROPERTY LINE
 - SANITARY SEWER CLEANOUT
 - SANITARY SEWER MANHOLE
 - SANITARY CONNECTION
 - SIGN POST
 - SPRINKLER PUMP
 - STANDPIPE
 - STORM SEWER MANHOLE
 - STREET LIGHT HAND HOLE
 - SWALE INLET
 - TELEPHONE BOX (SOUTHERN BELL)
 - TELEPHONE HAND HOLE
 - TELEPHONE MANHOLE (SO. BELL)
 - TELEPHONE PARAPHONE
 - TRAFFIC HAND HOLE
 - TRAFFIC UTILITY BOX
 - TRAFFIC SIGNAL POST
 - UNDERGROUND UTILITY MARKER
 - UNKNOWN UTILITY MANHOLE
 - UNKNOWN UTILITY HAND HOLE
 - WATER MANHOLE
 - WATER METER
 - WATER VALVE
 - WOOD LIGHT POLE
 - WOOD POWER POLE
 - HANDICAP PARKING
 - STROLLER PARKING
 - GAS PAINT MARK
- ABBREVIATIONS:**
- ∠ denotes ANGLE
 - ∠ denotes DELTA ANGLE
 - ∠ denotes DISTANCE
 - ∠ denotes PERMANENT CONTROL POINT
 - ∠ denotes PERMANENT REFERENCE MONUMENT
 - ∠ denotes PLAT BOOK
 - ∠ denotes PAGE
 - ∠ denotes POINT OF COMMENCEMENT
 - ∠ denotes POINT OF BEGINNING
 - ∠ denotes ORIGINAL SURVEY BOOK
 - ∠ denotes OFFICIAL RECORDS BOOK
 - ∠ denotes PROPERTY OF CURVATURE
 - ∠ denotes CONCRETE BLOCK STRUCTURE
 - ∠ denotes CONC.
 - ∠ denotes CHAINLINK FENCE
 - ∠ denotes WOOD FENCE
 - ∠ denotes FOUND IRON PIPE
 - ∠ denotes SET IRON PIPE & LB-RT CAP
 - ∠ denotes FOUND NAIL & BRASS DISC
 - ∠ denotes SET LB-RT NAIL & BRASS DISC
 - ∠ denotes CLEAR
 - ∠ denotes ENCROACHMENT
 - ∠ denotes CURB INLET
 - ∠ denotes GAS PAINT MARK
 - (D) denotes DEED DISTANCE
 - (L) denotes DISTANCE BY LEGAL DESCRIPTION
 - (M) denotes MEASURED DISTANCE
 - (R) denotes RECORD OR PLATTED DISTANCE
 - ∠ denotes CATCH BASIN
 - MH denotes MANHOLE
 - STY denotes STORY
 - CBS denotes CONCRETE BLOCK STRUCTURE
 - CONC denotes CONCRETE
 - CEN denotes CENTERLINE
 - E denotes PROPERTY LINE



- NOTES:**
- 1) BEARINGS SHOWN HEREON REFER TO AN ASSUMED BEARING OF NORTH 88 DEGREES 41 MINUTES 24 SECONDS EAST ALONG THE CENTERLINE OF NORTHEAST 79TH STREET.
 - 2) THE AREA OF PROPERTY SHOWN HEREON= 1.67 ± ACRES
 - 3) UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTINGS AND/OR FOUNDATIONS.
 - 4) PREPARED FOR: SUNBEAM
 - 5) THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE ATTACHED CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.
 - 6) PROPERTY SHOWN HEREON FALLS WITHIN FEDERAL FLOOD ZONE "A" (E.L.E. B); PER F.I.R.M. COMMUNITY PANEL NO. 120654, MAP NUMBER 1208800307L, MAP DATED 09-11-2009.
 - 7) VISIBLE INDICATORS OF UTILITIES ARE SHOWN HEREON, HOWEVER, NO ATTEMPT HAS BEEN MADE TO LOCATE UNDERGROUND ITEMS.
 - 8) DISTANCES ALONG BOUNDARY OF SUBJECT PROPERTY ARE RECORD AND MEASURED UNLESS OTHERWISE STATED.
 - 9) SHOWN HEREON ARE PLOTTABLE EASEMENTS AND RIGHTS OF WAY REFLECTED AS EXCEPTION IN THE TITLE COMMITMENT (ORDER NO. 9633947) ISSUED BY CHICAGO TITLE INSURANCE COMPANY, AND DATED JUNE 7, 2021 AT 11:00 P.M.
 - 10) SUBJECT PROPERTY CONTAINS 87 PARKING SPACES, INCLUDING 4 HANDICAP SPACES
 - 11) FOLIO NUMBER: 23-3209-010-0240 AND 23-3209-010-0270 MIAMI DADE PROPERTY APPRAISER.

LEGAL DESCRIPTION:
 THE EAST 1/2 OF LOT 24, ALL OF LOTS 25, 26, 27 AND 28 INCLUSIVE AND THE WEST 39.25 FEET OF LOT 29, BLOCK 1, COMMERCIAL ADDITION TO TREASURE ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 52, PAGE 84, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LYING AND BEING IN SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, CITY OF NORTH BAY VILLAGE, MIAMI-DADE COUNTY, FLORIDA.

NOTES REGARDING SCHEDULE B - SECTION II TITLE COMMITMENT (ORDER NO. 9633947) ISSUED BY CHICAGO TITLE INSURANCE COMPANY, AND DATED JUNE 7, 2021 AT 11:00 P.M.

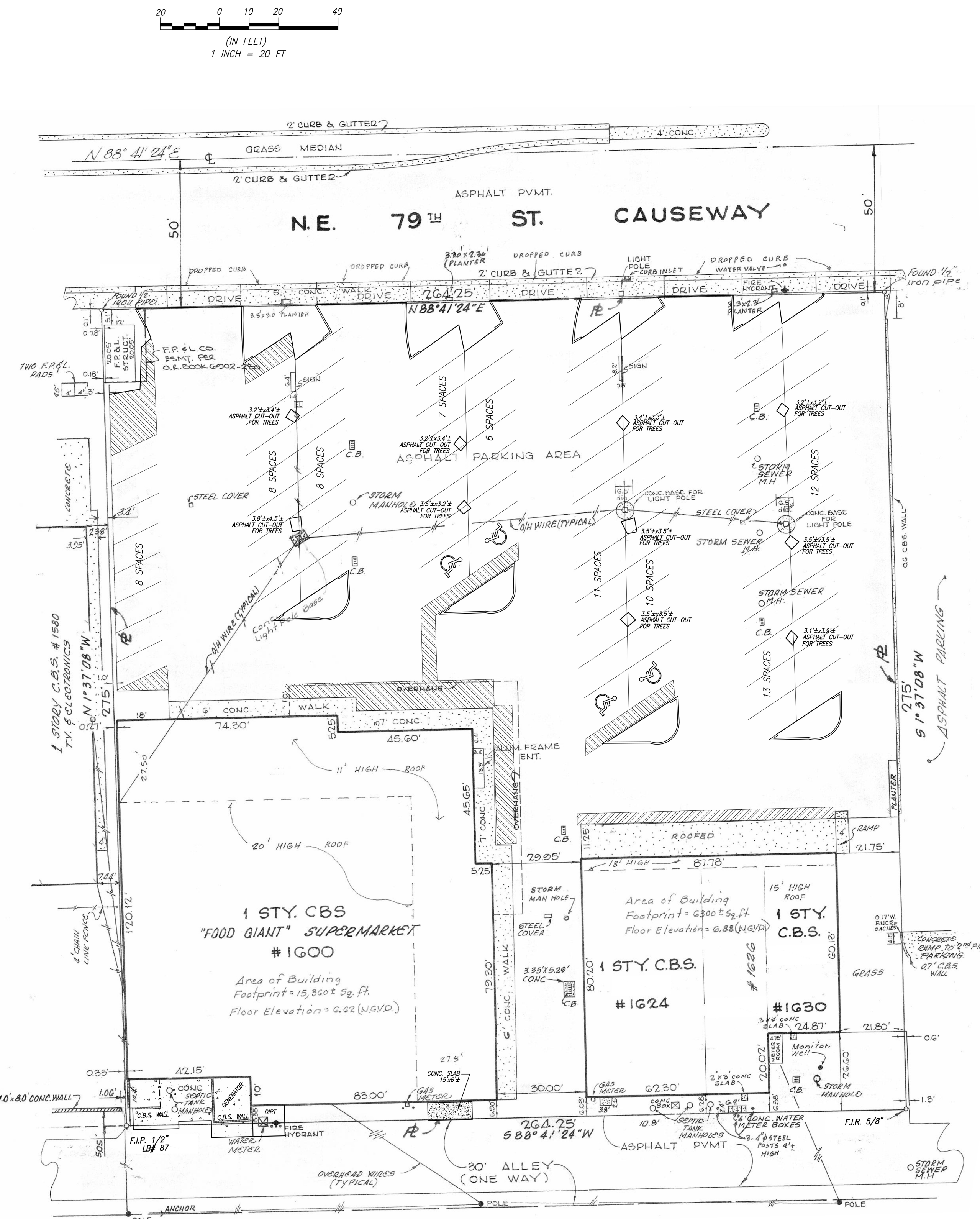
ITEM 5: ROADS RIGHTS-OF-WAY DEDICATIONS AND RELATED REVERSIONARY RIGHTS RESERVATIONS AS CONTAINED ON THE PLAT OF COMMERCIAL ADDITION TO TREASURE ISLAND, RECORDED IN PLAT BOOK 52, PAGE 84, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SHOWN ON SURVEY.

ITEM 6: EASEMENT GRANTED TO FLORIDA POWER & LIGHT COMPANY, RECORDED JUNE 30, 1970 IN OFFICIAL RECORDS BOOK 6902, PAGE 250, SHOWN ON SURVEY.

- CERTIFIED TO:**
- SUNBEAM TELEVISION CORPORATION, A FLORIDA CORPORATION
 - CHICAGO TITLE INSURANCE COMPANY
 - KATZ, BARRON, SOUTERO, FRIEDBERG, ENGLISH & ALLEN, P.A. DBA KATZ BARRON.
 - SUNBEAM 1600-1624 79TH STREET LLC, A FLORIDA LIMITED LIABILITY COMPANY

SURVEYOR'S CERTIFICATION:
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2021 AND INCLUDES ITEMS 1, 2, 3, 4, 7(G), 7(B), 7(C), 9, 10 AND 11(A), AND 14 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDESIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.
 THIS SURVEY COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS ADOPTED BY THE FLORIDA SOCIETY OF SURVEYORS AND MAPPERS PURSUANT TO CHAPTER SJ-17, FLORIDA ADMINISTRATIVE CODE.

