

9 April 2015
 Pate
 Mr. E
 Jones
 D
 M. H. H. H.

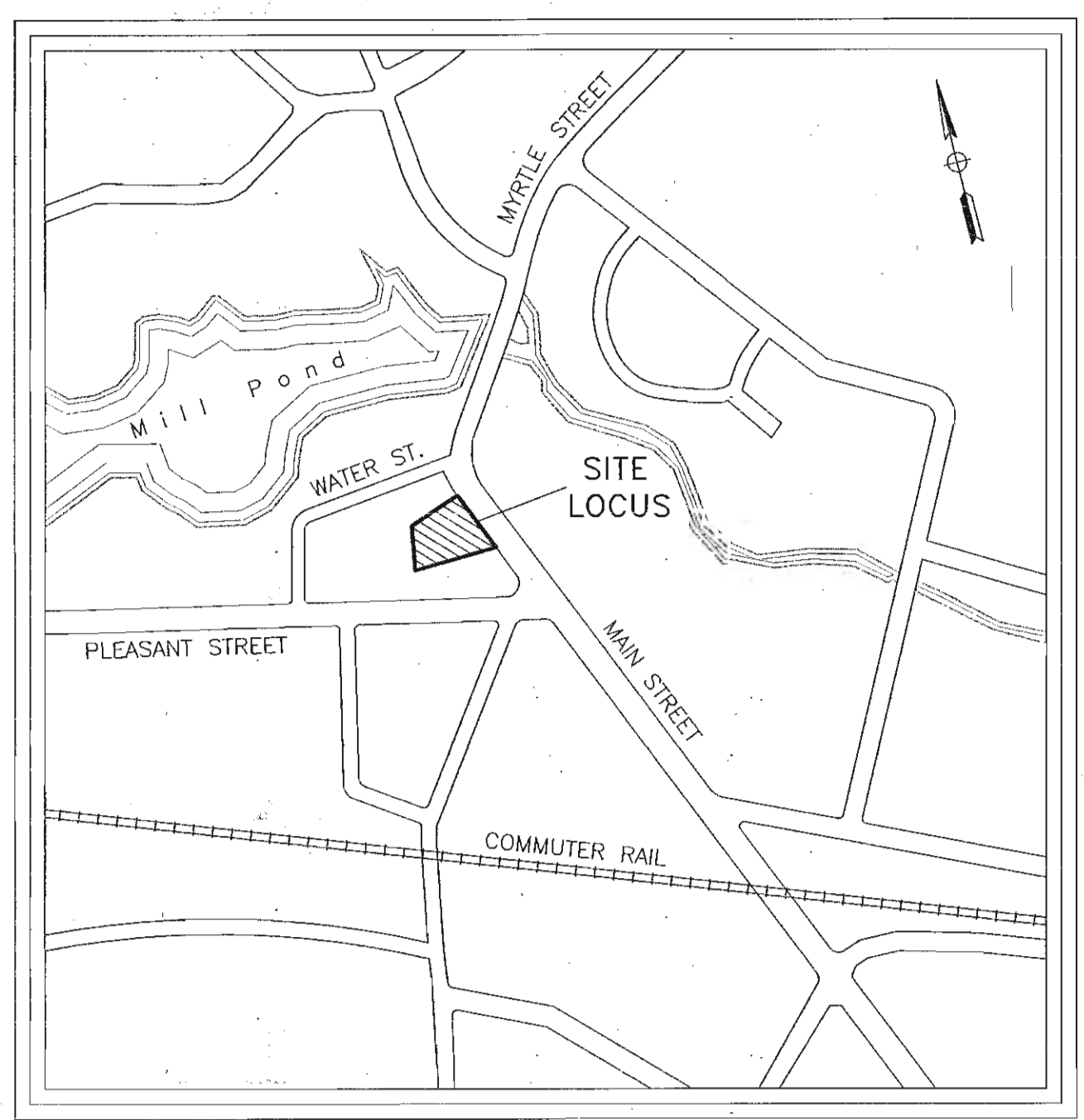
SITE PLAN

- 21 MAIN -

21 MAIN STREET ASHLAND, MA

| ASHLAND, MA ZONING CHART | | |
|--|-----------------------|--------------------|
| THE LOCUS IS LOCATED IN THE COMMERCIAL ADD. "C" ZONE AND IS LISTED AS ASSESSORS LOTS 20 & 21 ON MAP 14 | | |
| ITEM | REQUIRED UNDER ZONING | PROPOSED |
| LOT AREA (MIN.) | 8,000 S.F. | 16,736 S.F. |
| FRONTAGE | 50 FT. | 140.00 FT. |
| FRONT SETBACK (MIN.) | 0 FT. | 9.5 FT. |
| FRONT SETBACK (MAX.) | 15 FT. | 9.5 FT. |
| SIDE SETBACK | 0 FT. | 5.0 FT. |
| REAR SETBACK | 12 FT. | 26.7 FT. |
| F. A. R. | 1.5 | 0.87 |
| BUILDING HEIGHT | 3 FLOORS | 3 FLOORS(38' MAX.) |
| PARKING SPACES | 21 | 21 |

| PARKING SCHEDULE | | |
|-----------------------------|----------|----------|
| ITEM | REQUIRED | PROPOSED |
| STANDARD PARKING (8' x 16') | 20 | 20 |
| HANDICAP PARKING | 1 | 1 |
| TOTAL PARKING | 21 | 21 |



LOCUS PLAN
 N. T. S.

| SHEET INDEX | DATE | REVISED |
|---|-------------------|-------------------|
| EX: EXISTING CONDITIONS | NOVEMBER 1, 2013 | MARCH 20, 2014 |
| C1: LAYOUT PLAN | DECEMBER 18, 2013 | OCTOBER 8, 2014 |
| C2: DRAINAGE, SEWER, WATER & UTILITIES PLAN | DECEMBER 18, 2013 | OCTOBER 8, 2014 |
| C3: GRADING & EROSION CONTROL PLAN | DECEMBER 18, 2013 | OCTOBER 8, 2014 |
| C4: PLANTING & LIGHTING | DECEMBER 18, 2013 | OCTOBER 8, 2014 |
| C5: DETAILS | DECEMBER 18, 2013 | FEBRUARY 24, 2014 |
| C6: DETAILS | DECEMBER 18, 2013 | MARCH 15, 2014 |

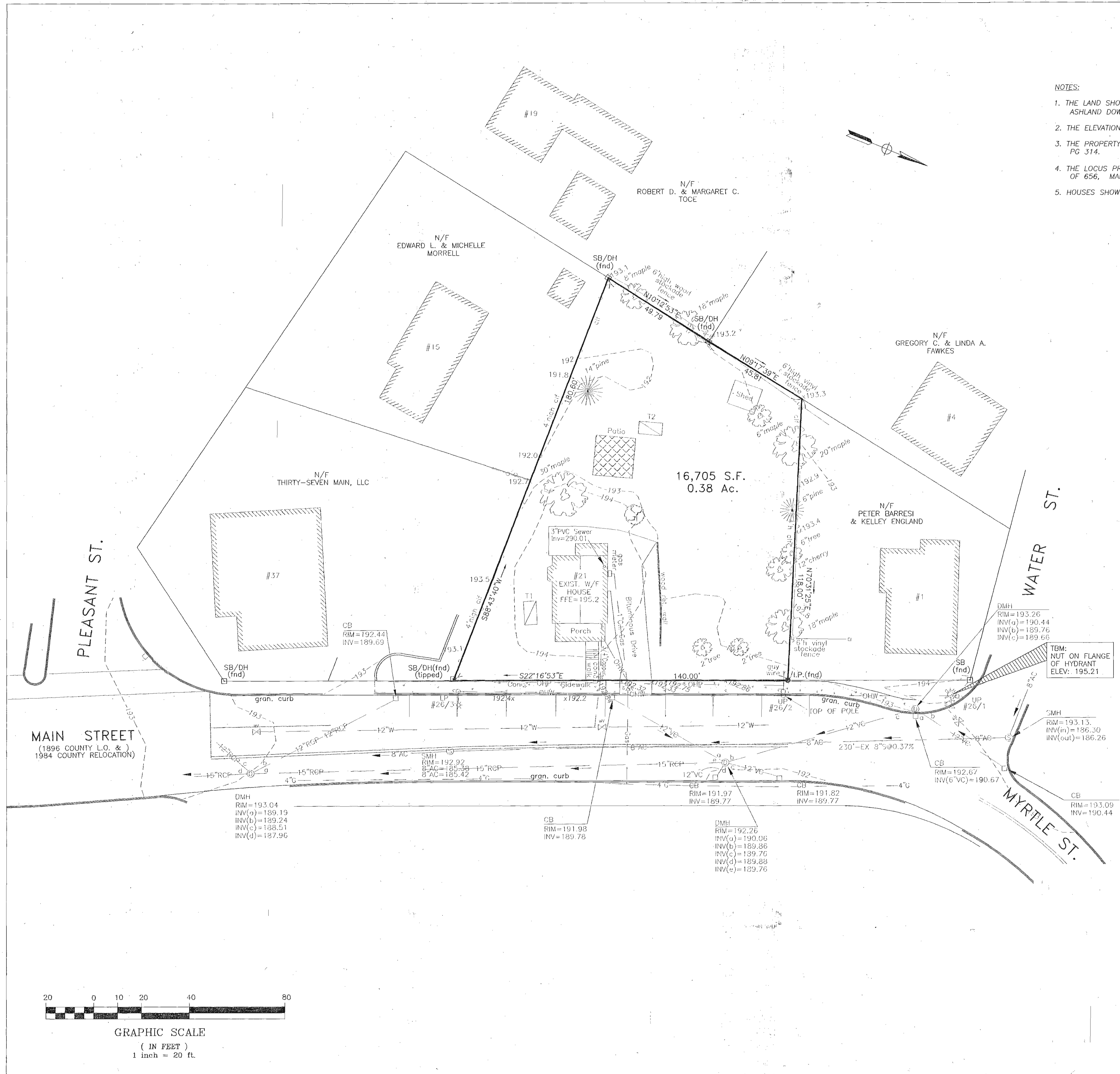
ENGINEER: BRUCE SALUK & ASSOCIATES, INC.
 CIVIL ENGINEERING & LAND SURVEYING
 576 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752
 TEL: 508 485 1662
 FAX: 508 481 9929

APPLICANT: TRASK DEVELOPMENT, INC.
 30 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 TEL: 508 485 0077
 FAX: 508 485 4879

ARCHITECT: JANEZ DESIGN
 1253 WORCESTER ROAD, SUITE 101
 FRAMINGHAM, MA 01701
 TEL: 508 296 0952

2014 MAR 13 PM 12:49

APPROVED
 RECEIVED
 APR 15 2015
 ASHLAND
 PLANNING BOARD
 APPROV. EASTMAN/STANBACH
 APPEAL STAFF

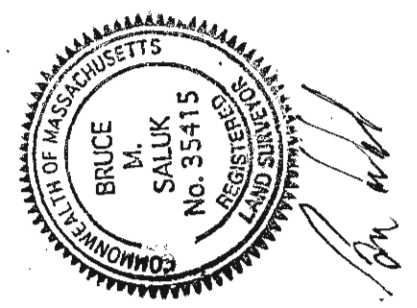


NOTES:

1. THE LAND SHOWN IS LISTED AS ASSESSOR LOTS 20 & 21 ON MAP 14, AND IS LOCATED IN THE COMMERCIAL ASHLAND DOWNTOWN DISTRICT "C".
2. THE ELEVATIONS SHOWN ARE 1929 N.G.V.D.
3. THE PROPERTY SHOWN IS OWNED BY CASEY JENKINS. THE PROPERTY DEED REFERENCE IS BK 60,660 PG 314.
4. THE LOCUS PROPERTY AT 21 MAIN STREET IS LOCATED IN THE FEMA ZONE 'X' ACCORDING TO F.I.R.M. PANEL 514 OF 656, MAP NO. 25017C0514E, DATED JUNE 4, 2013.
5. HOUSES SHOWN ON ABUTTING LOTS WERE TAKEN FROM ASSESSOR MAPS AND ARE APPROXIMATE, ONLY.

