

**PROPOSED ZONING CHANGE #1:**

**ALLOW SENIOR RESIDENTIAL USES IN THE SHIRLEY VILLAGE GROWTH I DISTRICT**

**Summary:** This proposed amendment would allow for up to 120 units of “Senior Residential” housing in the Shirley Village Growth I Zoning District.

**Update: What has changed since the second version (November 11, 2014)?** Feedback at the public hearings and meetings (especially in the Town of Shirley) indicated a strong preference for a mandatory affordable housing component in any senior residential project, which is included in this version (see Edit #2, below, for details).

The proposed edits to the Devens By-Laws for this zoning change are shown below. New language is shown as underlined and deletions are shown as ~~crossed out~~.

**Edit #1.** Section V.A.9.b of the Devens By-Laws

“b. Development Goals: The primary goal of this district is to provide commercial and senior residential opportunities for Shirley Village, while at the same time respecting the scale of the existing businesses and abutting neighborhoods. The intent is to accommodate a municipal facilities center, a variety of retail, service, and office uses of small to medium size and residential uses such as senior housing and assisted living.”

**Edit #2.** Section VI.A.3.o (new section) of the Devens By-Laws

“o. Senior Residential. Senior Residential refers to age-restricted residential facilities for individuals at least 62 years old. Such facilities may provide services such as meals, transportation, housekeeping, personal care, specialized care for dementia, and/or health care, in a residential setting. Such facilities may also provide no or limited services. No less than twenty-five (25) percent of any Senior Residential units within the Shirley Village Growth I Zoning District must be deed-restricted so that they are affordable to households earning no more than eighty (80) percent of the area median income as defined by HUD. Alternatively, for rental units only, at least twenty (20) percent of the rental units may be deed-restricted for households earning no more than fifty (50) percent of area median income.”

**Edit #3.** Section IX.E.1 of the Devens By-Laws

“1. The total number of residential units to be allowed within Devens shall not exceed two hundred and eighty-two (282) units, not including Senior Residential units within the Shirley Village Growth I Zoning District, which shall not exceed one hundred twenty (120) units.”

**Edit #4.** Exhibit D (Table of Permitted Uses) of the Devens By-Laws

Add "Senior Residential" to the list of uses under the Residential heading. The use shall be permitted in the Shirley Village Growth I Zoning District and not allowed in all other districts.

### FREQUENTLY ASKED QUESTIONS

**1. Briefly, what would this proposed zoning change do?**

The proposed zoning change would allow for age-restricted (62 and up) senior residential facility ("Senior Residential) of up to 120 units within the Shirley Village Growth I Zoning District.

**2. Where is the Shirley Village Growth I Zoning District located?**

The Shirley Village Growth I Zoning District is located off of Front Street and Hospital Road in the portion of Devens within Shirley's historic boundaries as shown in Figure 1 (zoning map). U.S. Fish and Wildlife and the Town of Shirley previously took title to most of the land in the district, leaving approximately 35 acres to be developed (see Figure 2).