Schwelbe-Shiskin & Associates, Mark S. Johnson
 THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M.
 By: Mark Steven Johnson
 MARK STEVEN JOHNSON
 PROFESSIONAL LAND SURVEYOR #4775 STATE OF FLORIDA



Schwelbe-Shiskin & Associates, Inc.
 LAND PLANNERS & ENGINEERS
 3240 CORPORATE BLVD., MIAMI, FLORIDA 33133
 TEL: (305) 435-7710 FAX: (305) 435-3288

CERTIFICATE OF AUTHORIZATION No. 12-07

Drawn By: MJA Date: 9/27/2022
 Checked By: JMS Date: 9/27/2022
 Order No. 140751 F.B. No. 2
 Scale: 1" = 20'
 Sheet 1 of 1 Sheet(s)

NOTE: This sketch is not valid unless it bears the signature and the official seal of a Florida licensed surveyor and mapper.

THIS IS A BOUNDARY SURVEY

ALTA/NSPS LAND TITLE SURVEY
 THE EAST 1/2 OF LOT 24, ALL OF LOTS 25, 26, 27 AND 28 INCLUSIVE AND THE WEST 39 1/4 FEET OF LOT 29, BLOCK 1, COMMERCIAL ADDITION TO TREASURE ISLAND, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 52, PAGE(S) 84, PUBLIC RECORDS OF MIAMI-DADE, FLORIDA.
 LYING AND BEING IN SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, CITY OF NORTH BAY VILLAGE, MIAMI-DADE COUNTY, FLORIDA.

REVISIONS

DATE	BY	DESCRIPTION
2022.09.27	MJA	ISSUED FOR CONSTRUCTION

Site Plan NOT FOR CONSTRUCTION

status

SUNBEAM
 1401 79th Street Causeway
 MIAMI, FL 33141

client

project

Site Plan for Sunbeam NBV SAP

Revisions

DATE	DESCRIPTION
2022.03.24	Site Plan
2022.08.01	Site Plan
2022.09.27	Site Plan

Issue dates

Issue	Date
	September 27, 2022

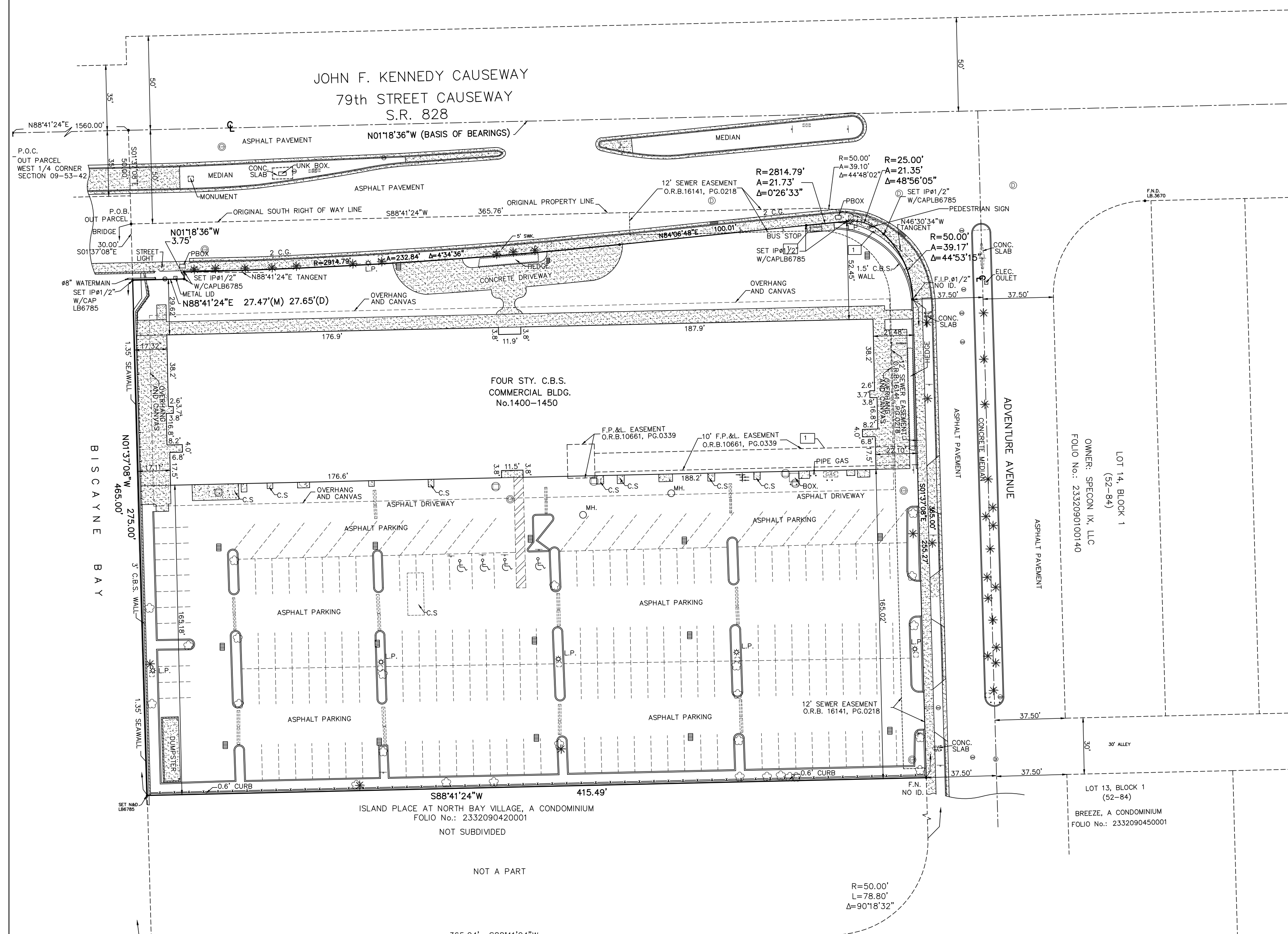
Project data

number	202201
file	Sunbeam NBV Project SAP-SDCD [24026]
printed	2022.09.27

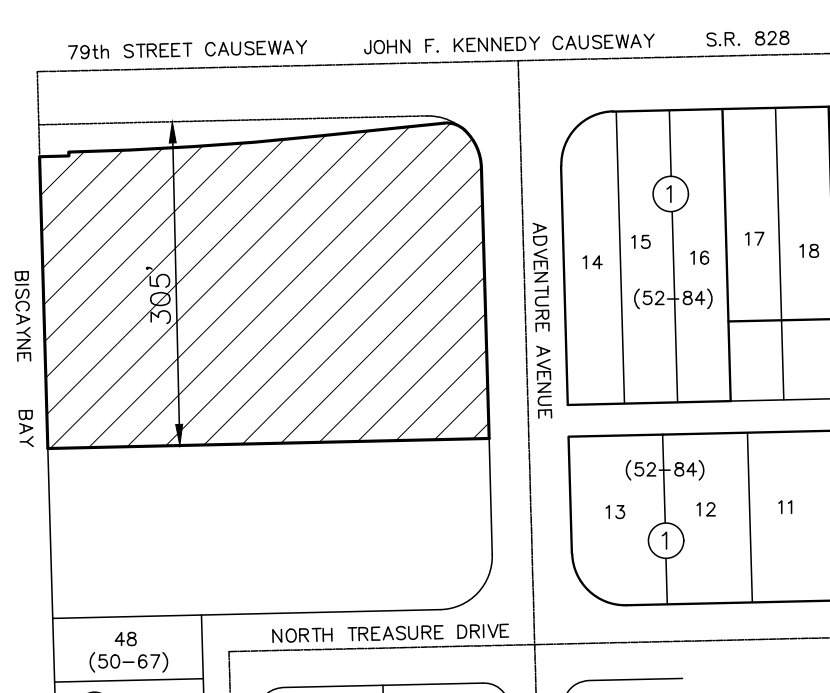
Survey Exhibits

AS-1.05

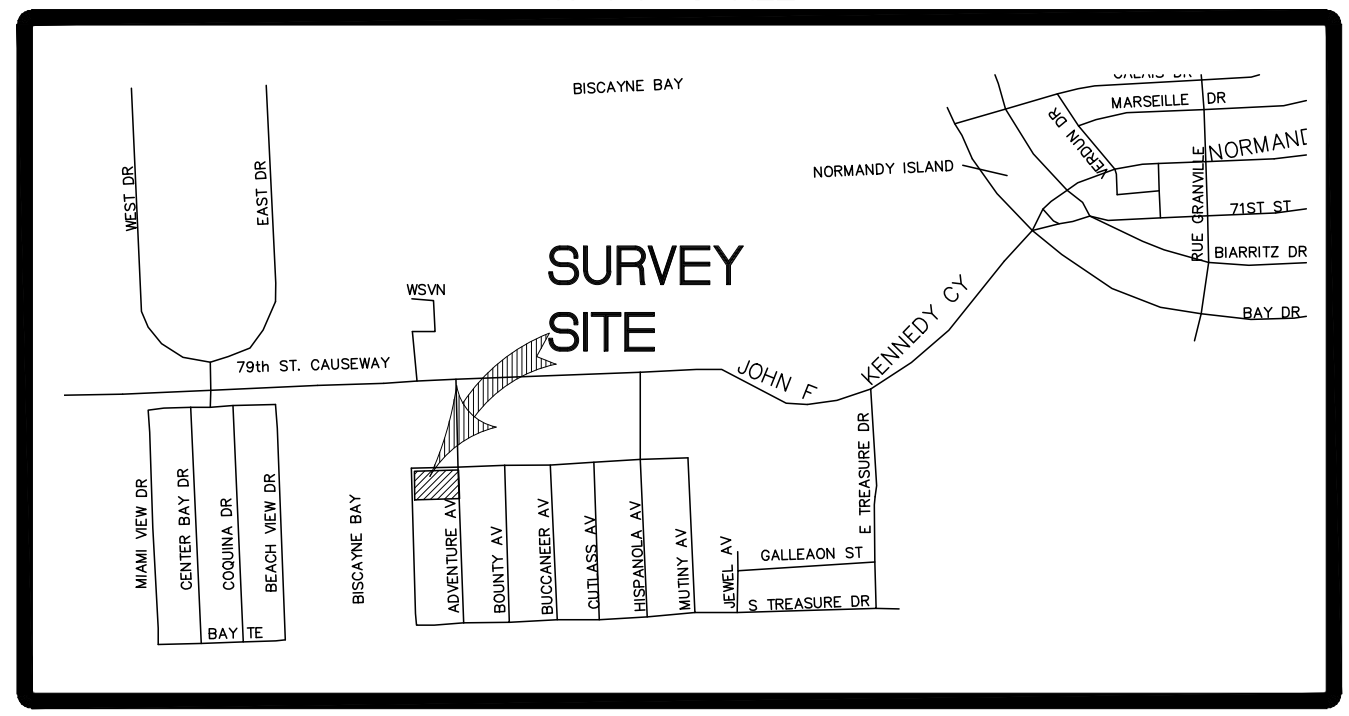
MAP OF BOUNDARY SURVEY



SCALE 1"=30'



VICINITY MAP NOT TO SCALE



CERTIFIED TO:
Sunbeam Properties, Inc.