9 April 2015
Pat
Ken
Michael

| NO. | DATE | DESCRIPTION |
|-----|---------|------------------------|
| 1 | 1/24/14 | PLAN EDITS |
| 2 | 2/24/14 | PLAN EDITS |
| 3 | 2/24/14 | PEER REVIEW COMMENTS |
| 4 | 3/20/14 | OVER HEAD PRIMARY(OHP) |
| | | BUS |
| | | BUS |
| | | BUS |
| | | BUS |
| | | BY |

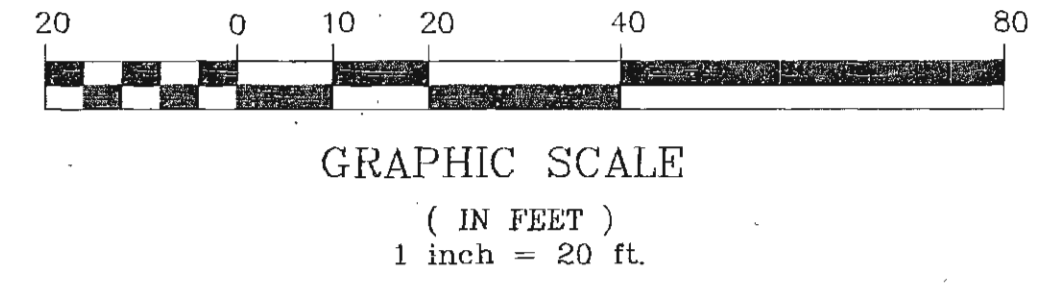


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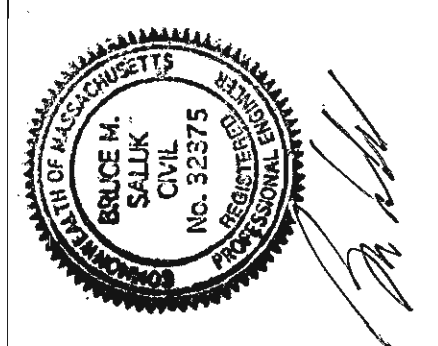
EXISTING CONDITIONS
 -21 MAIN-
 21 MAIN STREET
 ASHLAND, MA

PREPARED FOR:
TRASK DEVELOPMENT, INC.
 30 TURNPIKE ROAD, SUITE 8
 SOUTHBOROUGH, MA 01772
 TEL: 508 481 0077
 FAX: 508 485 4879
 DATE: NOVEMBER 1, 2013
 SCALE: 1" = 20'

EX



| NO. | DATE | DESCRIPTION |
|-----|----------|----------------------|
| 1 | 10/08/14 | BIDS LOCATION & MISC |
| 2 | 10/08/14 | BIDS LOCATION & MISC |
| 3 | 10/08/14 | BIDS LOCATION & MISC |
| 4 | 10/08/14 | BIDS LOCATION & MISC |
| 5 | 10/08/14 | BIDS LOCATION & MISC |
| 6 | 10/08/14 | BIDS LOCATION & MISC |
| 7 | 10/08/14 | BIDS LOCATION & MISC |
| 8 | 10/08/14 | BIDS LOCATION & MISC |
| 9 | 10/08/14 | BIDS LOCATION & MISC |
| 10 | 10/08/14 | BIDS LOCATION & MISC |
| 11 | 10/08/14 | BIDS LOCATION & MISC |
| 12 | 10/08/14 | BIDS LOCATION & MISC |
| 13 | 10/08/14 | BIDS LOCATION & MISC |
| 14 | 10/08/14 | BIDS LOCATION & MISC |
| 15 | 10/08/14 | BIDS LOCATION & MISC |
| 16 | 10/08/14 | BIDS LOCATION & MISC |
| 17 | 10/08/14 | BIDS LOCATION & MISC |
| 18 | 10/08/14 | BIDS LOCATION & MISC |
| 19 | 10/08/14 | BIDS LOCATION & MISC |
| 20 | 10/08/14 | BIDS LOCATION & MISC |
| 21 | 10/08/14 | BIDS LOCATION & MISC |
| 22 | 10/08/14 | BIDS LOCATION & MISC |
| 23 | 10/08/14 | BIDS LOCATION & MISC |
| 24 | 10/08/14 | BIDS LOCATION & MISC |
| 25 | 10/08/14 | BIDS LOCATION & MISC |
| 26 | 10/08/14 | BIDS LOCATION & MISC |
| 27 | 10/08/14 | BIDS LOCATION & MISC |
| 28 | 10/08/14 | BIDS LOCATION & MISC |
| 29 | 10/08/14 | BIDS LOCATION & MISC |
| 30 | 10/08/14 | BIDS LOCATION & MISC |
| 31 | 10/08/14 | BIDS LOCATION & MISC |
| 32 | 10/08/14 | BIDS LOCATION & MISC |
| 33 | 10/08/14 | BIDS LOCATION & MISC |
| 34 | 10/08/14 | BIDS LOCATION & MISC |
| 35 | 10/08/14 | BIDS LOCATION & MISC |
| 36 | 10/08/14 | BIDS LOCATION & MISC |
| 37 | 10/08/14 | BIDS LOCATION & MISC |
| 38 | 10/08/14 | BIDS LOCATION & MISC |
| 39 | 10/08/14 | BIDS LOCATION & MISC |
| 40 | 10/08/14 | BIDS LOCATION & MISC |
| 41 | 10/08/14 | BIDS LOCATION & MISC |
| 42 | 10/08/14 | BIDS LOCATION & MISC |
| 43 | 10/08/14 | BIDS LOCATION & MISC |
| 44 | 10/08/14 | BIDS LOCATION & MISC |
| 45 | 10/08/14 | BIDS LOCATION & MISC |
| 46 | 10/08/14 | BIDS LOCATION & MISC |
| 47 | 10/08/14 | BIDS LOCATION & MISC |
| 48 | 10/08/14 | BIDS LOCATION & MISC |
| 49 | 10/08/14 | BIDS LOCATION & MISC |
| 50 | 10/08/14 | BIDS LOCATION & MISC |



NOTES:

- 1.) PARKING REQUIREMENTS:
 ZONE: COMMERCIAL ASHLAND DOWNTOWN DISTRICT 'C'
 USE: MIXED
 REQUIRED PARKING:
 APARTMENTS-9 AT 2 BEDROOMS EACH = 56.25'X29' = 10.12
 3,300 BUSINESS COMMERCIAL = 56.25'X3300'/180' = 10.31
 TOTAL PARKING SPACES REQUIRED=21
 PROPOSED PARKING= 21 SPACES

- 2.) THE NUMBERED PARKING SPACES SHOWN ARE RESIDENT DESIGNATED SPACES.
- 3.) THIS PROPERTY IS NOT LOCATED WITHIN OR NEAR A WELLHEAD PROTECTION ZONE.
- 4.) IF ALLOWED BY THE TOWN TRASK DEVELOPMENT SHALL PROVIDE 3 NO PARKING SIGNS AS MUTUALLY AGREED BY THE OWNER OF 37 MAIN STREET AND TRASK DEVELOPMENT, INC.
- 5.) OFFSITE MITIGATION WITH NEIGHBORS AS AGREED BETWEEN THE RESPECTIVE PARTIES AND AS SUBJECT TO SEPARATE AGREEMENT.
- 6.) REMOVE EXISTING CHAIN LINK FENCE AND REPLACE WITH 3' HIGH BLACK VINYL CLAD CLF ALONG #37 MAIN ST. PROPERTY WHERE SHOWN.
- 7.) THE PAVERS SHALL COMPLY WITH ABB & ADA ACCESSABILITY REQUIREMENTS.

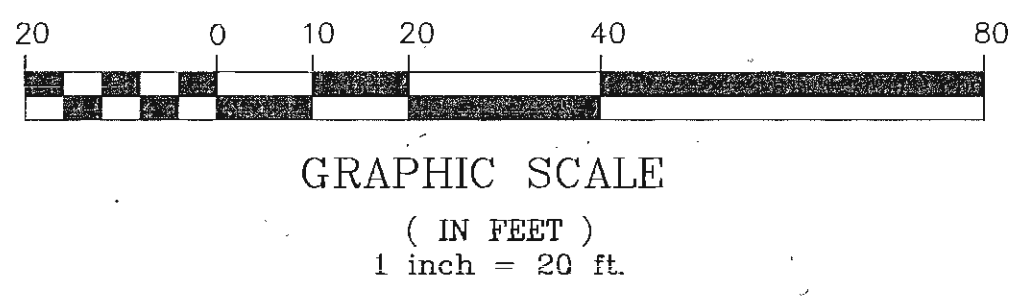
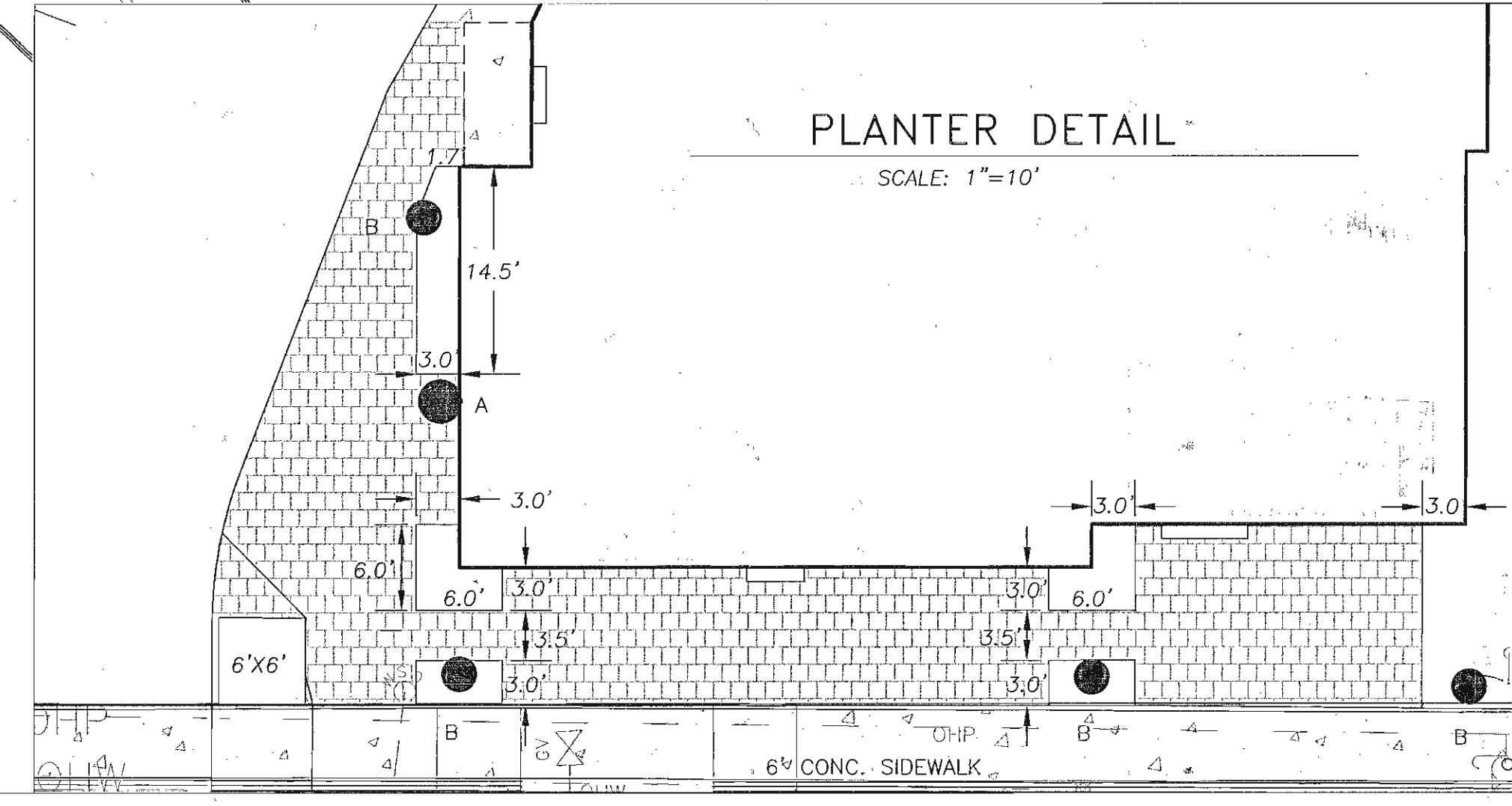
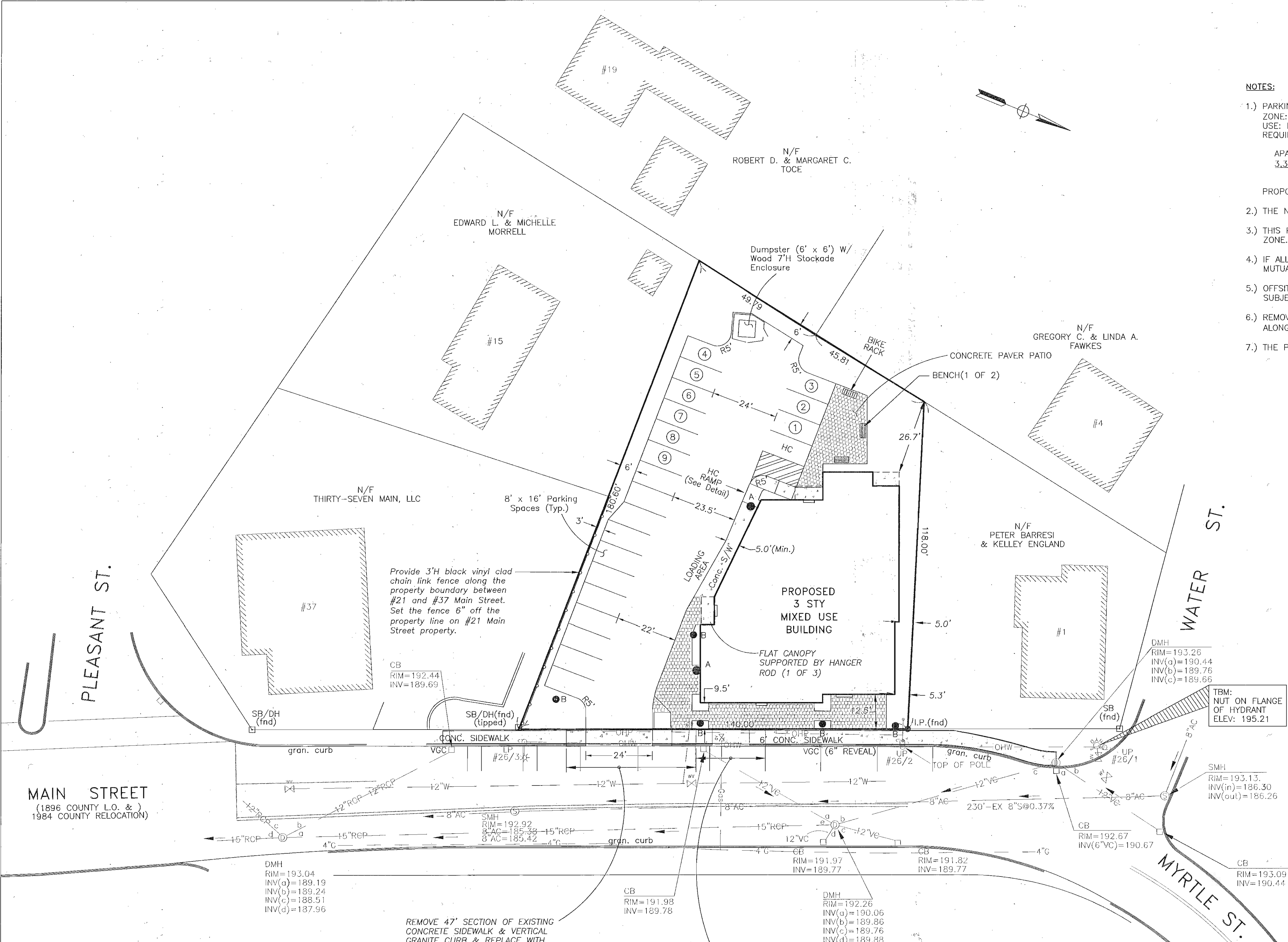
9 April 2015
 [Handwritten signatures and initials]