**Figure 1.** Devens zoning map with the Shirley Village Growth I Zoning District highlighted in yellow.

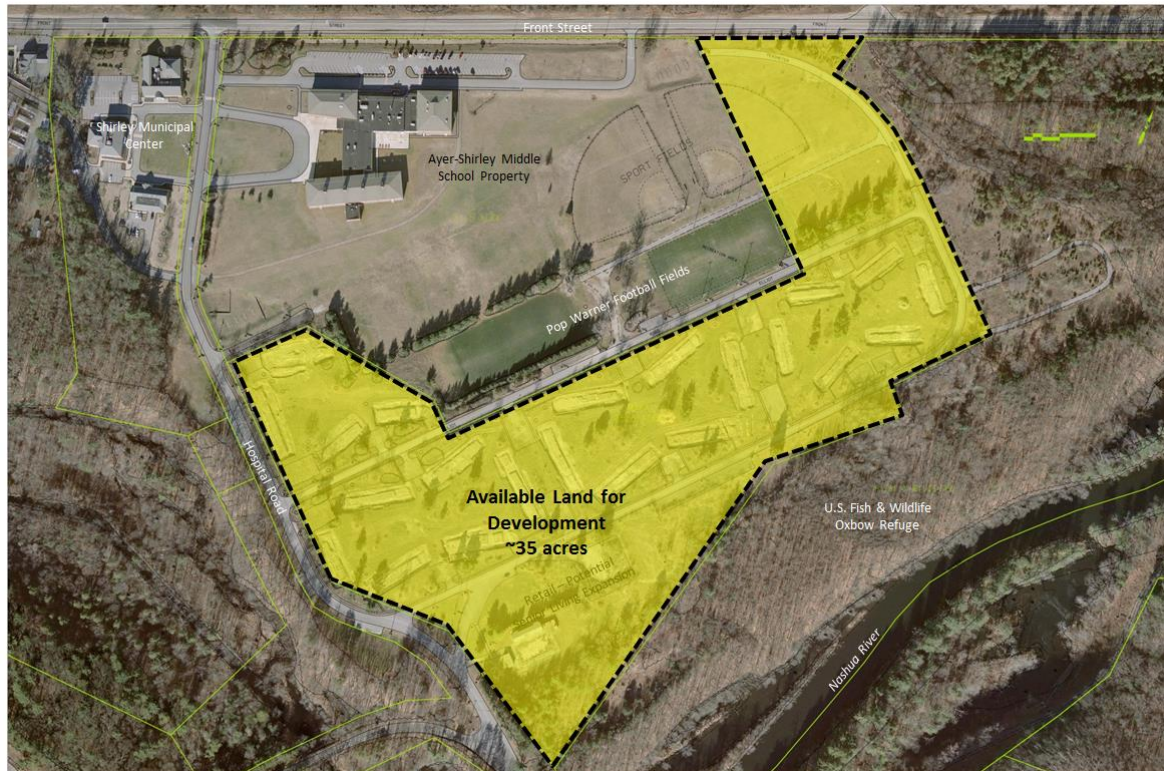


Figure 2. Available land for development within the Shirley Village Growth I Zoning District.

**3. Why allow for senior residential there?**

The Town of Shirley and the Shirley Economic Development Committee initially proposed the concept, as it would “jump start” the redevelopment of the Shirley Village Growth I Zoning District and bring additional activity to the eastern end of Front Street. Market studies, developer interest, and inquiries from local seniors have demonstrated that there is demand for senior housing in the Devens region. The Shirley Village Growth I Zoning District is an attractive potential site for this sort of housing due to its proximity to the library, town hall, shops, restaurants, and other uses in downtown Shirley.

**4. How is “Senior Residential” defined?**

A new zoning category proposed for the Shirley Village Growth I Zoning District, “Senior Residential” would allow for the development of residential facilities for individuals at least 62 years old. Such facilities may provide services such as meals, transportation, housekeeping, personal care, specialized care for dementia, and/or health care, in a residential setting. Such facilities may also provide no or limited services. Services provided will depend on the development and management team.

**5. What about the Devens housing cap?**

Unique among Massachusetts communities, Devens’ zoning includes a housing cap that limits residential

development to 282 units. There are 140 occupied units in Devens today and another 124 planned for the Grant Road neighborhood, leaving just 18 unaccounted units. To accommodate the proposed senior housing, the zoning change would waive the housing cap to allow for up to 120 units of “Senior Residential” within the Shirley Village Growth I Zoning District only.

**6. What are the likely impacts of 120 units of senior housing on existing services?**

The senior housing may generate additional calls for ambulance and emergency medical services. This service would be provided by the Devens Fire Department, which has indicated their ability to handle the increase in demand.

Depending on the nature of the senior housing, the additional units may also generate additional demand for senior services via the Shirley Council on Aging (COA) in Shirley Center. While some senior residential developments will likely provide many or all of their own services (i.e., van transportation, classes, social events, etc.), MassDevelopment and the eventual developer of the facility would work to ensure that the COA is not negatively impacted due to use by residents of the facility.

The senior housing will not generate any school-age children or impact the school system.

**7. Will local residents get preference?**

MassDevelopment will require that the developer grant preference to residents of Shirley, Devens, Ayer, and Harvard to the extent allowed by law.

**8. What sort of income restrictions will apply to the affordable units?**

Future developers will have the option to provide affordable units targeted for households at or below 80 percent of Area Median Income (AMI) or 50 percent of AMI. For illustrative purposes, the income limits for one- and two-person households at these two affordability levels are as follows<sup>i</sup>:

- One person household at 50% AMI: \$34,500
- One-person household at 80% AMI: \$48,800
- Two-person household at 50% AMI: \$39,400
- Two-person household at 80% AMI: \$55,800

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<sup>i</sup> Based on HUD 2015 Income Limits (March 10, 2015) for Boston-Cambridge-Quincy MSA