FLOOD ELEVATION INFORMATION:
DATE OF FIRM: 09-11-09
COMMUNITY NO. 120654
PANEL: C307 SURVEY: L
ZONE: AE BASE FLOOD ELEVATION: 8'

LEGAL DESCRIPTION (As per Warranty Deed)
THE NORTH 305 FEET OF THE FOLLOWING DESCRIBED PROPERTY, TO-WIT:
COMMENCING AT THE 1/2 MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, AS SHOWN ON THE MAP OF HIGHWAY RIGHT-OF-WAY OF PROPOSED NORTHEAST 79th STREET CAUSEWAY WHICH SAME IS RECORDED IN PLAT BOOK 25, AT PAGE 70, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, RUN NORTH 88°41'24" EAST ALONG THE CENTER LINE OF THE ABOVE RIGHT-OF-WAY 150 FEET, THENCE SOUTH 1°37'08" EAST 50.00 FEET TO THE SOUTH LINE OF THE ABOVE RIGHT-OF-WAY, WHICH POINT OF INTERSECTION IS THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED TRACT OF LAND:
THENCE FROM THE ABOVE ESTABLISHED POINT OF BEGINNING RUN NORTH 88°41'24" EAST ALONG THE SOUTH LINE OF THE ABOVE RIGHT-OF-WAY 365.78 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT; THENCE TO THE RIGHT ALONG SAID CURVE HAVING A RADIUS OF 50.00 FEET AND A CENTRAL ANGLE OF 89°41'28" FOR AN ARC DISTANCE OF 78.26 FEET TO A POINT OF TANGENCY; THENCE SOUTH 1°37'08" EAST 365.00 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT; THENCE TO THE RIGHT ALONG SAID CURVE HAVING A RADIUS OF 50.00 FEET AND A CENTRAL ANGLE OF 90°18'32" FOR AN ARC DISTANCE OF 78.80 FEET TO A POINT OF TANGENCY; THENCE SOUTH 88°41'24" WEST 365.24 FEET; THENCE NORTH 1°37'08" WEST 465.00 FEET TO THE POINT OF BEGINNING.
LESS AND EXCEPT THEREFROM
A PARCEL OF LAND LYING SOUTH OF AND ADJACENT TO THE EXISTING RIGHT-OF-WAY FOR STATE ROAD 828 IN SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST SAID PARCEL, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE WEST 1/4 CORNER OF SAID SECTION 9, RUN NORTH 88°41'24" EAST ON THE EAST-WEST 1/4 SECTION LINE OF SAID SECTION 9, A DISTANCE OF 1,560.00 FEET; THENCE SOUTH 1°37'08" EAST A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE FOR THE AFORESAID STATE ROAD 828 AND THE POINT OF BEGINNING, THENCE CONTINUE SOUTH 1°37'08" EAST A DISTANCE OF 30.00 FEET; THENCE NORTH 88°41'24" EAST A DISTANCE OF 27.65 (DEED), 27.47 (FIELD); THENCE NORTH 1°18'36" WEST A DISTANCE OF 3.75 FEET TO A POINT; SAID POINT BEING THE BEGINNING OF A CURVE CONCAVE TO THE NORTH AND HAVING A TANGENT BEARING OF NORTH 89°41'24" EAST THROUGH SAID POINT; THENCE EASTERLY ON SAID CURVE HAVING A CENTRAL ANGLE OF 4°34'39" AND A RADIUS OF 294.79 FEET AN ARC DISTANCE OF 232.84 FEET TO THE END OF SAID CURVE; THENCE NORTH 84°06'48" EAST A DISTANCE OF 100.01 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; THENCE EASTERLY ON SAID CURVE HAVING A CENTRAL ANGLE OF 4°34'39" AND A RADIUS OF 294.79 FEET AN ARC DISTANCE OF 232.84 FEET TO THE END OF SAID CURVE; THENCE NORTH 84°06'48" EAST A DISTANCE OF 100.01 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; THENCE EASTERLY ON SAID CURVE HAVING A CENTRAL ANGLE OF 4°34'39" AND A RADIUS OF 294.79 FEET AN ARC DISTANCE OF 232.84 FEET TO THE END OF SAID CURVE; THENCE NORTH 84°06'48" EAST A DISTANCE OF 100.01 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; THENCE EASTERLY ON SAID CURVE HAVING A CENTRAL ANGLE OF 4°34'39" AND A RADIUS OF 294.79 FEET AN ARC DISTANCE OF 232.84 FEET TO THE END OF SAID CURVE; THENCE NORTH 84°06'48" EAST A DISTANCE OF 100.01 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; THENCE EASTERLY ON SAID CURVE HAVING A CENTRAL ANGLE OF 4°34'39" AND A RADIUS OF 294.79 FEET AN ARC DISTANCE OF 232.84 FEET TO THE END OF SAID CURVE; THENCE NORTH 84°06'48" EAST A DISTANCE OF 100.01 FEET TO THE END OF SAID RADIAL RETURN AND A POINT ON A 50 FOOT RADIAL RETURN CONCAVE TO THE SOUTHWEST AND HAVING A TANGENT BEARING OF NORTH 89°41'24" WEST THROUGH SAID POINT; THENCE NORTHWESTERLY ON SAID RADIAL RETURN HAVING A CENTRAL ANGLE OF 89°41'28" (DEED), 89°41'28" (FIELD), AN ARC DISTANCE OF 39.10 FEET THROUGH AN ANGLE OF 44°48'02" TO THE END OF SAID RADIAL RETURN; THENCE SOUTH 88°41'24" WEST ON A LINE 50 FEET SOUTH OF AND PARALLEL TO THE EAST-WEST 1/4 SECTION LINE OF SAID SECTION 9, A DISTANCE OF 365.78 FEET TO THE POINT OF BEGINNING OF THE ABOVE DESCRIBED EXCEPTED PARCEL.

LEGAL DESCRIPTION
THE NORTH 305 FEET OF THE FOLLOWING DESCRIBED PROPERTY, TO-WIT:
COMMENCING AT THE 1/2 MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, AS SHOWN ON THE MAP OF HIGHWAY RIGHT-OF-WAY OF PROPOSED NORTHEAST 79th STREET CAUSEWAY WHICH SAME IS RECORDED IN PLAT BOOK 25, AT PAGE 70, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, RUN NORTH 88°41'24" EAST ALONG THE CENTER LINE OF THE ABOVE RIGHT-OF-WAY 150 FEET, THENCE SOUTH 1°37'08" EAST 50.00 FEET TO THE SOUTH LINE OF THE ABOVE RIGHT-OF-WAY, WHICH POINT OF INTERSECTION IS THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED TRACT OF LAND:
THENCE FROM THE ABOVE ESTABLISHED POINT OF BEGINNING RUN NORTH 88°41'24" EAST ALONG THE SOUTH LINE OF THE ABOVE RIGHT-OF-WAY 365.78 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT; THENCE TO THE RIGHT ALONG SAID CURVE HAVING A RADIUS OF 50.00 FEET AND A CENTRAL ANGLE OF 89°41'28" FOR AN ARC DISTANCE OF 78.26 FEET TO A POINT OF TANGENCY; THENCE SOUTH 1°37'08" EAST 365.00 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT; THENCE TO THE RIGHT ALONG SAID CURVE HAVING A RADIUS OF 50.00 FEET AND A CENTRAL ANGLE OF 90°18'32" FOR AN ARC DISTANCE OF 78.80 FEET TO A POINT OF TANGENCY; THENCE SOUTH 88°41'24" WEST 365.24 FEET; THENCE NORTH 1°37'08" WEST 465.00 FEET TO THE POINT OF BEGINNING.
LESS AND EXCEPT THEREFROM
A PARCEL OF LAND LYING SOUTH OF AND ADJACENT TO THE EXISTING RIGHT-OF-WAY FOR STATE ROAD 828 IN SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST SAID PARCEL, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE WEST 1/4 CORNER OF SAID SECTION 9, RUN NORTH 88°41'24" EAST ON THE EAST-WEST 1/4 SECTION LINE OF SAID SECTION 9, A DISTANCE OF 1,560.00 FEET; THENCE SOUTH 1°37'08" EAST A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE FOR THE AFORESAID STATE ROAD 828 AND THE POINT OF BEGINNING, THENCE CONTINUE SOUTH 1°37'08" EAST A DISTANCE OF 30.00 FEET; THENCE NORTH 88°41'24" EAST A DISTANCE OF 27.65 (DEED), 27.47 (FIELD); THENCE NORTH 1°18'36" WEST A DISTANCE OF 3.75 FEET TO A POINT; SAID POINT BEING THE BEGINNING OF A CURVE CONCAVE TO THE NORTH AND HAVING A TANGENT BEARING OF NORTH 89°41'24" EAST THROUGH SAID POINT; THENCE EASTERLY ON SAID CURVE HAVING A CENTRAL ANGLE OF 4°34'39" AND A RADIUS OF 294.79 FEET AN ARC DISTANCE OF 232.84 FEET TO THE END OF SAID CURVE; THENCE NORTH 84°06'48" EAST A DISTANCE OF 100.01 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; THENCE EASTERLY ON SAID CURVE HAVING A CENTRAL ANGLE OF 4°34'39" AND A RADIUS OF 294.79 FEET AN ARC DISTANCE OF 232.84 FEET TO THE END OF SAID CURVE; THENCE NORTH 84°06'48" EAST A DISTANCE OF 100.01 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; THENCE EASTERLY ON SAID CURVE HAVING A CENTRAL ANGLE OF 4°34'39" AND A RADIUS OF 294.79 FEET AN ARC DISTANCE OF 232.84 FEET TO THE END OF SAID CURVE; THENCE NORTH 84°06'48" EAST A DISTANCE OF 100.01 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; THENCE EASTERLY ON SAID CURVE HAVING A CENTRAL ANGLE OF 4°34'39" AND A RADIUS OF 294.79 FEET AN ARC DISTANCE OF 232.84 FEET TO THE END OF SAID CURVE; THENCE NORTH 84°06'48" EAST A DISTANCE OF 100.01 FEET TO THE END OF SAID RADIAL RETURN AND A POINT ON A 50 FOOT RADIAL RETURN CONCAVE TO THE SOUTHWEST AND HAVING A TANGENT BEARING OF NORTH 89°41'24" WEST THROUGH SAID POINT; THENCE NORTHWESTERLY ON SAID RADIAL RETURN HAVING A CENTRAL ANGLE OF 89°41'28" (DEED), 89°41'28" (FIELD), AN ARC DISTANCE OF 39.10 FEET THROUGH AN ANGLE OF 44°48'02" TO THE END OF SAID RADIAL RETURN; THENCE SOUTH 88°41'24" WEST ON A LINE 50 FEET SOUTH OF AND PARALLEL TO THE EAST-WEST 1/4 SECTION LINE OF SAID SECTION 9, A DISTANCE OF 365.78 FEET TO THE POINT OF BEGINNING OF THE ABOVE DESCRIBED EXCEPTED PARCEL.