PREPARED BY:
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 MARLBOROUGH, MA 01752
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LAYOUT PLAN
 -21 MAIN-
 21 MAIN STREET
 ASHLAND, MA

PREPARED FOR:
 TRASK DEVELOPMENT, INC.
 30 TURNPIKE ROAD, SUITE 8
 SOUTHBOROUGH, MA 01772
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C1



REMOVE 47' SECTION OF EXISTING CONCRETE SIDEWALK & VERTICAL GRANITE CURB & REPLACE WITH PROPOSED DRIVEWAY & SIDEWALK TRANSITIONS. REMOVE OR PAINT OVER 4 EXISTING PARKING SPACE MARKINGS AND ADD 1 PARKING SPACE MARKINGS WHERE SHOWN ON THE SOUTH SIDE OF THE PROPOSED DRIVE ENTRANCE.

REMOVE 25' SECTION OF SIDEWALK & CURB & REPLACE WITH NEW VGC & CONCRETE SIDEWALK. PROVIDE PAVEMENT MARKINGS FOR 1 PARKING SPACE (9'X20') WHERE SHOWN ON THE NORTH SIDE OF THE PROPOSED DRIVE ENTRANCE.

DMH RIM=193.26 INV(a)=190.44 INV(b)=189.76 INV(c)=189.66

TBM: NUT ON FLANGE OF HYDRANT ELEV: 195.21

SMH RIM=193.13 INV(m)=186.30 INV(out)=186.26

CB RIM=192.67 INV(6'VC)=190.67

CB RIM=193.09 INV=190.44

DMH RIM=193.04 INV(a)=189.19 INV(b)=189.24 INV(c)=188.51 INV(d)=187.96

DMH RIM=192.26 INV(a)=190.06 INV(b)=189.86 INV(c)=189.76 INV(d)=189.58 INV(e)=189.76

CB RIM=192.44 INV=189.69

CB RIM=191.98 INV=189.78

CB RIM=191.97 INV=189.77

CB RIM=191.82 INV=189.77

PLEASANT ST.

MAIN STREET
 (1896 COUNTY L.O. &)
 1984 COUNTY RELOCATION)

WATER ST.

MYRTLE ST.

N/F EDWARD L. & MICHELLE MORRELL

N/F ROBERT D. & MARGARET C. TOCE

N/F GREGORY C. & LINDA A. FAWKES

N/F THIRTY-SEVEN MAIN, LLC

N/F PETER BARRESI & KELLEY ENGLAND

PROPOSED 3 STY MIXED USE BUILDING

FLAT CANOPY SUPPORTED BY HANGER ROD (1 OF 3)

Dumpster (6' x 6') W/ Wood 7'H Stockade Enclosure

BIKE RACK

CONCRETE PAVER PATIO

BENCH(1 OF 2)

HC RAMP (See Detail)

LOADING AREA

Provide 3'H black vinyl clad chain link fence along the property boundary between #21 and #37 Main Street. Set the fence 6" off the property line on #21 Main Street property.

SB/DH (fnd)

SB/DH (fnd) (tipped)

L.P. (fnd)

TOP OF POLL

CONC. SIDEWALK

gran. curb

gran. curb

gran. curb

gran. curb

gran. curb

gran. curb

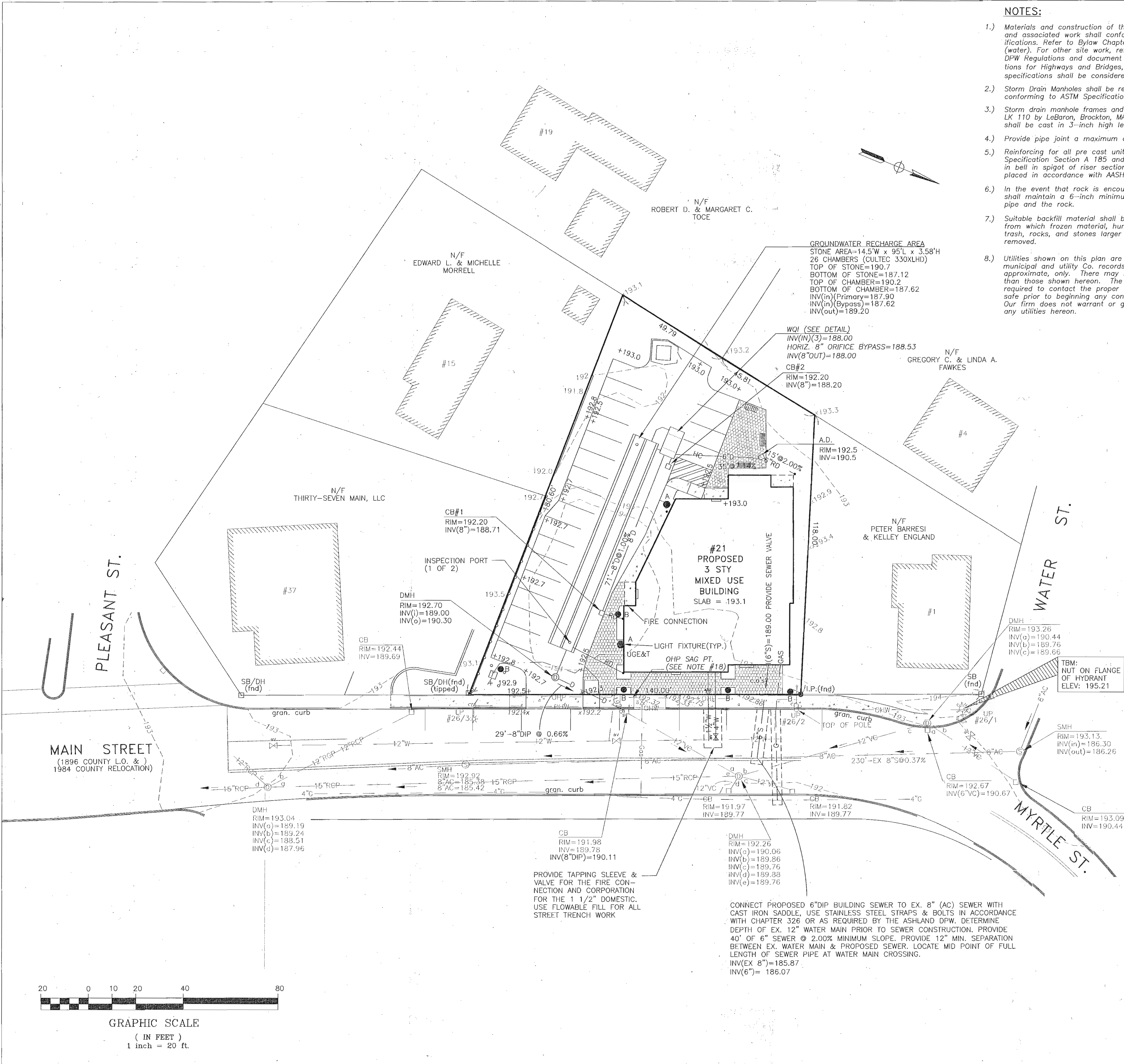
gran. curb

gran. curb

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gran. curb

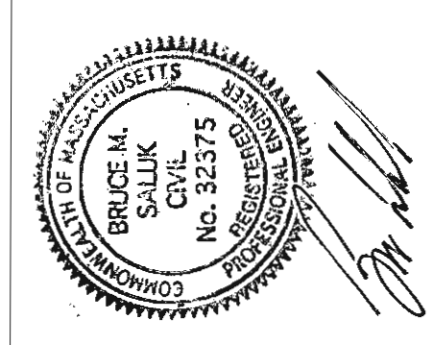


NOTES:

- 1.) Materials and construction of the water and sewer piping and associated work shall conform to Ashland DPW Specifications. Refer to Bylaw Chapters 326 (sewers) and 334 (water). For other site work, refer to The Town of Ashland DPW Regulations and document entitled Standard Specifications for Highways and Bridges, 1988 as amended. Said specifications shall be considered part of this design.
- 2.) Storm Drain Manholes shall be reinforced pre cast concrete conforming to ASTM Specification Section C478-70T.
- 3.) Storm drain manhole frames and covers shall be Cat. No. LK 110 by LeBaron, Brockton, MA, or equal. The word DRAIN shall be cast in 3-inch high letters on the covers.
- 4.) Provide pipe joint a maximum of 3' from manhole walls.
- 5.) Reinforcing for all pre cast units shall conform to ASTM Specification Section A 185 and shall include reinforcing in bell in spigot of riser sections. Reinforcing shall be placed in accordance with AASHTO Designation N199.
- 6.) In the event that rock is encountered, the contractor shall maintain a 6-inch minimum separation between the pipe and the rock.
- 7.) Suitable backfill material shall be select excavated material from which frozen material, humus, peat, roots, vegetation, trash, rocks, and stones larger than 6-inches have been removed.
- 8.) Utilities shown on this plan are partly from existing municipal and utility Co. records information and are approximate, only. There may be existing lines other than those shown hereon. The contractor shall be required to contact the proper utility companies & dig-safe prior to beginning any construction on the site. Our firm does not warrant or guarantee the location of any utilities hereon.
- 9.) The elevations shown are based on Mean Sea Level datum (1929 N.V.D.).
- 10.) High Density polyethylene corrugated pipe (HDPE) shall comply with test methods, dimensions and markings found in AASHTO designations M252 and M294 with HDPE cell classification conforming to ASTM D3350. The elastomeric gasket shall meet ASTM F477 requirements. Installation of the HDPE pipe shall follow either AASHTO, Section 30 methods or ASTM installation practice D2321. The pipe product shall meet or exceed type N-12 pipe manufactured by ADS Pipe, Hilliard, Ohio (800-821-6710).
- 11.) The 6-inch gravity sewer main shall be Class 50 ductile iron conforming to Town of Ashland Bylaw Chapter 326. The fittings and accessories shall be ductile iron with mechanical joints manufactured and furnished by the pipe manufacturer, and have bell and spigot connections identical to that of the pipe.
- 12.) Sewer cleanouts shall be provided for each building connection, as approved by the DPW Sewer Department.
- 13.) All water and sewer material and construction shall conform to the Town of Ashland Chapters 334 and 326.
- 14.) All water and sewer construction shall be inspected by the Town of Ashland before being backfilled.
- 15.) The Town shall be notified at least 24 hours prior to the required inspections.
- 16.) Roof Drains shall be 6" diameter PVC (Sch 40), the DMH#1 outlet pipe shall be DIP and all other drains shown shall be HDPE.
- 17.) Town of Ashland Bylaw Chapter 326-17(B) requires a backwater valve for the sewer connection. The backwater valve shall be installed between 2 sewer cleanouts positioned on private property, adjacent to the building, where shown on the plan. Refer to the standard detail on file at the DPW office. Cleanout cover shall be Zurn Z1440, or equal.
- 18.) The overhead primary power(OHP) line closest to the proposed building was located by instrument survey and shown on the plan. The height of the primary power line was measured at 40 FT above the sidewalk grade at pole #26/3, 38 FT above the sidewalk at pole#26/2 and 37 FT above grade at the point denoted on the plan as the OHP sag point.