SURVEYOR'S REPORT:

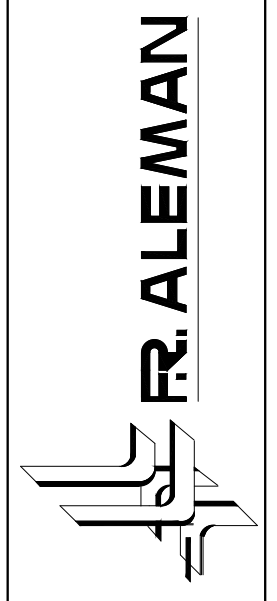
- 1) Survey Type: Boundary Survey.
- 2) Legal description as shown on Schedule "A" of the Title Commitment prepared by First American Title Company, AGENT FILE No.: 34513-0006; FAST FILE No.: 1062-2766920, Dated June 22, 2012 at 11:59 P.M. It is the opinion of this surveyor, that the Legal Description as shown on Schedule "A" of said Title Commitment contains ambiguities. For that matter a differing legal description is shown hereon. FR ALEMAN and Associates, Inc., was not provided with an updated Opinion of Title for this Updated Survey.
- 3) Flood Zone: AE, Elevation 8' as per Firm: Community Number: 120654 Panel: 0107, City of North Bay Village, Suffix: L, Map Revised September 11, 2009 Map Number: 12086C307L.
- 4) Property Address: 1400-1440 79th Street Causeway, North Bay Village, Florida 33141
- 5) Basis of Bearings: Bearings are referred to an assumed value of N88°41'24"E along the centerline of John F. Kennedy Causeway.
- 6) This survey is subject to easements and other restrictions or dedications which might be reflected in a search of title to the subject lands.
- 7) There are no party walls and no observable, above ground encroachments other than the one described hereon. Statement of Encroachment: Existing concrete sidewalk and bus stop encroach onto subject property as shown on survey map. Existing Four Story CBS Building encroaches onto 10' F.P.&L. Easement.
- 8) The relative positional precision for this survey was found to be better than the maximum allowable relative positional precision as per section 3 e (v.) of the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys.
- 9) Updated on May 24, 2022 to include new Trees, Light Poles, Water Valves, Cleanouts, Water Meters, Gas Meters and Water Pile Boxes.

I HEREBY CERTIFY:
THAT THIS ATTACHED BOUNDARY SURVEY MEETS THE STANDARDS OF PRACTICE SET BY THE FLORIDA STATE BOARD OF PROFESSIONAL LAND SURVEYORS PURSUANT TO CHAPTER 472.027 FLORIDA STATUTES AND CHAPTER SJ-17 OF THE FLORIDA ADMINISTRATIVE CODE.
Digitally signed by Gaspar A Lobaina
Date: 2022.06.13 14:25:07 -04'00'
Gaspar Lobaina, P.E., PLS
Professional Land Surveyor #2873
State of Florida
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

REVISIONS	BY
UPDATE 7-11-17	
UPDATE 5-24-22	

1400-1440 79th STREET CAUSEWAY,
NORTH BAY VILLAGE, FLORIDA 33141
Sunbeam Properties, Inc.
A FLORIDA LIMITED LIABILITY COMPANY

F.R. ALEMAN and Associates, Inc. LB #6785
Consulting Engineers and Surveyors
10305 NW 41ST STREET, SUITE 200
MIAMI, FLORIDA 33178
TEL: (305) 591-8777 FAX: (305) 599-8749



DATE	09-17-12
SCALE	1"=30'
DRAWN	T.F.
JOB:	2414W03
SHEET 1	OF 1 SHEETS

Site Plan
NOT FOR CONSTRUCTION

SUNBEAM
1401 79th Street Causeway
MIAMI, FL 33141

client

project

Site Plan for
Sunbeam NBV SAP

Revisions

DATE	Site Plan
2022.03.24	Site Plan
2022.08.01	Site Plan
2022.09.27	Site Plan

Issue dates

Rev.	Mk'd	Comment

Project data

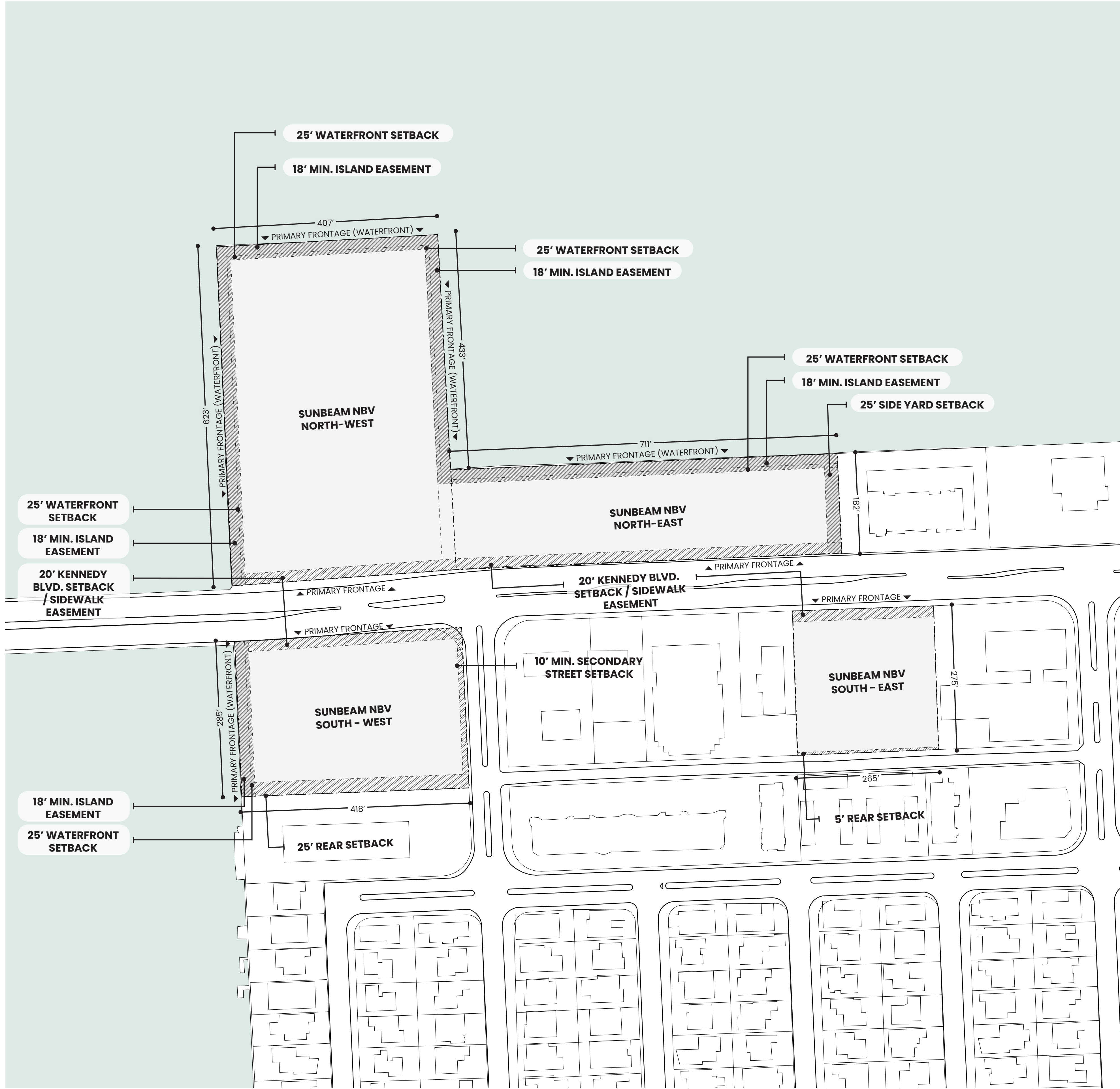
Issue	Date	September 27, 2022
number	202201	
file	Sunbeam NBV Project SAP-SDCD [24]26]	
printed	2022.09.27	

Survey Exhibits

AS-1.06

This drawing depicts the design effort of Plusurbia Design for this project and is issued for review solely as an instrument of the services being rendered. It remains the property of this office, and shall not be copied, reproduced or exhibited unless permission in writing is granted.

This drawing depicts the design effort of Plusurbia Design for this project and is issued for review only as an instrument of the services being rendered. It remains the property of this office, and shall not be copied, reproduced or exhibited unless permission in writing is granted.



SUNBEAM NBV SAP - SETBACKS

Scale: 1:100



SUMMARY TABLE

A.7.A.1 Summary Table General to Sunbeam NBV SAP

SUNBEAM NBV SAP SUMMARY TABLE		
I. GENERAL	REQUIRED	PROVIDED
Lot Area	10,000 sq.ft. min.	582,446 sq.ft.
Density	150 DU/A*	1936 units
Intensity	-	-
Floor Lot Ratio	13.0 max.	7,311,807 sq.ft. max.
Open Space Requirement	15% Lot Area min.	84,289 sq.ft. min.
Civic Space	7.5% Lot Area min.	42,145 sq.ft. min.

* Pursuant to Density with Bonus (2) Program, and subject to the terms included in the approved Sunbeam NBV SAP Development Agreement.
Civic Space - Subject to the terms of the approved Sunbeam NBV SAP Development Agreement

A.7.B Summary Table and Illustrations - Sunbeam NBV SAP South.

SUNBEAM NBV SAP SOUTH SUMMARY TABLE			
I. BUILDING DISPOSITION.			
I. LOT OCCUPATION.	REQUIRED	WEST	EAST
a. Lot Coverage	90 % max.	2.45 AC max.	1.50 AC max.
b. Lot Width	100 ft. min.	418 ft.	265 ft.
e. Frontage at Front Setback	50 % min.	209 ft. min.	130 ft. min.
II. BUILDING SETBACK.			
a. Primary Front - Kennedy Cswy.	20 ft.		
b. Primary Front - Waterfront	25 ft. min.		
c. Secondary Front/Side A	10 ft. min.		
d. Side B	0 ft. min.		
e. Rear	5 ft. min. ¹	25 ft. min.	5 ft. min.
f. Rear Stepback 1 - (measured from property line)	50 ft. min. above Pedestal at 7 stories or 100 ft.		
g. Rear Stepback 2 - (measured from property line)	100 ft. min. above 20th story or 240 ft.		
2. BUILDING CONFIGURATION.			
I. FRONTAGE (KENNEDY CAUSEWAY).			
a. Common Lawn	Prohibited		
b. Porch and Fence	Prohibited		
c. Terrace	Allowed		
d. Forecourt	Allowed ²		
e. Stoop	Allowed ³		
f. Shopfront	Allowed		
g. Gallery	Allowed		
h. Arcade	Allowed		
i. Cantilever	Allowed		
j. Plaza	Allowed		
II. BUILDING HEIGHT.			
a. Min. Building Height	2 stories		2 stories
b. Max. Pedestal Height	7 stories or 100 feet		7 stories or 100 feet
c. Max. Building Height	See Drawing AS-110	450 ft. max.	240 ft. max.

¹ Rear setback shall be 15 ft. min. when not abutting an alley and shall be 50 ft. min. above the seventh story when the rear lot line abuts a lower transect zone or RS-1, RS-2 or RM-40 residential zoning district.
² Forecourts shall be pedestrian only.
³ Not allowed facing Kennedy Causeway.
Note: Development approval shall be valid for thirty years in accordance with these regulations following final approval by the Village Commission unless otherwise approved by development order. Such site plans may be granted no more than two one-year renewals, subject to approval by the Village Commission. To avoid expiration of the site plans, the applicant must apply for and obtain a full building permit within the time frames set forth above.

A.7.C Summary Table and Illustrations— Sunbeam NBV SAP North.

SUNBEAM NBV SAP NORTH SUMMARY TABLE		
I. BUILDING DISPOSITION.		
I. LOT OCCUPATION.	REQUIRED	PROVIDED
a. Lot Coverage	75 % max.	6.39 AC max.
b. Lot Width	100 ft. min.	1123 ft.
e. Frontage at Front Setback	50 % min.	561.5 ft. min.
II. BUILDING SETBACK.		
a. Primary Front - Kennedy Cswy.	20 ft.	
b. Primary Front - Waterfront	25 ft. min.	
c. View Corridor	20% of lot width min, aggregate, 225 ft. min. or See Drawing AS-108	
d. Side East	25 ft. min.	
e. Stepback (Kennedy Causeway and Side Yards; Optional Stepback in Waterfront Yard) (measured from property line) - see Building Height Illustration	0 ft. min. above the Pedestal	
f. Stepback (East) (measured from property line) - see Allowable Height Illustration.	50 ft. min. above 340 ft.	
2. BUILDING CONFIGURATION.		
I. FRONTAGE (KENNEDY CAUSEWAY).		
a. Common Lawn	Prohibited	
b. Porch and Fence	Prohibited	
c. Terrace	Allowed	
d. Forecourt	Allowed ²	
e. Stoop	Allowed ³	
f. Shopfront	Allowed	
g. Gallery	Allowed	
h. Arcade	Allowed	
i. Cantilever	Allowed	
j. Plaza	Allowed	
II. BUILDING HEIGHT.		
a. Min. Building Height	2 stories	2 stories
b. Max. Pedestal Height	7 stories or 100 feet	7 stories or 100 ft.
c. Max. Building Height	See Drawing AS-110	650 ft. max.

¹ Forecourts shall be pedestrian only.
² Not allowed facing Kennedy Causeway.
Note: Development approval shall be valid for thirty years in accordance with these regulations following final approval by the Village Commission unless otherwise approved by development order. Such site plans may be granted no more than two one-year renewals, subject to approval by the Village Commission. To avoid expiration of the site plans, the applicant must apply for and obtain a full building permit within the time frames set forth above, requirements.

Site Plan
NOT FOR CONSTRUCTION

status

SUNBEAM
1401 79th Street Causeway
MIAMI, FL 33141

Site Plan for
Sunbeam NBV SAP

client
project

Revisions

Rev.	Mk'd	Comment
2022.03.24		Site Plan
2022.08.01		Site Plan
2022.09.27		Site Plan

Issue dates

Issue	Date
	September 27, 2022

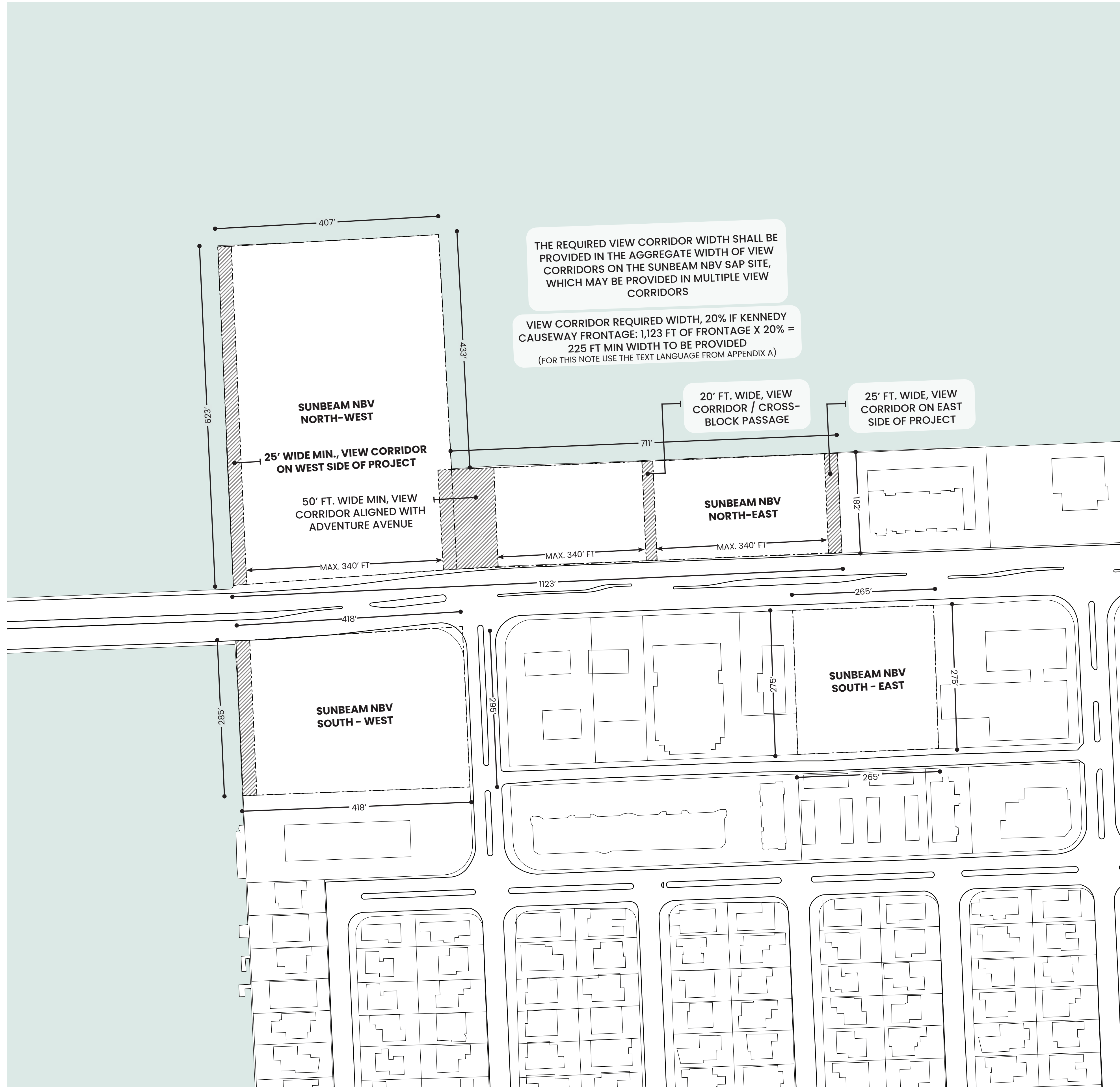
Project data

number	202201
file	Sunbeam NBV Project SAP-SDCD [24/26]
printed	2022.09.27

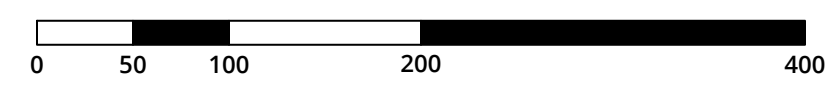
Site Plan Setbacks + Tabulations

AS-1.07

This drawing depicts the design effort of Plusurbia Design for this project and is issued for review solely as an instrument of the services being rendered. It remains the property of this office, and shall not be copied, reproduced or exhibited unless permission in writing is granted.