9 April 2015
Pat
Ken
Joe
midway

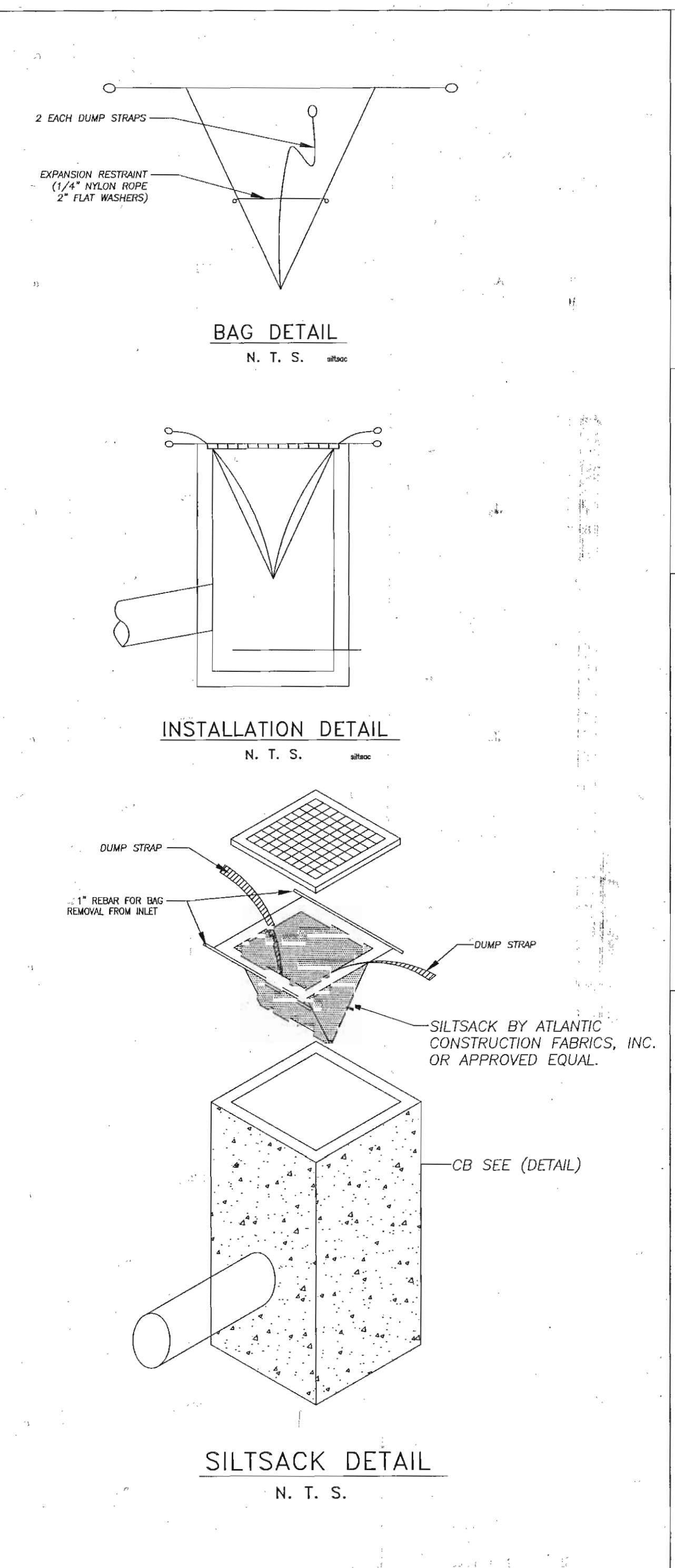
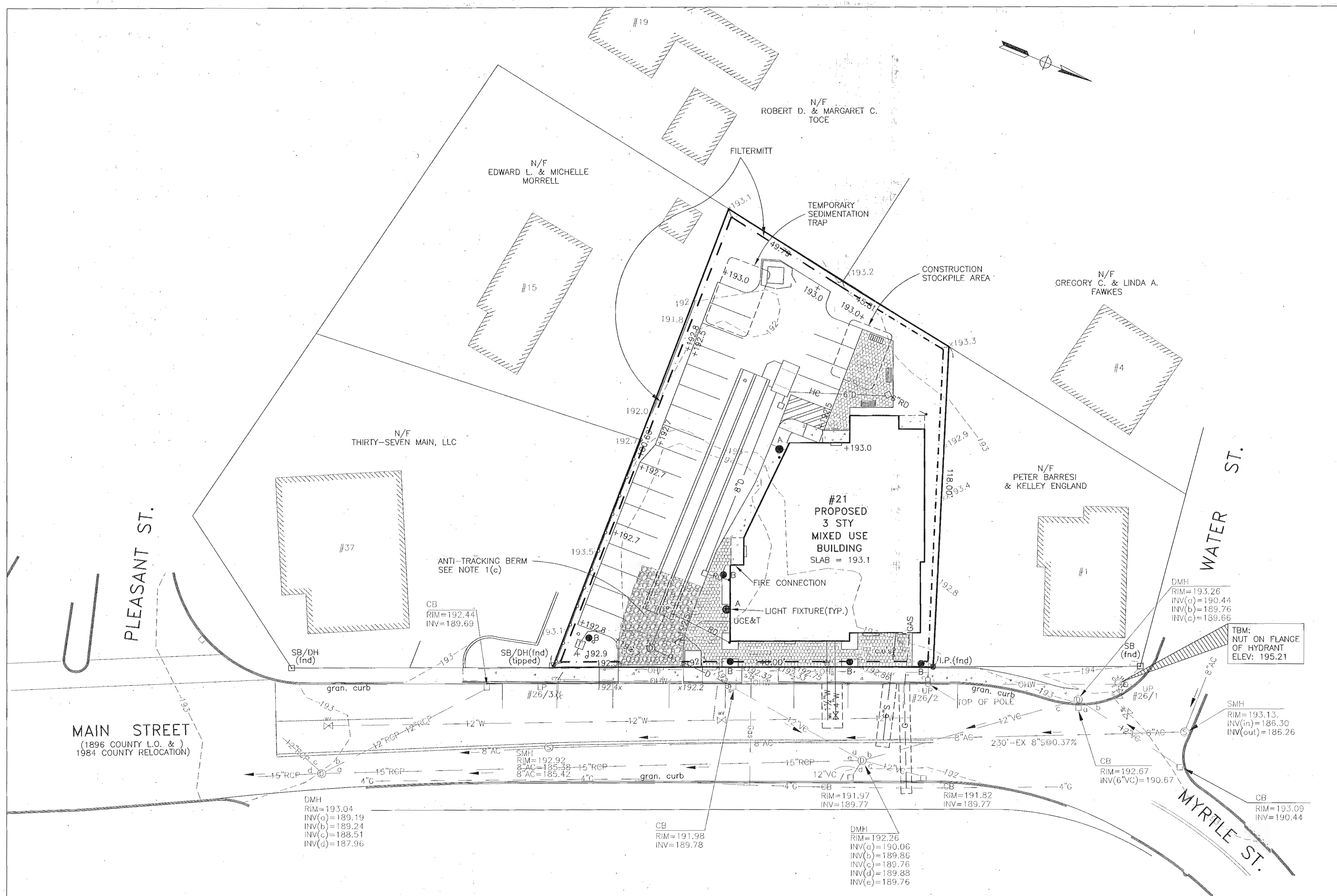
| NO. | DATE | DESCRIPTION |
|-----|----------|-----------------------------|
| 1 | 1/24/14 | GROUNDWATER RECHARGE SYSTEM |
| 2 | 2/17/14 | PLAN EDITS |
| 3 | 2/20/14 | PLAN EDITS |
| 4 | 2/24/14 | FEED REVIEW COMMENTS |
| 5 | 3/20/14 | BUILDING LOCATION |
| 6 | 10/08/14 | BUILDING LOCATION |



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DRAINAGE, SEWER, WATER & UTILITIES PLAN
 -21 MAIN-
 21 MAIN STREET
 ASHLAND, MA

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 30 TURNPIKE ROAD, SUITE 8
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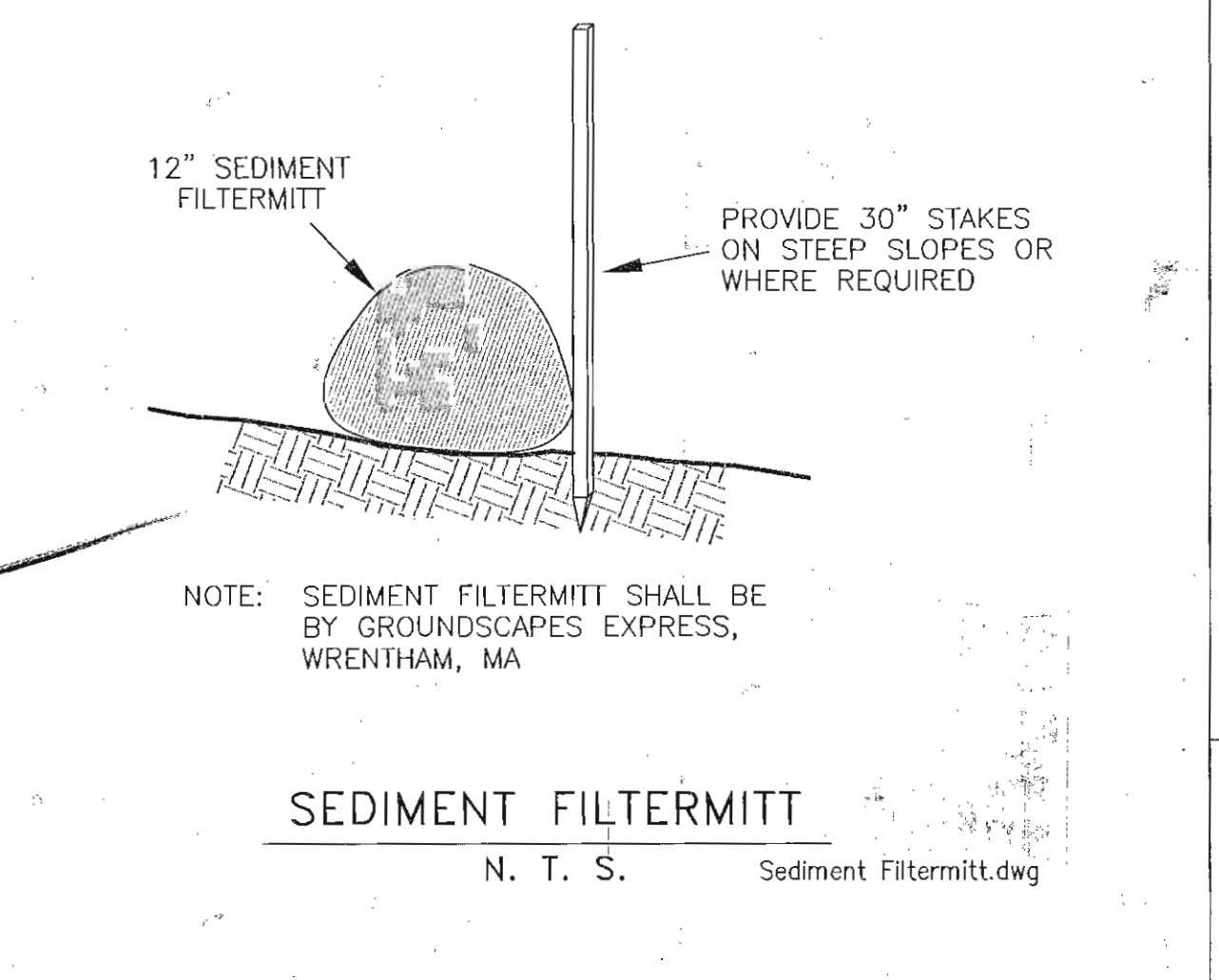
GRADING & EROSION CONTROL NOTES:

- 1.) Prior to commencing work, the contractor shall familiarize himself with the soil types on the site, and provide the appropriate erosion control measures, as outlined on this plan and Ashland Conservation Commission Storm water permit conditions. The contractor shall be responsible for providing erosion and temporary storm runoff control measures that includes siltation fence, filtermitt, dams, ditches, temporary sediment basins, etc. as necessary to contain soil and excess runoff on the site. The Conservation Commissions Storm water permit shall be posted in the construction trailer and issued, by the construction manager to the earthwork subcontractor.
- 2.) Siltation fencing and staked filtermitt shall be installed prior to commencing work at this site, and shall be maintained throughout the course of construction until vegetation on the site has had a chance to fully establish itself.
- 3.) Soil stripping and removal at any one time shall be done in stages in order to minimize the amount of exposed soil for the project. Soil stabilization measures shall be implemented immediately after finish grading. Loam and seed shall be applied as soon as reasonably possible.
- 4.) All stock pile area shall not exceed 10 ft in height, otherwise safety fencing shall be installed around stock pile areas.
- 5.) The groundwater recharge area shall not be installed until the site has been sufficiently established to prevent silt and sediment from entering the chamber system. The use of the chamber system to control runoff and erosion control during site construction is prohibited.
- 6.) Silt sacks shall be installed at the area drain and all CB's. Silt sacks shall be cleaned and replaced throughout construction and until the site is stabilized and erosion free.
- 7.) Acceptable siltation fence is Mirafi, Inc. Charlotte, NC, Model 100x, or equal.
- 8.) Houses shown on abutting lots were taken from Assessor Maps and should be considered approximate, only.

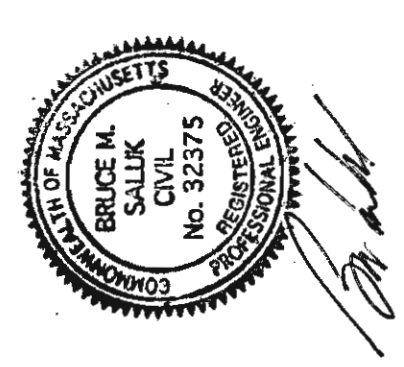
The general sequence of erosion control measures shall be as follows:

- a) Install all siltation fencing and staked filtermitt, as shown on the plan.
- b) Construct other temporary sedimentation trap(s) where required at the beginning stage of earthwork. Retain storm water within the trap(s), and filter the water using Silt bags, or other approved means prior to discharge. Periodically remove sediment at the bottom of the silt traps to allow for natural infiltration.
- c) Construct traffic berm at the site entrance consisting of a 3/4"-3" crushed stone 12" depth by 30' long times the width of the traveled construction access road. The stone shall project above grade to form a berm barrier that prevents sediment from washing into abutting properties.

9 April 2015
Poste
Mark R...
John...



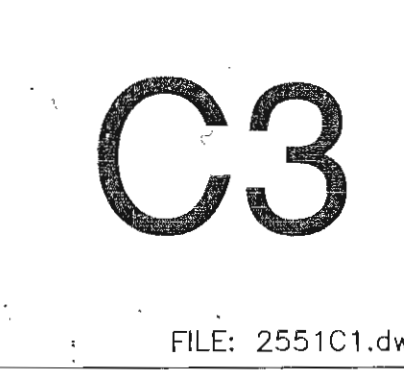
| NO. | DATE | DESCRIPTION | BY |
|-----|----------|------------------------|-------|
| 1 | 1/22/14 | EROSION CONTROL DETAIL | BRUCE |
| 2 | 1/22/14 | EROSION CONTROL DETAIL | BRUCE |
| 3 | 2/24/14 | PER REVIEW COMMENTS | BRUCE |
| 4 | 3/20/14 | BLDG LOCATION | BRUCE |
| 5 | 10/29/14 | BLDG LOCATION/SIZE | BRUCE |

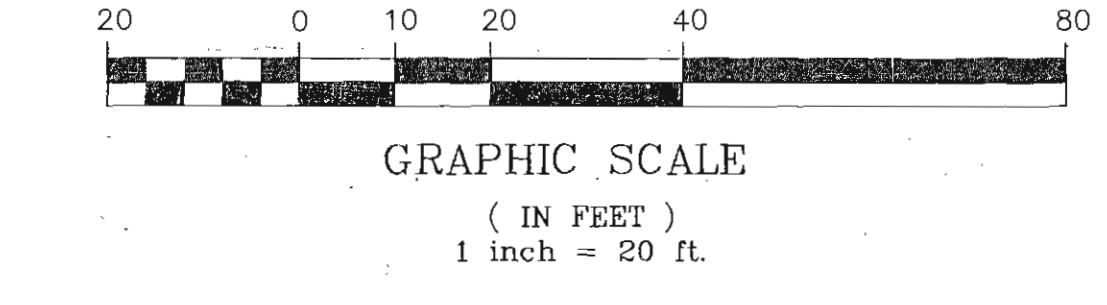
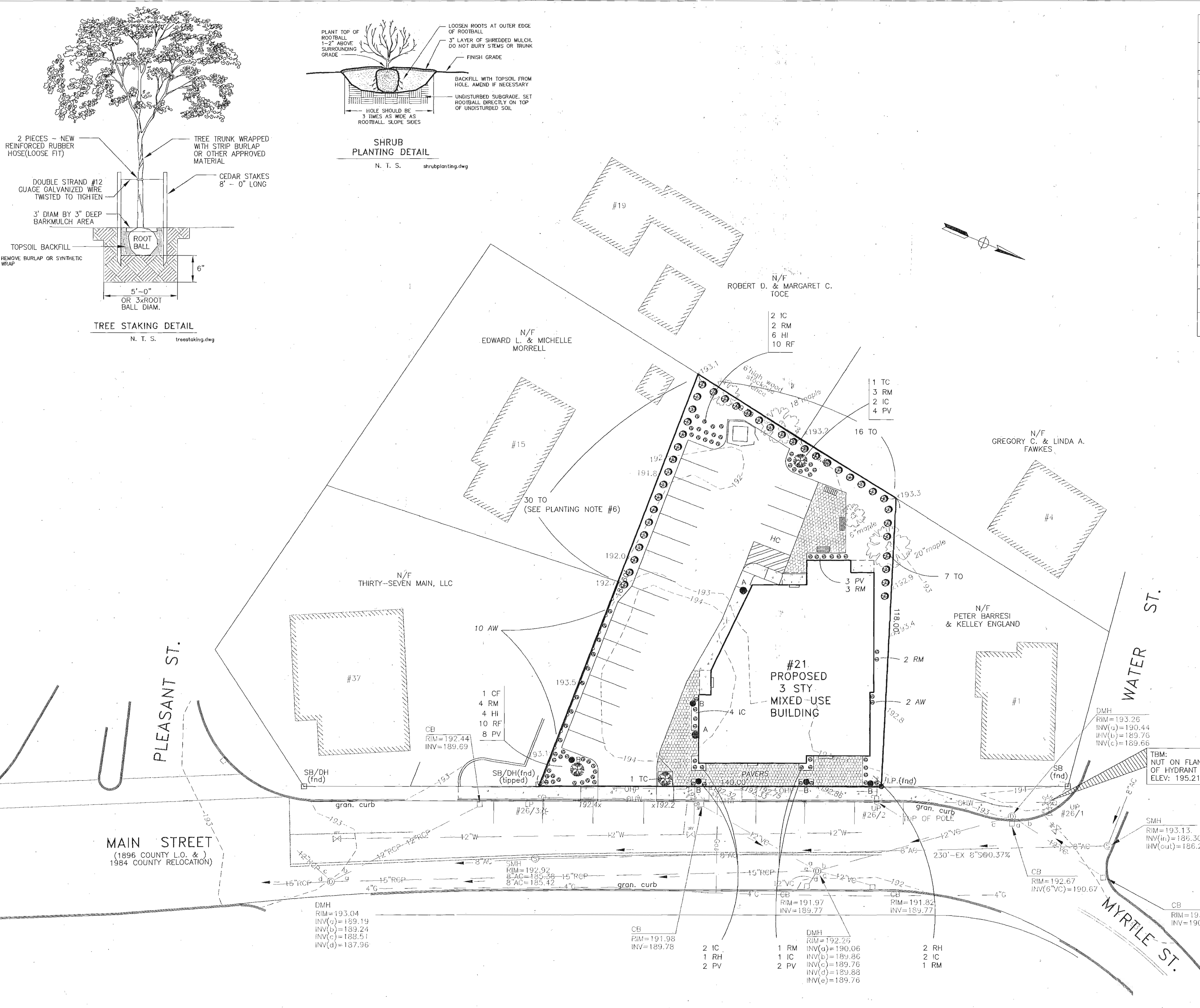


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GRADING & EROSION CONTROL
 -21 MAIN STREET
 ASHLAND, MA

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| Symbol | Qty | Label | Description* | Arrangement |
|--------|-----|-------|--------------------------|-------------|
| ● A | 2 | A | WALL MOUNT AREA LIGHTING | SINGLE |
| ● B | 5 | B | BOLLARD LIGHTING | SINGLE |

* SEE LIGHTING NOTE #4

| KEY | QTY | BOTANICAL NAME | COMMON NAME | SIZE |
|-----|-----|-------------------------------------|------------------------|-----------------------|
| TO | 53 | Thuja Occidentalis | American Arborvitae | 8'-10' * |
| CF | 1 | Cornus Florida | Flowering Dogwood | 3" Caliper (5' - 10') |
| TC | 2 | Tilia Cordata (Greenspire) | Little Leaf Linden | 3" Caliper (5' - 10') |
| IC | 13 | Ilex crenata 'Steeds' | Steeds Holly | 2'-3' |
| RM | 16 | Rhododendron | Azalea Mother's Day | 2'-3' |
| RH | 3 | Rhododendron x 'P.J.M.' | P.J.M. Rhododendron | 2'-3' |
| HI | 10 | Hydrangea Arborescens Annabelle | Hydrangea Incredible | 2'-3' |
| PV | 19 | Pennisetum Alopecuroides | Dwarf Fountain Grass | 30" |
| RF | 20 | Rudbeckia Fulgida | Black Eye Susan | --- |
| AW | 12 | Spiraea x bumalda 'Anthony Waterer' | Anthony Waterer Spirea | 2'-3' |

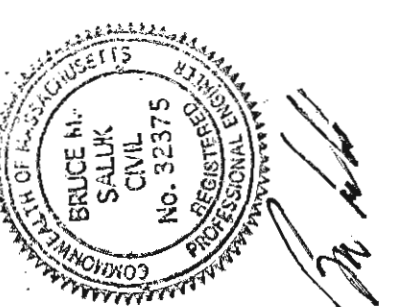
* SEE PLANTING NOTE #6

- PLANTING NOTES:**
- FOR LOAM & SEED AREAS, PROVIDE 4" LOAM AND SEED MIX COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA.
 - PROVIDE TREES, SHRUBS AND OTHER PLANTS OF SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK".
 - FINAL PLANT LOCATIONS TO BE ADJUSTED IN FIELD AS NECESSARY TO PROVIDE REQUIRED OFFSETS TO CONSTRUCTION APPURTENANCES AND UTILITIES, ETC.
 - PLANTINGS ARE SUBJECT TO CHANGE DUE TO NURSERY STOCK AVAILABILITY, AS APPROVED.
 - PLANTING AND WORKMANSHIP SHALL COMPLY WITH THE FOLLOWING:
 - TREES SHALL BE 3" CALIPER
 - STAKING MATERIALS TO BE REMOVED 1 YEAR AFTER PLANTING.
 - OWNER REPLACES TREES AND SHRUBS THAT DIE WITHIN 180 DAYS.
 - PLANTING OF AMERICAN ARBORVITAE AT LEAST 10 FT TALL ALONG THE COMMON PROPERTY LINE WITH 15 PLEASANT STREET, WITH SPACING OPTIMIZED FOR PRIVACY AND HEALTH OF THE VEGETATION.

- LIGHTING NOTES:**
- LUMINAIRE & HARDWARE SHALL BE PROVIDED BY THE MANUFACTURER SPECIFICATIONS.
 - CONDUIT ALIGNMENT SHOWN ARE SCHEMATIC ONLY. ALL MATERIALS WORKMANSHIP SHALL COMPLY WITH APPLICABLE LOCAL AND MASSACHUSETTS STATE ELECTRICAL CODE. IN THE EVENT OF CONFLICT BETWEEN DESIGN AND GOVERNING CODE OR ORDINANCE, THE MORE STRINGENT STANDARD SHALL APPLY. THE CONTRACTOR SHALL MAKE APPROPRIATE ADJUSTMENTS TO ACCOMMODATE LANDSCAPE FEATURES. AVOID UNNECESSARY BENDS ALONG THE CONDUIT. CHANGES IN DIRECTION EXCEEDING A TOTAL OF TEN (10) DEGREE EITHER VERTICALLY OR HORIZONTALLY, SHALL INCLUDE LONG SWEEP BENDS.
 - ALL UNDERGROUND WIRES SHALL TO BE IN PVC SCH 80 CONDUIT.
 - EXTERIOR LIGHTING SHALL BE THE STYLE AND QUALITY MATCHING OR EXCEEDING THE LIGHTING AT THE ASHLAND TOWN HALL. LIGHTING MUST PRODUCE DOWNWARD-FACING ILLUMINATION WITH NO DIRECT ILLUMINATION INTO THE ADJUTING PROPERTIES. THE PARKING AREA SHOULD BE CONTINUOUSLY ILLUMINATED AT NIGHT. PERIMETER LIGHTING ON THE NORTH AND WEST SIDES OF THE BUILDING (WHERE THERE IS NO PARKING) SHOULD BE MOTION ACTIVATED ONLY (UNLESS ZONING OR BUILDING REQUIREMENTS STATE OTHERWISE) WITH LIGHTS REMAINING ILLUMINATED FOR NO MORE THAN 5 MINUTES WITHOUT ACTIVATION.