SUNBEAM NBV SAP - OPEN SPACE / VIEW CORRIDORS / CROSS-BLOCK PASSAGES
 Scale: 1:100



VIEW CORRIDOR STANDARDS

- (a) Purpose and intent. The purpose of a view corridor is to provide visual access to the public from Kennedy Causeway to the water. In addition, it should provide public access to and from the Island Walk in an appealing, Woonerf-type shared space that prioritizes the pedestrian experience over vehicles. The view corridor may serve as the primary pick-up, drop-off and valet zone, and it may provide access to parking, loading and service areas that are screened from view. In the Sunbeam NBV SAP, various view corridors shall be provided and visual access shall be secured by maintaining a minimum two story high clearance zone through the length of the view corridor.
- (b) The aggregate width of view corridor(s) shall equal 20 percent of the aggregate length of all of the parcels fronting Kennedy Causeway. A view corridor shall have a minimum width of 20 feet.
- (c) View corridors shall be open at the ground level, of which 50 percent may be landscaped. All non-landscaped areas shall be paved with pervious pavers.
- (d) The grade shall not rise more than five feet above the Island Walk.
- (e) Landscaping shall be flush with the pavement except that 25 percent of the landscaped area may be in raised planters. The planters shall not be higher than 18 inches above grade and shall be designed to accommodate seating.
- (f) To preserve views and foster safety, there shall be minimal vegetation and foliage between three and eight feet above the grade of the Island Walk. This restriction shall not be construed to limit tree trunks and palms.
- (g) Curbs, if present, shall be flush.
- (h) Vehicular traffic is allowed on no more than 50 percent of the area. Parking is not allowed. Standing vehicles shall not exceed 20 minutes. Turning movements associated with access to loading docks are allowed.
- (i) Vehicular traffic shall be controlled with paving patterns, bollards, flush curbs, and low planters. Where bollards are used, the minimum number should be deployed to control vehicular movements.
- (j) The ground floor of the building facing the view corridor shall contain habitable spaces that are at least 20 feet deep and shall conform to the architectural standards in Section A.3.A.2.e.

ISLAND WALK PUBLIC ACCESS WALKWAYS

- (a) All waterfront properties in the Sunbeam NBV SAP shall provide and maintain a five-foot (minimum) wide public access connection walkway between the Island Walk and Kennedy Causeway.
- (b) The Island Walk Access shall be located within the view corridor. Additional paseos or breezeways are encouraged.
- (c) The path shall be ADA compliant.
- (d) The Island Walk Access shall not be separated or distinguished from the view corridor.
- (e) The Island Walk Access shall be open to the public during the hours of the Island Walk.
- (f) The non-exclusive easement shall be indicated on the submittals for the Site Plan Modification Permit approval process and recorded with the Village.

CROSS-BLOCK PASSAGES

For sites with 340 feet frontage length or more, on the northside of 79th Street Causeway, a cross-block passage or view corridor, as appropriate, shall be provided as indicated in the Sunbeam NBV SAP as shown in Section A.7.C.

If the frontage line of a site is at any point more than 650 feet from a thoroughfare intersection, the building shall provide a cross-block pedestrian passage or view corridor as a recorded public easement, as shown in Section A.7.C. Such a cross-block pedestrian passage may be covered above the second story throughout its length with buildings spanning over the passage or structures connecting buildings, such as a terrace, pedestrian bridge, or vehicular bridge. A pedestrian passage, including paseos, are encouraged to connect Kennedy Causeway to the Island Walk, other thoroughfares, Pirates Alley, parks and other amenities. A pedestrian passage may be roofed and shall be lined with frequent doors and windows.

Block	Requirement
Sunbeam NBV North	one (1) required
Sunbeam NBV South East	zero (0) required
Sunbeam NBV South West	zero (0) required

Site Plan NOT FOR CONSTRUCTION

status

client: **SUNBEAM**
1401 79th Street Causeway
MIAMI, FL 33141

project: **Site Plan for Sunbeam NBV SAP**

Revisions

Rev.	Mk'd	Comment
2022.03.24		Site Plan
2022.08.01		Site Plan
2022.09.27		Site Plan

Issue dates

Issue	Date
	September 27, 2022

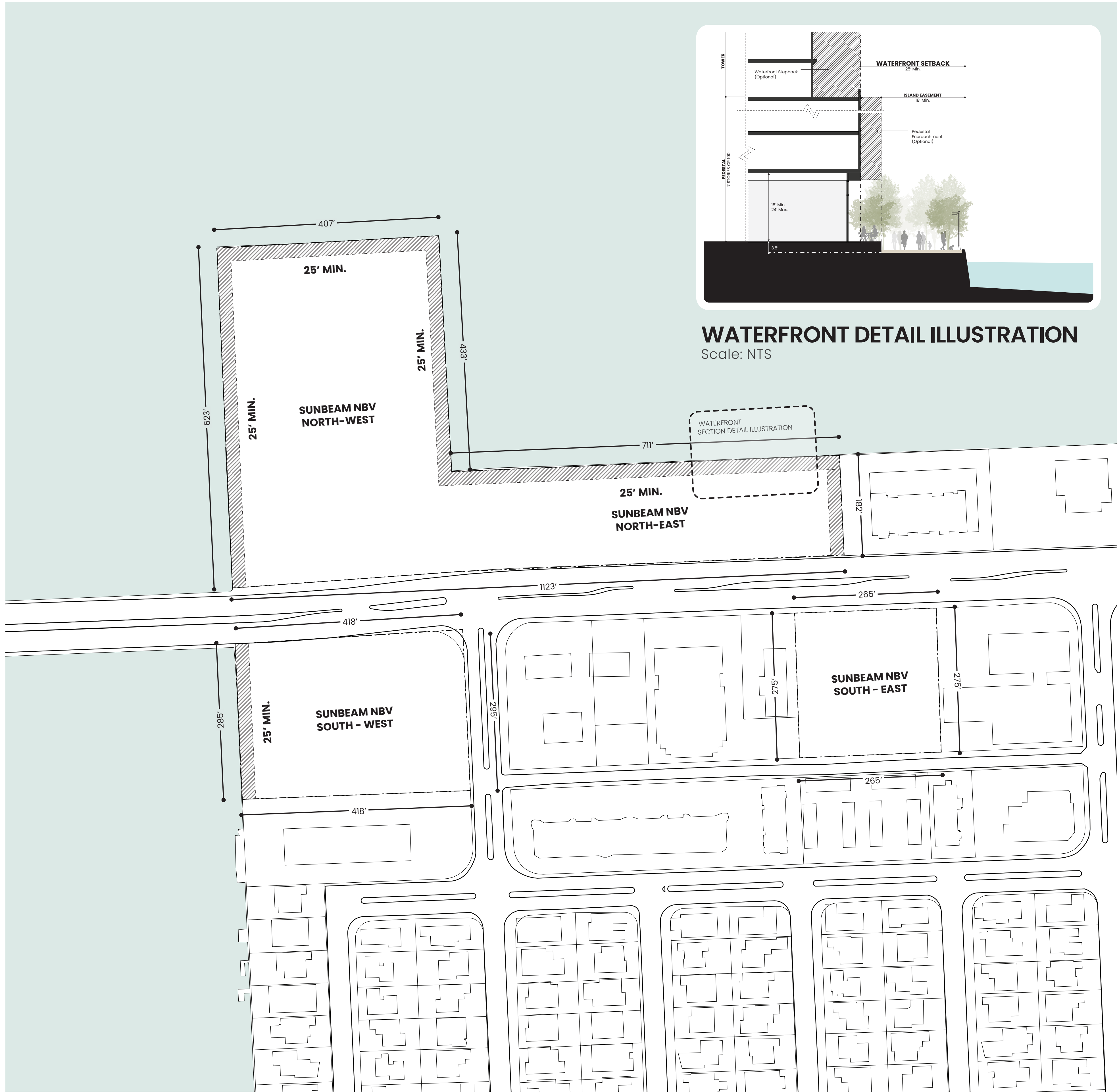
Project data

number	202201
file	Sunbeam NBV Project SAP-SDCD [24/26]
printed	2022.09.27

Site Plan View Corridors + Cross-block Passages

AS-1.08

This drawing depicts the design effort of Plusurbia Design for this project and is issued for review only as an instrument of the services being rendered. It remains the property of this office, and shall not be copied, reproduced or exhibited unless permission in writing is granted.