9/21/2015
 [Signature]
 [Signature]
 [Signature]

| NO. | DATE | DESCRIPTION | BY |
|-----|----------|--------------------------------|-----|
| 1 | 10/08/14 | PLANTING AND LIGHTING | BMS |
| 2 | 3/20/14 | BUILDING LOCATION | BMS |
| 3 | 2/29/14 | PEER REVIEW COMMENTS | BMS |
| 4 | 2/27/14 | PLANTING, PARKING, PAVING AREA | BMS |

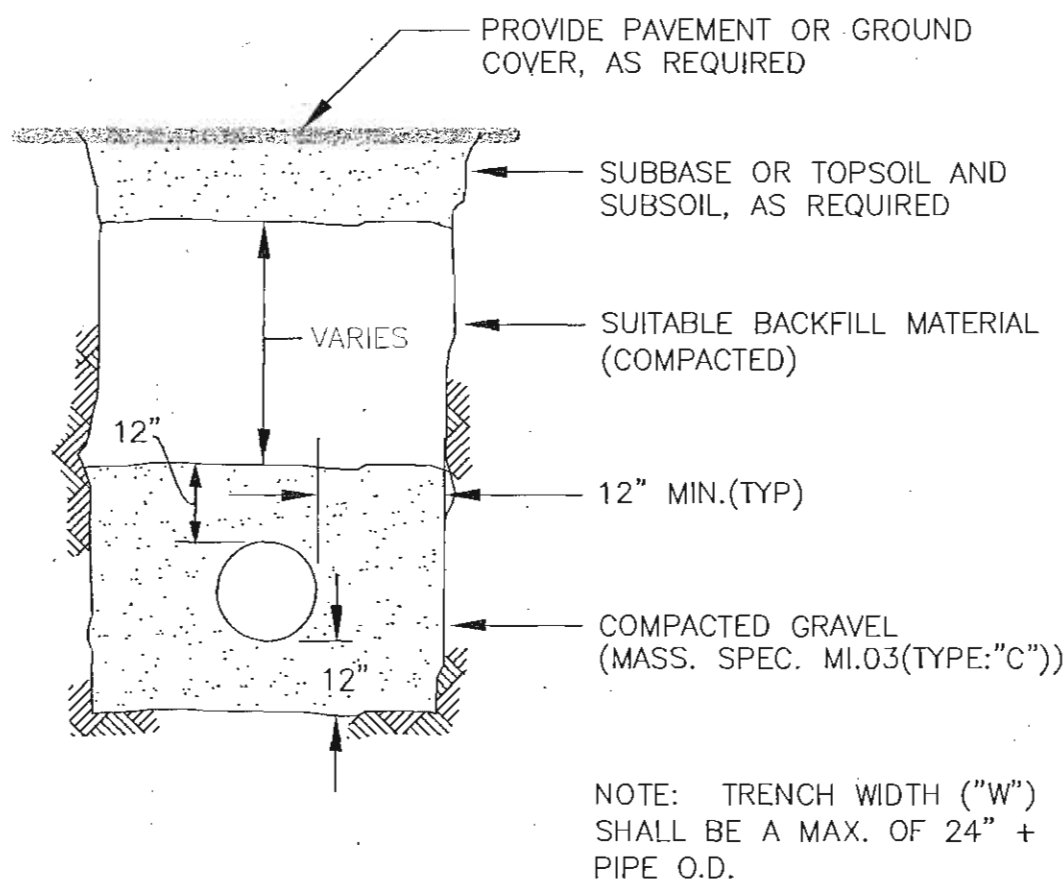


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 TEL: 508 485 1662
 FAX: 508 481 9929

PLANTING & LIGHTING PLAN
 -21 MAIN-
 21 MAIN STREET
 ASHLAND, MA

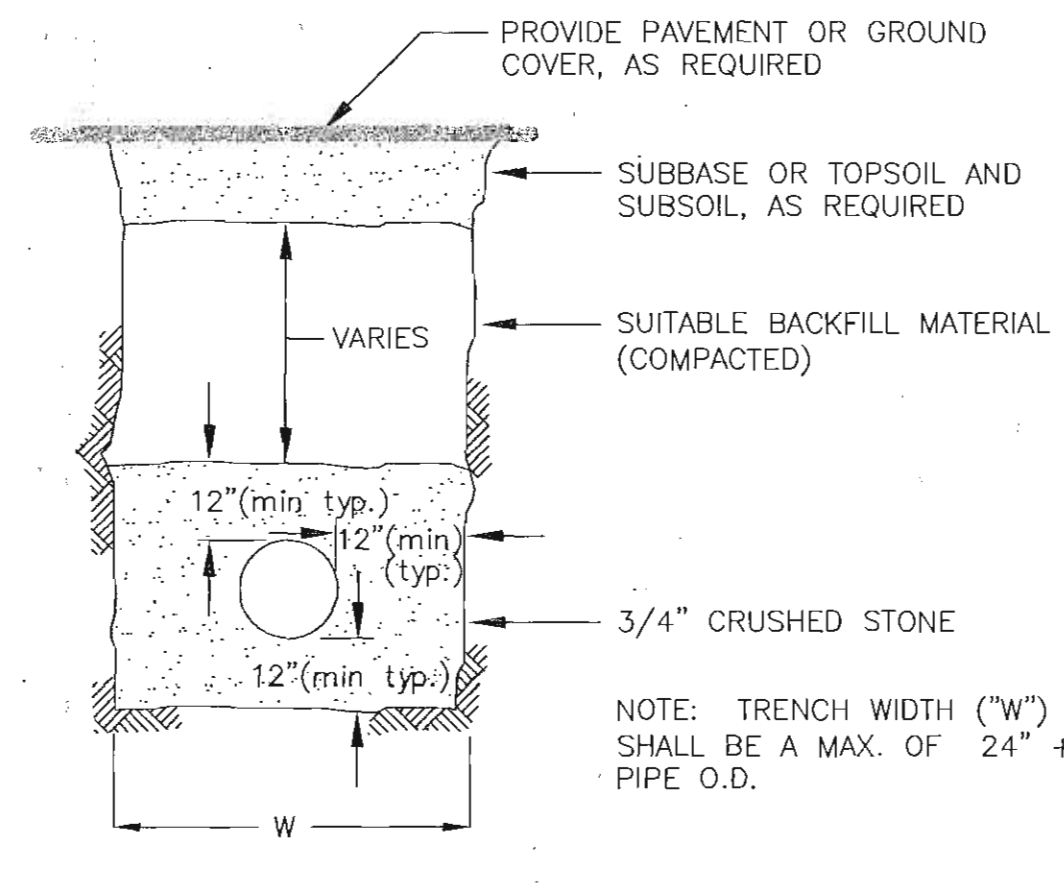
PREPARED FOR:
 TRASK DEVELOPMENT, INC.
 30 TURNPIKE ROAD, SUITE 8
 SOUTHBOROUGH, MA 01772
 TEL: 508 481 0077
 FAX: 508 485 4879
 DATE: DECEMBER 18, 2013
 SCALE: 1" = 20'