WATERFRONT DETAIL ILLUSTRATION
Scale: NTS

ISLAND WALK DESIGN STANDARDS

- (a) **Purpose and intent.** The Island Walk is a public access, mixed-use pedestrian promenade along the waterfront that shall feel public, provide visual access to the bay, enhance visual quality, connect to other public areas, and provide venues for public art, historic signage, and environmental education signage. Where practical, retail, restaurants with outdoor dining, boating and fishing activities should be incorporated into waterfront designs. Boat access from the water to the land is encouraged. See also Section A.7.D, Section Detail Illustration.
- (b) **General requirements.**
 - i. Every waterfront property shall provide an 18-foot wide Island Walk easement within the 25-foot waterfront setback.
 - ii. The location of the easement shall be indicated on the site plan for the SAP Permit approval process and recorded with the Village.
 - iii. The Island Walk shall be open to the public from sunrise to sunset every day.
 - iv. Restaurants with outdoor dining, retail, kiosks for food and retail sales are all allowed and encouraged.
 - v. Access to docks for boats or overwater seating is allowed and encouraged.
 - vi. The surface shall be a maximum of eight inches below the sea wall cap.
- (c) **Design standards for the Island Walk.** The easement shall consist of three zones, which are listed below in order from the landward edge of the sea wall cap and progressing landward towards the private property. See Section A.7.B, Section Detail Illustration.
 - i. **Safety zone.** A minimum three-foot wide area adjacent to the sea wall that shall be paved and/or landscaped.
 - (i) Where railings, walls and/or other barriers are not provided along the water's edge, waterfront users should be warned when coming close to the water with a minimum three-foot wide safety zone consisting of a rough textured surface that discourages walking.
 - (ii) Paving within the safety zone shall be a type of cobble stone with "river rock" approximately three-quarters to one and one-half inches in diameter, set in concrete leaving a relief of one-quarter to one-half inches or similar aggregate pavers with ADA domes.
 - (iii) Planting beds shall be a minimum three feet wide with trees planted at grade providing shade to pedestrians. Trees shall be evenly spaced at approximately 20 to 25 feet on center. Low level plantings may be provided at the base of the trees or palms, not to exceed two feet in height. Landscape lighting may be provided to accentuate trees or palms in this area.
 - (iv) In areas between the planting beds, a minimum three-foot wide uniform exposed aggregate finish such as a river rock or other textured surface shall be provided to warn pedestrians of the water's edge meeting Americans with Disabilities Standards.
 - (v) Bollard lighting within the textured surface adjacent to the circulation zone shall be installed to provide pedestrian/pathway lighting. Bollards shall be evenly spaced at the same spacing as trees, when present, or approximately 20 to 25 feet on center.
 - ii. **Circulation zone.** A 12-foot wide minimum unobstructed, linear pedestrian walkway. The maximum width is 18 feet.
 - i. The circulation zone will typically be located immediately adjacent to the riparian right-of-way. However, it may meander within the 25-foot shoreline setback.
 - (i) Offsets in the alignment of the walkway are permitted.
 - (ii) The circulation zone shall align with previously completed portions of the Island Walk on adjacent parcels.
 - (iii) The passive zone shall follow the path of the circulation zone.
 - (iv) The safety zone shall follow the edge of the sea wall.
 - ii. Obstructions to movement (trees, bollards, lighting, etc.) within the circulation zone shall not reduce the clear width of the walkway to less than 12 feet at any point.
 - iii. The circulation zone shall be constructed of non-slip paving materials with high aesthetic appearance and structural qualities to support emergency vehicle access.
 - (i) The circulation zone shall feature a distinctive paving pattern throughout the length of the Island Walk. The pattern shall be approved by the Village Commission.
 - iv. The promenade surface shall be at a constant elevation and shall be accessible to handicapped persons throughout the entire length of the waterfront. Where slopes are required to harmonize with existing conditions, the slope shall be less than 1:20, if possible, so as to avoid handrails.
 - (e) **Passive zone.** A minimum three-foot wide area located along the inland side of the circulation zone, interspersed with shade trees, low level plantings, site furniture, lighting, accessories, and concessions.
 - i. Short lengths of the passive zone not to exceed ten feet each may be elevated up to 36 inches above the level of the promenade for plantings, seating, and enhanced bay views.
 - ii. Benches may have back rests, and their placement shall emphasize direct views of the water.
 - iii. Site furniture may include overhead canopies, concessions, etc. and shall be confined to this zone. All furniture shall be permanently installed preferably by direct burial in concrete.
 - iv. Accessories include benches, trash receptacles, drinking fountains, pedestrian scale light poles and landscape lighting. Appropriate additional furniture including overhead canopies or shelters, drinking fountains, etc., shall be confined to the passive zone.
 - v. The passive zone may be paved in plain concrete or the paver on the main circulation zone.
 - vi. Where the transition zone has active uses, connections shall be provided between the transition zone and the circulation zone.
 - (f) **Transition zone.** A maximum seven-foot wide zone that is the balance of the waterfront setback that is not part of the Island Walk easement. Typically, it is located on the landward side of the easement fronting the building, but it may be located between the easement and the water to accommodate active uses such as outdoor seating. A property owner may opt for no transition zone, in which case the width of the Island Walk easement equals the waterfront setback.
 - i. Active uses are allowed and encouraged, including restaurants, outdoor seating, retail shopfronts, and kiosks/stands for food and retail sales and rental of recreational equipment.
 - ii. Where the building features active uses, these shall be connected to the Island Walk. They shall not be screened visually, except as required for outdoor dining.
 - iii. The entire transition zone may be paved but it is not required to be. The paving should be flush with the Island Walk, pervious and feature a pattern distinct from the circulation zone.
 - iv. If landscaped, the grade may be flush with the Island walk or elevated.
 - v. Security to limit public access to private property may be provided by fences, grade changes or retaining walls. All screens and walls shall be landscaped to reduce their visual impact on the walkway.
 - vi. For adjacent developments that serve the public (i.e., restaurants, shops, hotels, entertainment, etc.) provision of wide, visible, and easy pedestrian access to the waterfront shall be assured.
 - vii. In general, landscaping and security barriers shall not visually screen the waterfront from adjacent active uses, such as retail restaurants, or entertainment.
 - (g) **Exceptions.**
 - i. The path of the Island Walk may be constructed over the water. The overwater version shall follow the same dimensions and include the same zones as described in the design standards for the Island Walk and shall be in addition to the minimum 18 foot width of the upland side of the seawall.
 - (h) **Standards and guidelines for design elements.**
 - i. **Landscaping.**
 - (i) Plant material shall be salt-tolerant and primarily native or Florida-friendly.
 - (ii) Royal Palms or shade trees shall be planted along the safety zone.
 - (iii) Shade trees shall be planted within the passive and transition zones spaced approximately 20 to 25 feet on center.
 - (iv) Low-level plantings, including shrubs, low shrubs, and groundcovers, should be planted at the base of trees and palms to enhance Island Walk aesthetics and to help buffer the walkway perimeters.
 - (v) Raised planters, if used, shall be confined to the passive zone, and planter walls shall double as sitting walls, 18 to 24 inches in height.
 - ii. **Lighting.**
 - (i) Lighting at the water's edge shall be confined to bollards, which shall be 24 to 30 inches high and spaced approximately 20 to 25 feet on center.
 - (ii) Bollards shall be illuminated with 100 watt LED lamps with down illumination not extending beyond the sea wall line.
 - (iii) Overhead lighting shall be confined to the passive zone and consist of down lighting with lamps not over 14 feet high, 175-watt LED, and spaced approximately 40 to 50 feet on center.
 - (iv) Uplighting of landscaping shall not be allowed unless the light source is not visible to adjacent residential units.
 - (v) The color temperature of lamps shall be no more than 2,700K.
 - (vi) Colored lighting, shall not be used for primary lighting but may be used for signs and accent lighting.
 - (vii) Simple contemporary fixture design shall be used as opposed to highly stylized, vintage or period designs.
 - iii. **Signage.**
 - (i) All public access waterfront walks shall be marked with a standard Island Walk identification sign, to be specified by the Village.
 - (ii) All major public access points, including park walkways, roadways, dedicated Crossblock Passages and public plazas, shall be marked with a standard Island Walk identification sign, to be specified by the Village.
 - (iii) Adjacent accessible publicly oriented private development, such as cafes or shops, shall identify the use with signage in the transition zone. See shopfront standards in Section A.5.E and signage standards in Section A.2.F.
 - (iv) Uniformly designed historic or environmental markers and descriptive plaques shall be placed in the passive zone.
 - (v) Signage shall identify access points and adjacent activities (cafes, shops, etc.) for boaters.

Site Plan
NOT FOR CONSTRUCTION

status

SUNBEAM
1401 79th Street Causeway
MIAMI, FL 33141

client

project

Site Plan for
Sunbeam NBV SAP

Revisions

Rev.	Mk'd	Comment
2022.03.24		Site Plan
2022.08.01		Site Plan
2022.09.27		Site Plan

Issue dates

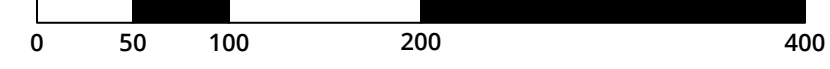
Issue	Date
	September 27, 2022

Project data

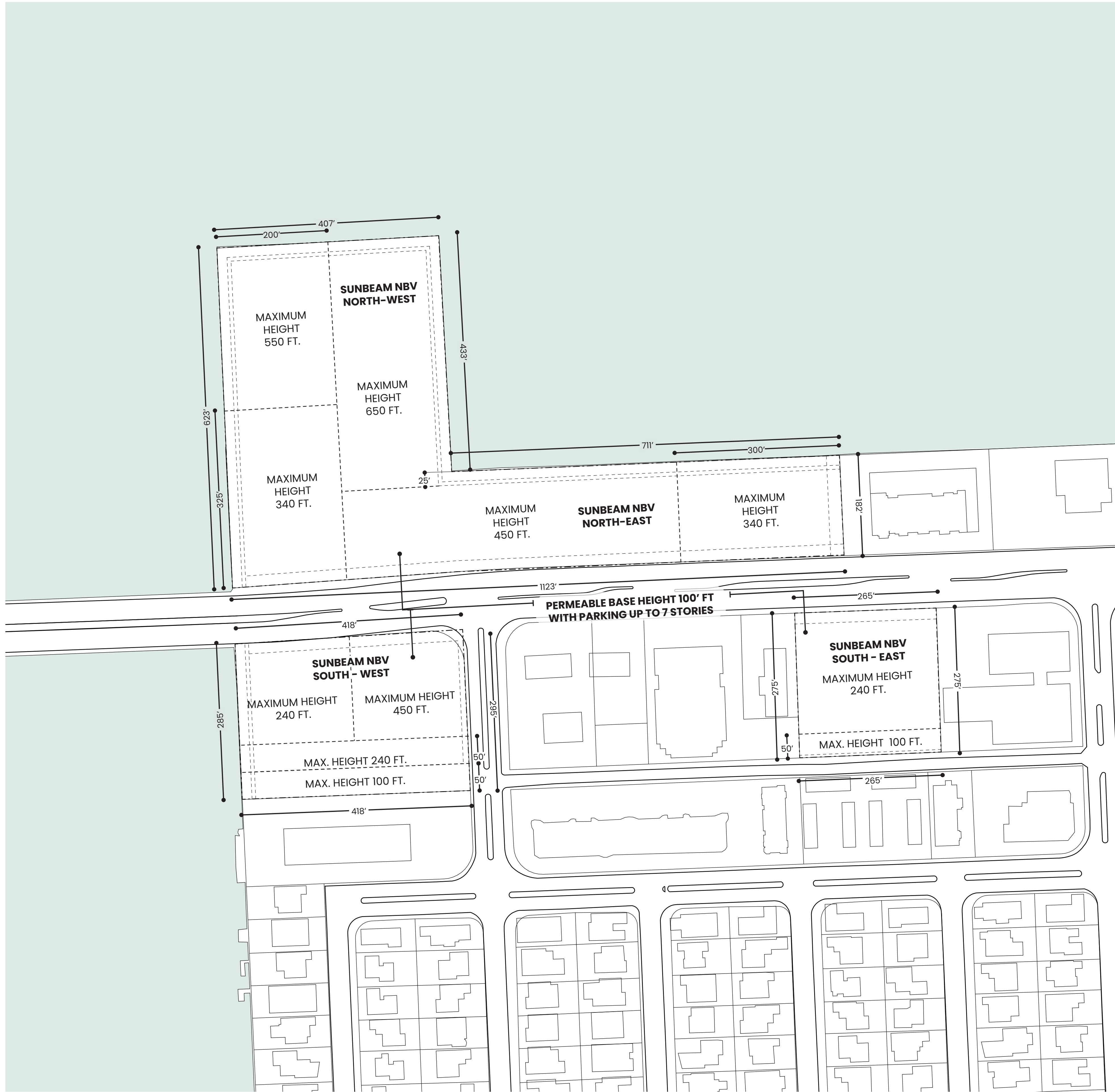
number	202201
file	Sunbeam NBV Project SAP-SDCD [24]26
printed	2022.09.27

Site Plan + Island Walk

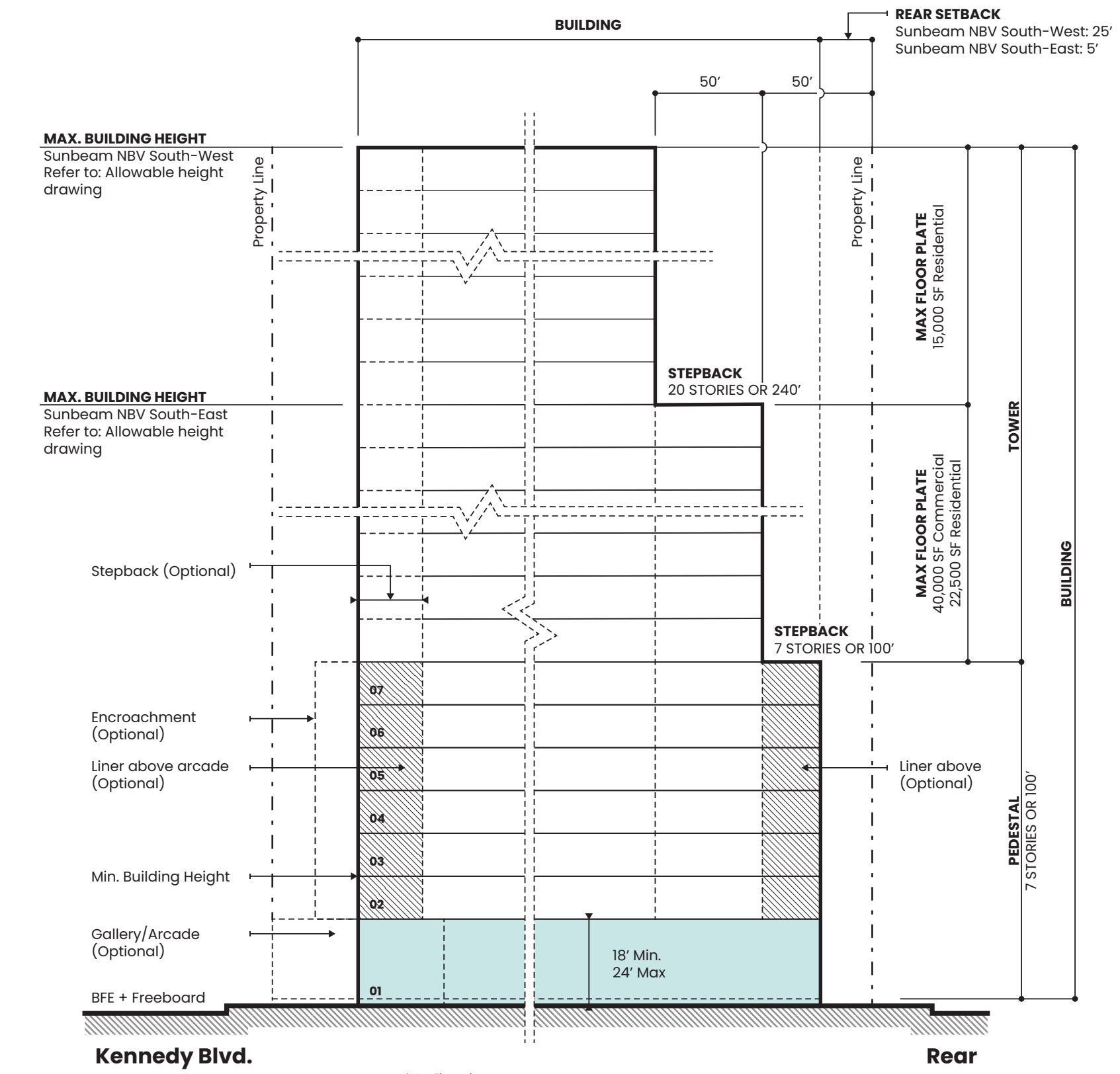
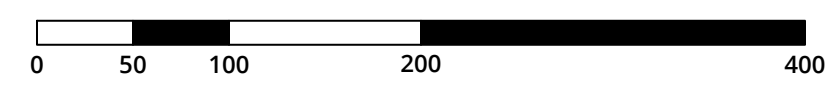
AS-1.09



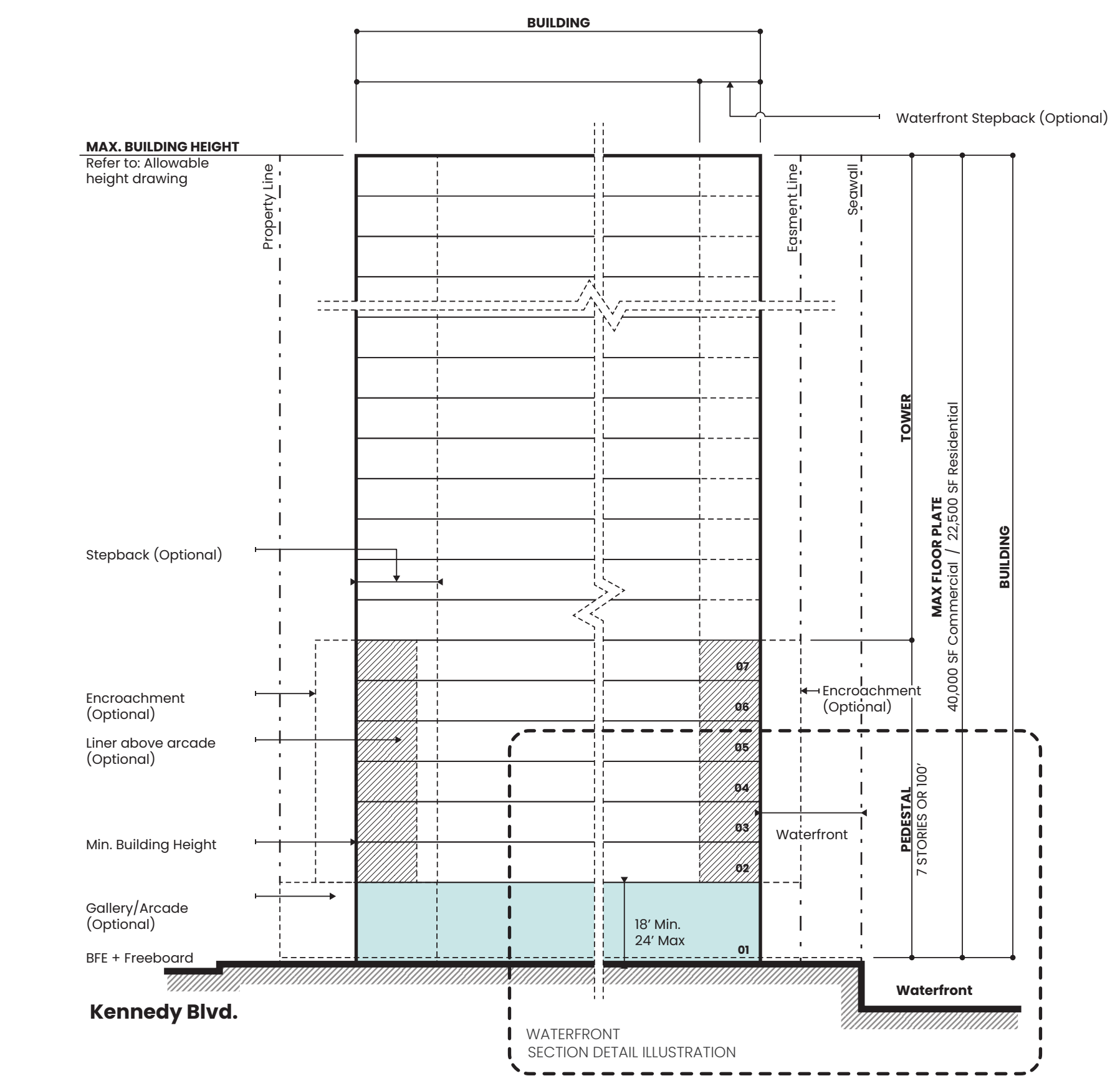
This drawing depicts the design effort of Plusurbia Design for this project and is issued for review solely as an instrument of the services being rendered. It remains the property of this office, and shall not be copied, reproduced or exhibited unless permission in writing is granted.



SUNBEAM NBV SAP - ALLOWABLE HEIGHT
Scale: 1:100



SUNBEAM NBV SOUTH - BUILDING HEIGHT ILLUSTRATION
Scale: NTS



SUNBEAM NBV NORTH - BUILDING HEIGHT ILLUSTRATION
Scale: NTS

Site Plan NOT FOR CONSTRUCTION

status

client

project

SUNBEAM
1401 75th Street Causeway
MIAMI, FL 33141

Site Plan for Sunbeam NBV SAP

Revisions

Rev.	Mk'd	Comment
2022.03.24		Site Plan
2022.08.01		Site Plan
2022.09.27		Site Plan

Issue dates

Issue	Date
	September 27, 2022

Project data

number	file	printed
202201	Sunbeam NBV Project SAP-SDCD [24/26]	2022.09.27

Site Plan Allowable Height

AS-1.10

sheet 12 of 12