C4



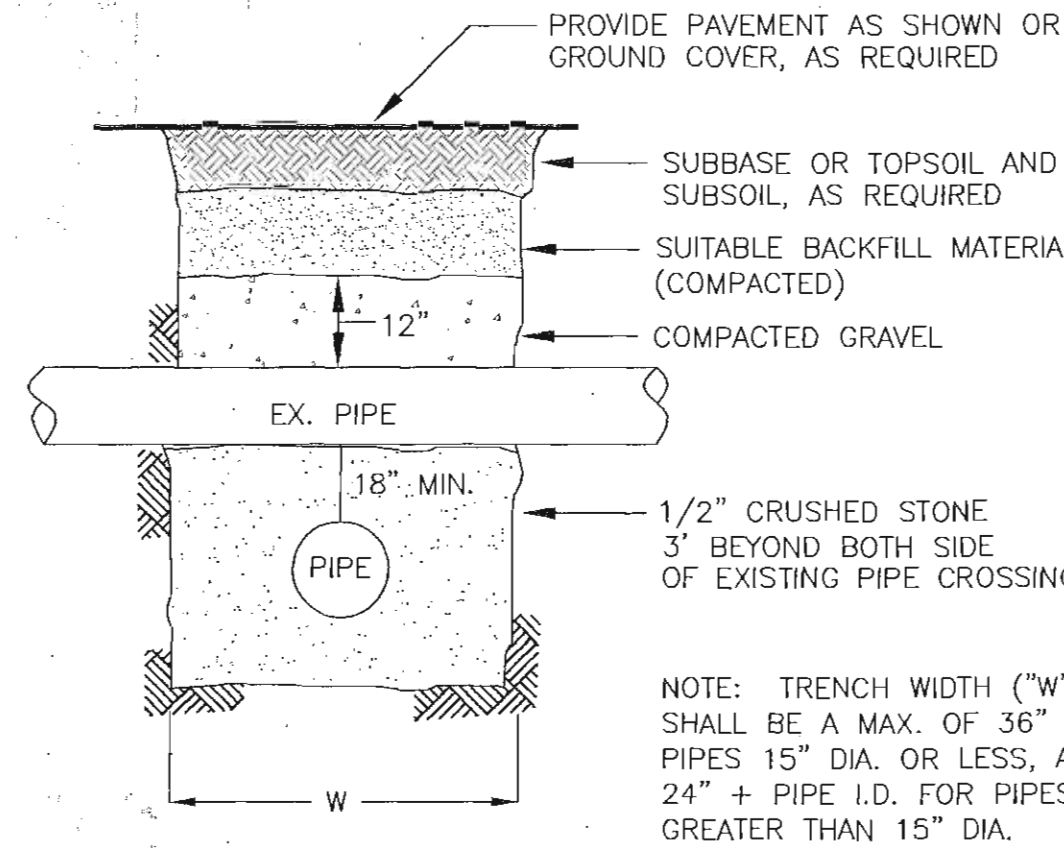
TRENCH SECTION FOR STORM DRAIN

N. T. S. trench2.dwg



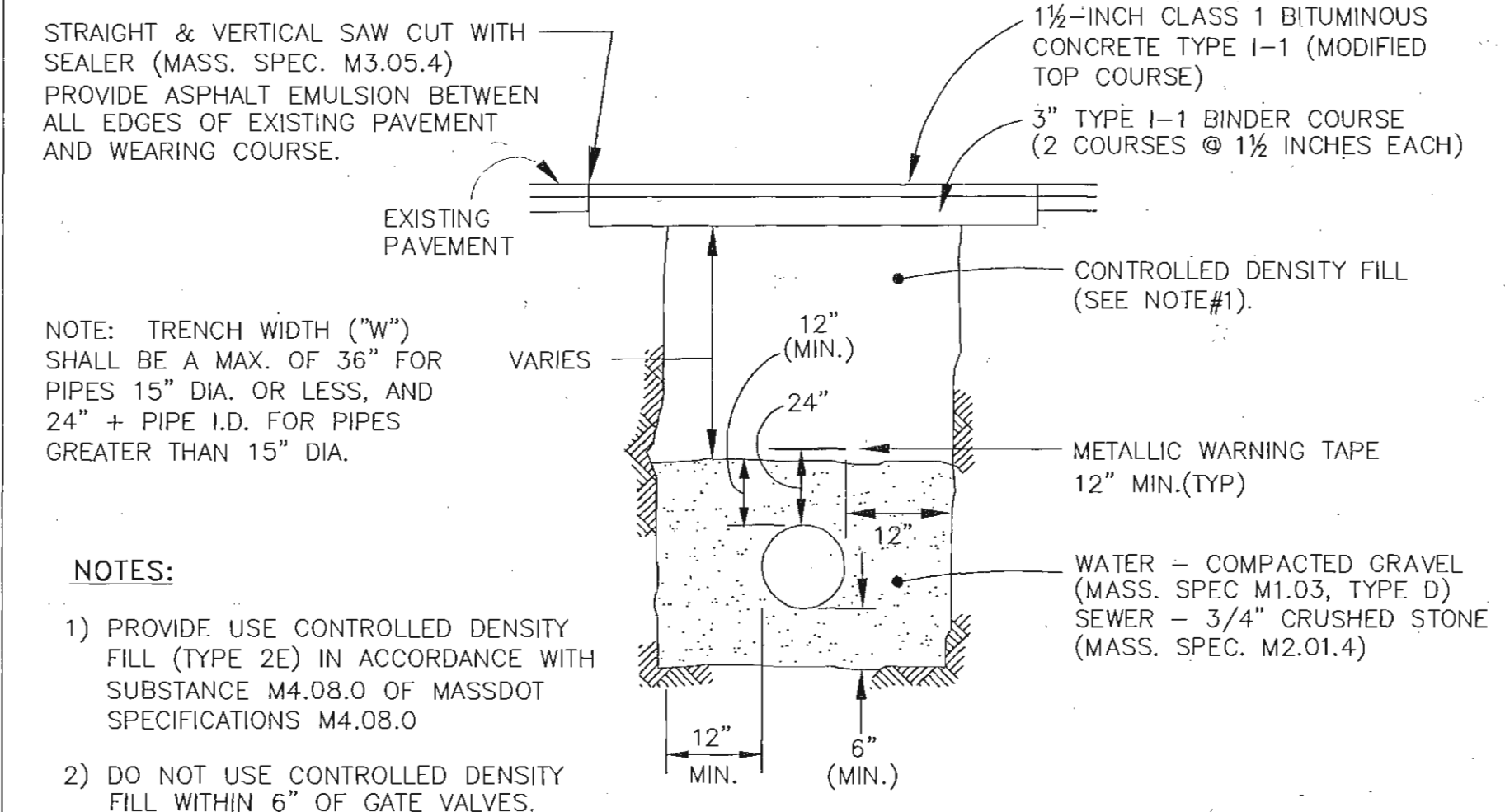
TRENCH SECTION FOR GRAVITY SANITARY SEWER

N. T. S. TrenchMarlborough.dwg



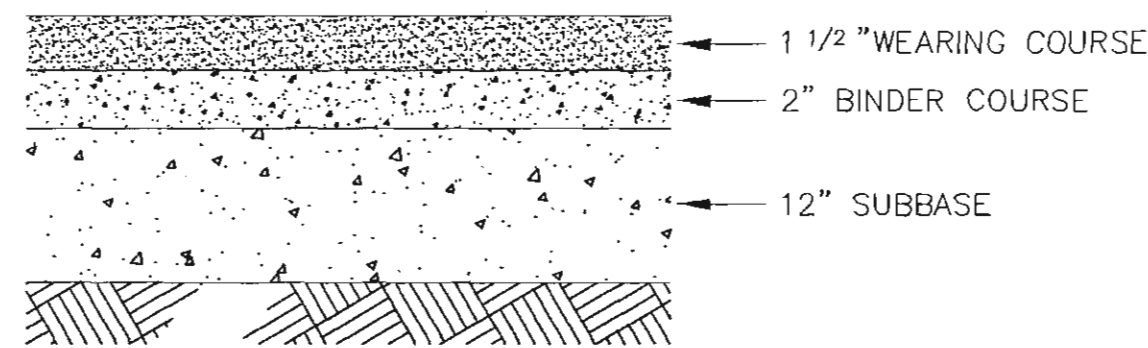
UTILITY CROSSING DETAIL

N. T. S.



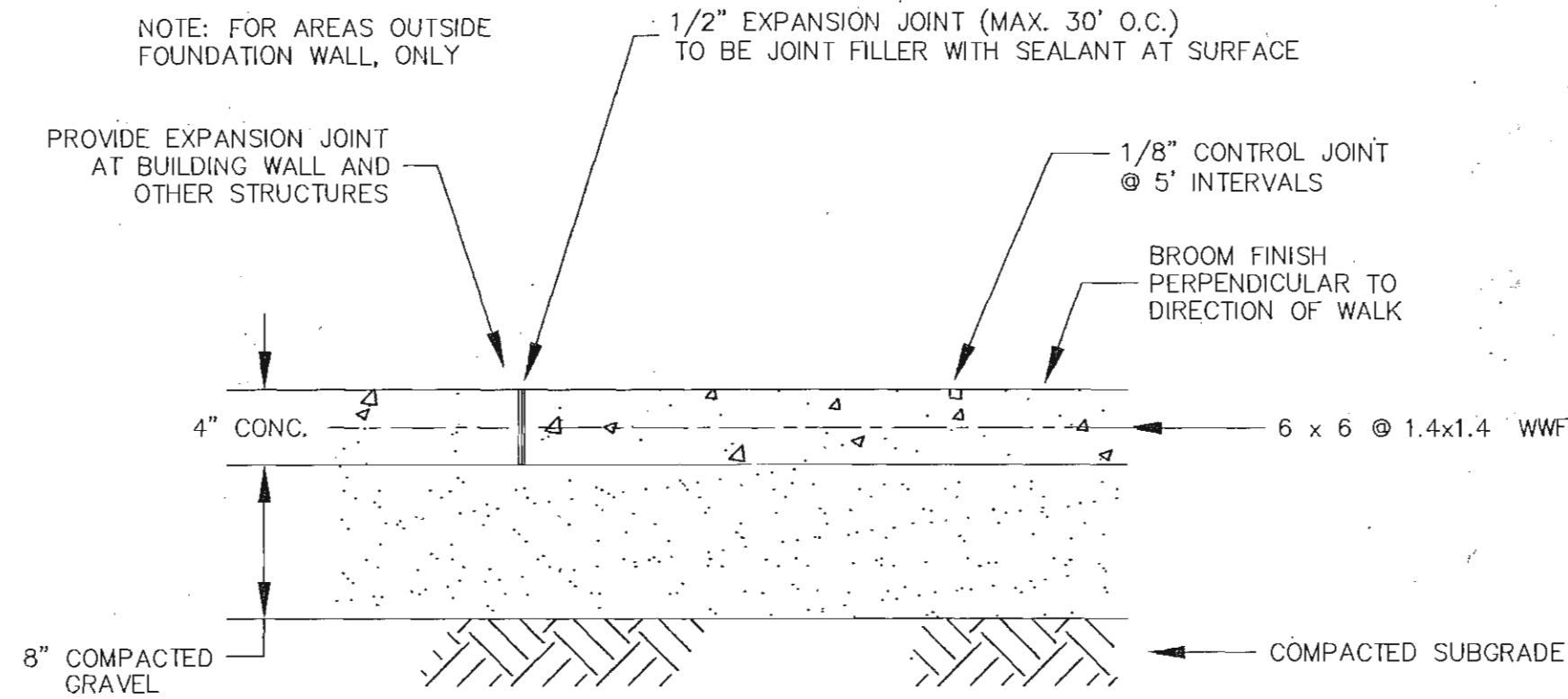
TRENCH SECTION IN MAIN STREET

N. T. S. TRENCH3_2005.DWG



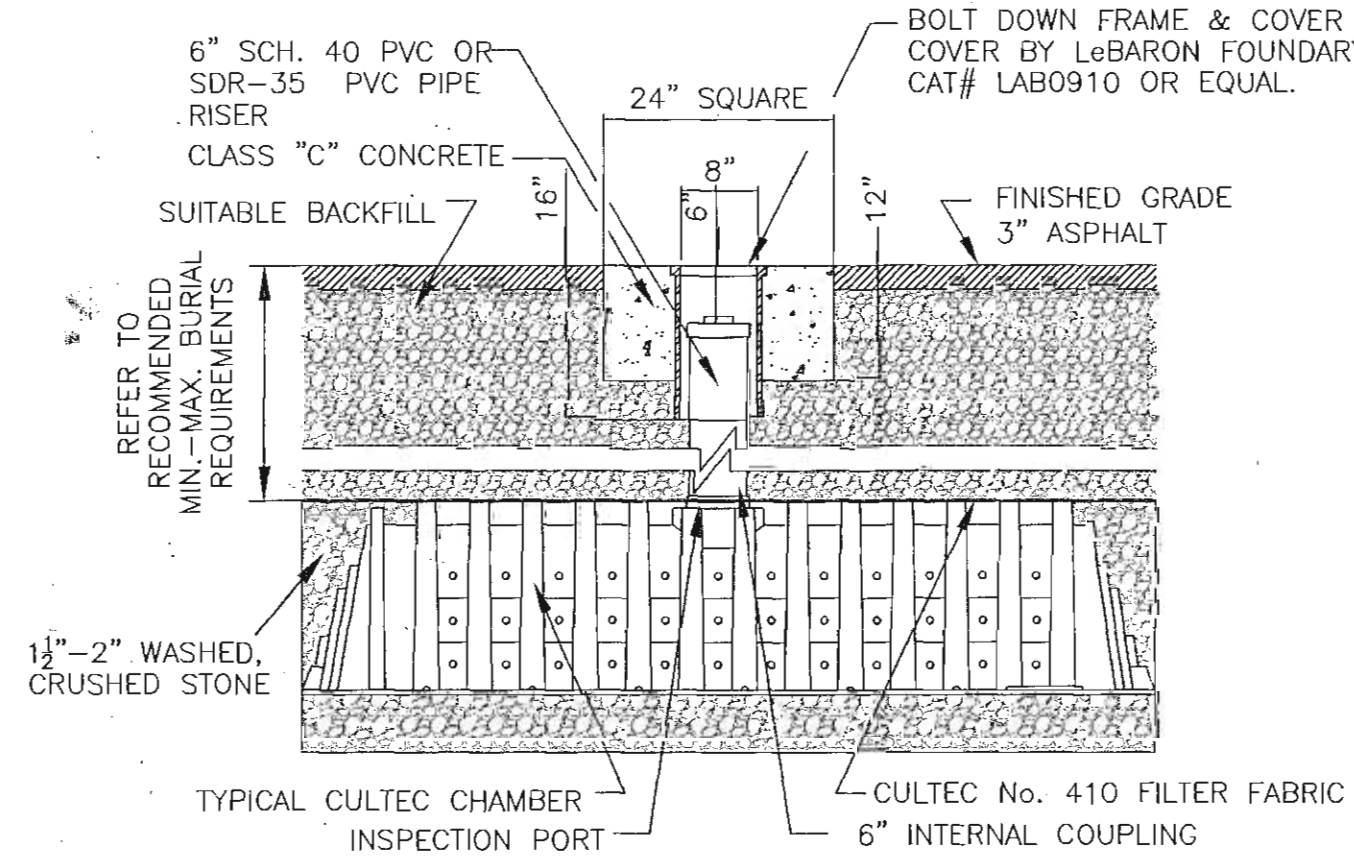
PAVEMENT SECTION

N. T. S. pavesect.dwg



CONCRETE SIDEWALK

N. T. S. Concsidewalk.dwg

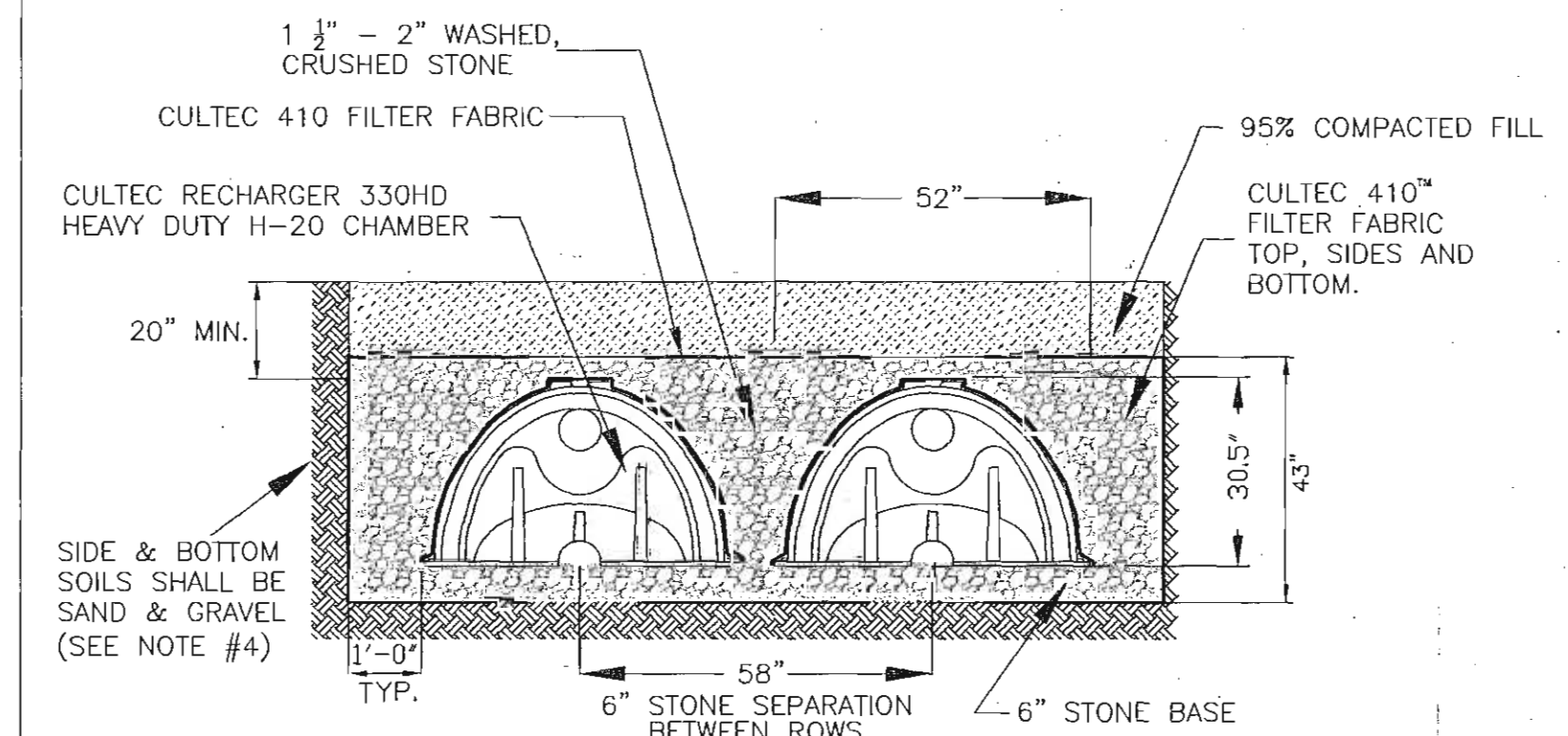


TYPICAL H2O INSPECTION PORT DETAIL
PORT DETAIL FOR SUBSURFACE
DETENTION STRUCTURES IN PAVED AREAS

N. T. S. INSPECTIONPORT1.DWG

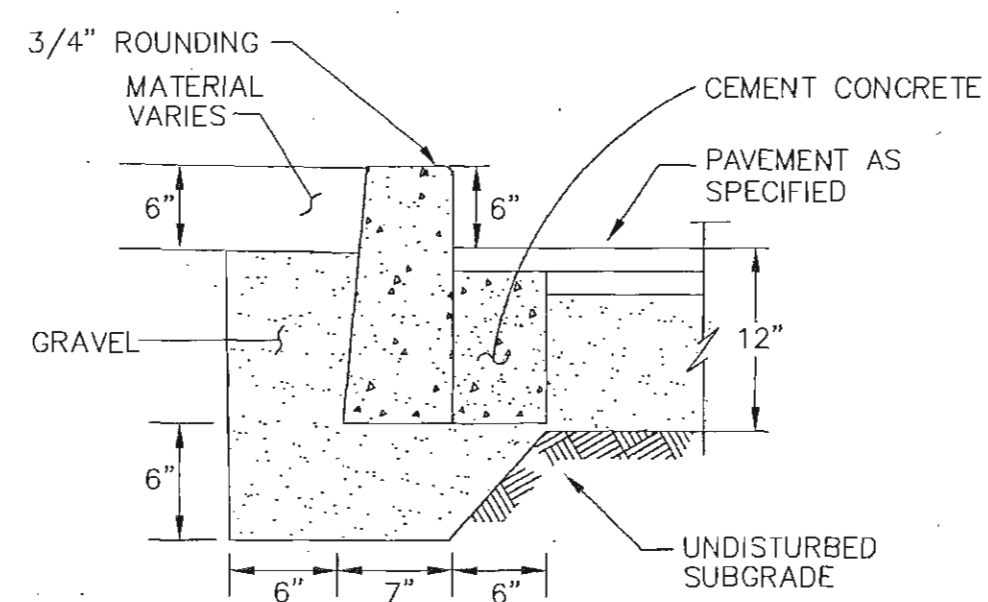
GENERAL NOTES

1. Recharger[®]330 by CULTEC, INC. of Brookfield, CT. All Recharger[®]330 Chambers must be installed in accordance with all applicable local, state and federal regulations.
2. Refer to manufacturer, CULTEC, INC.'s recommended installation guidelines.
3. All Recharger[®]330HD H2O Heavy Duty units are marked with a 4" stripe along the length of the chamber.
4. All soil in contact with the filter fabric from the top to bottom of stone shall be clean medium to coarse sand & gravel.



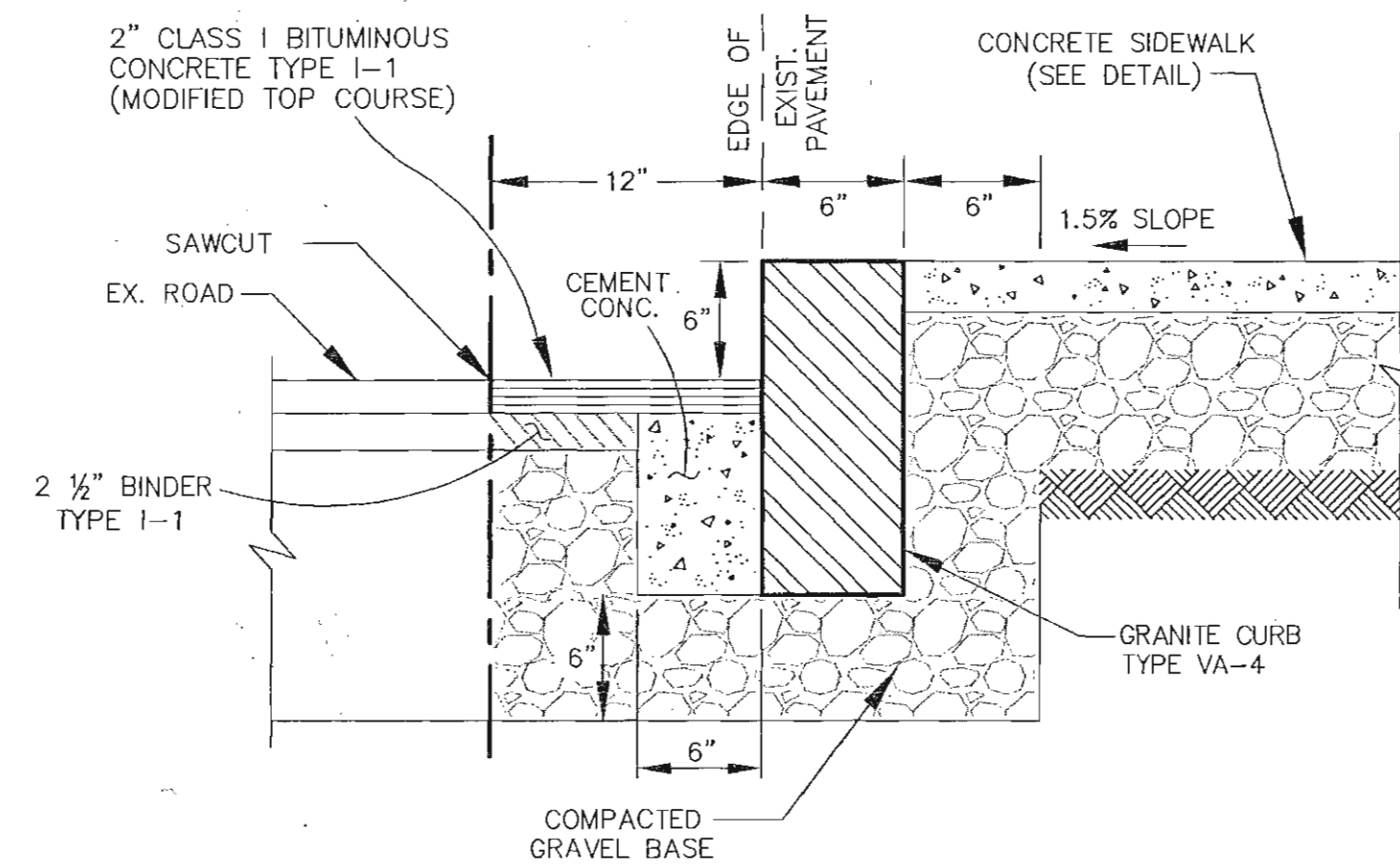
TYPICAL CROSS SECTION RECHARGER 330HD
PAVED H-20 CULTEC CHAMBER SYSTEM

N. T. S. 330HD H20.dwg



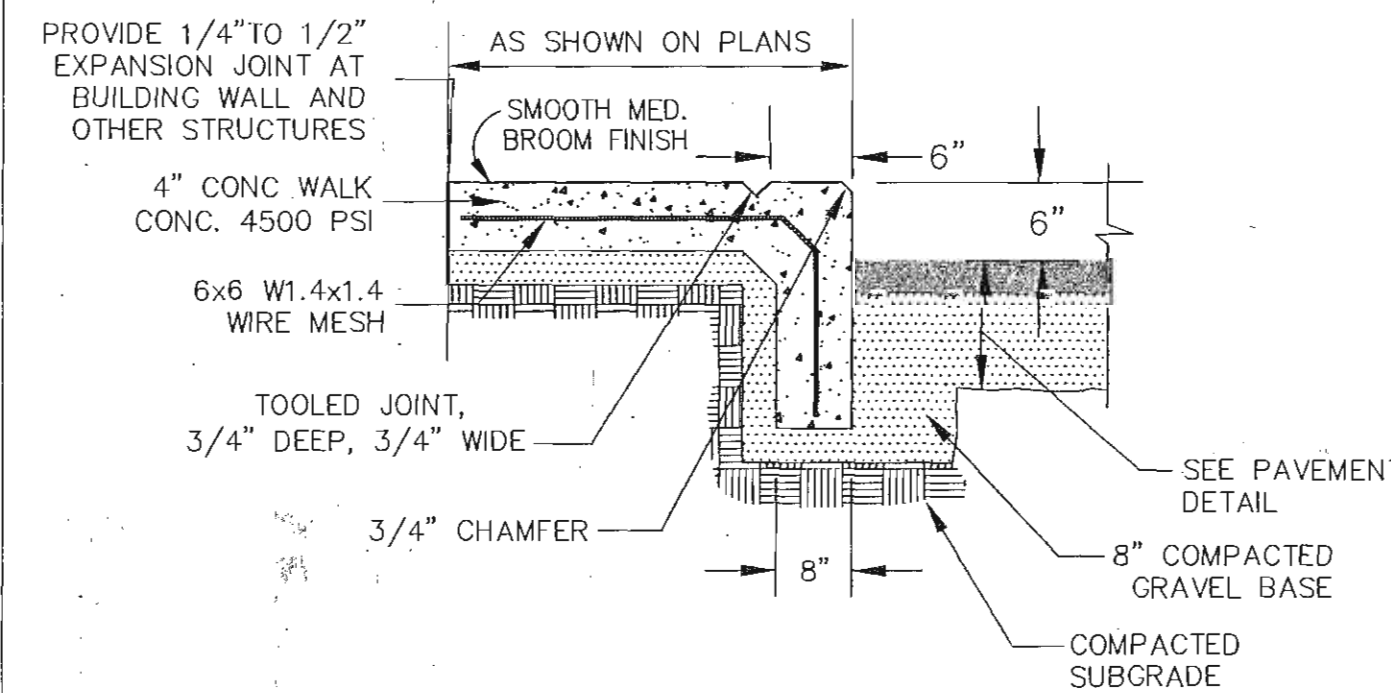
CONCRETE CURB

N. T. S.



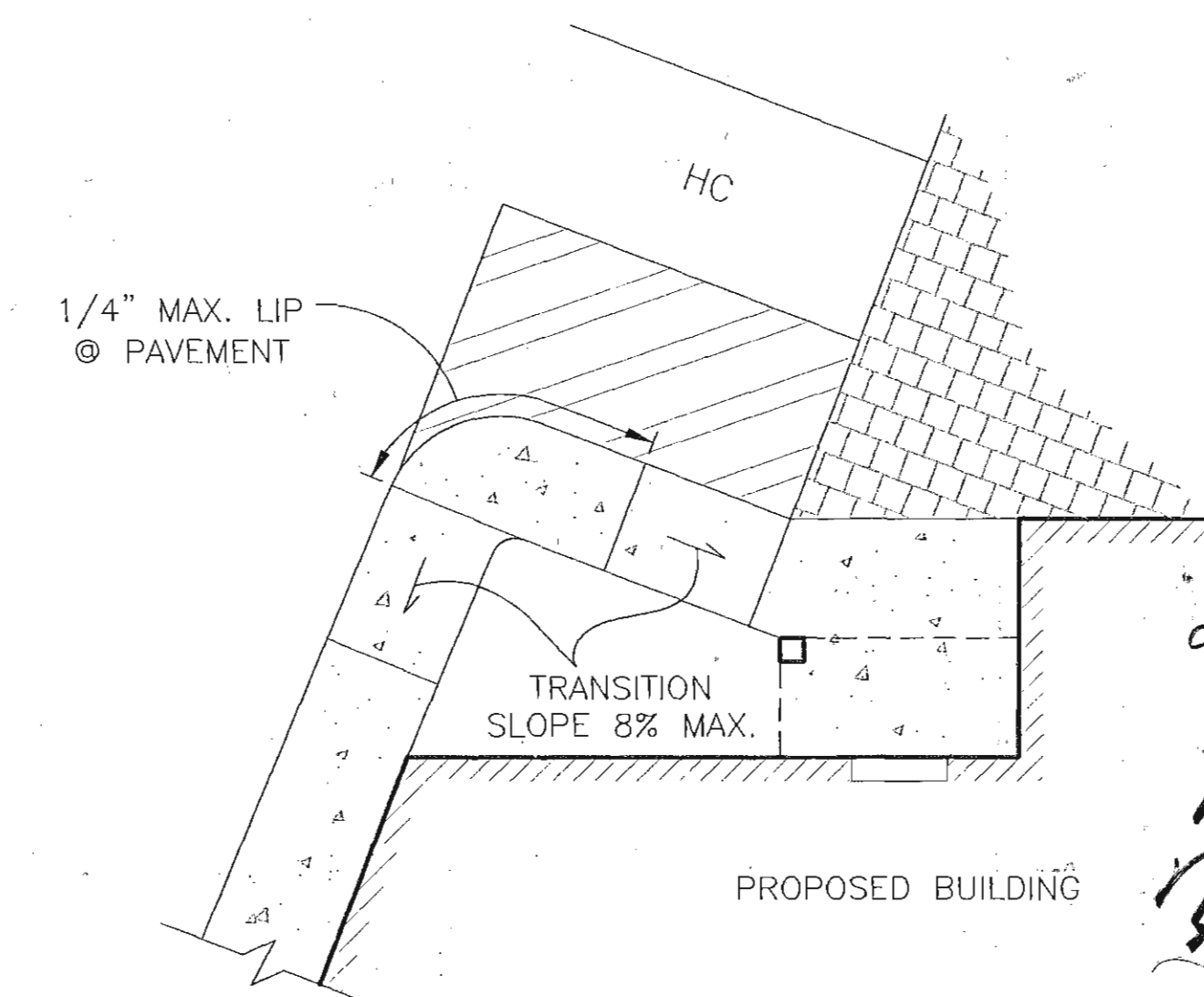
VERTICAL VA-4 GRANITE CURBING DETAIL

N. T. S.



CONCRETE SIDEWALK & CURB

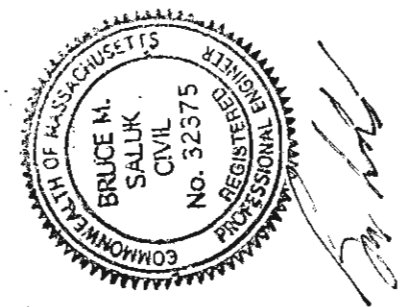
N. T. S.



HANDICAP RAMP

N. T. S.

| | | | |
|-----|---------|-----------------------------|-------------|
| NO. | DATE | REVISION COMMENTS | BY |
| 1 | 1/24/14 | GRANITE CURB, CULTEC SYSTEM | BMS |
| 2 | 2/24/14 | REFER REVIEW COMMENTS | BMS |
| | | | DESCRIPTION |



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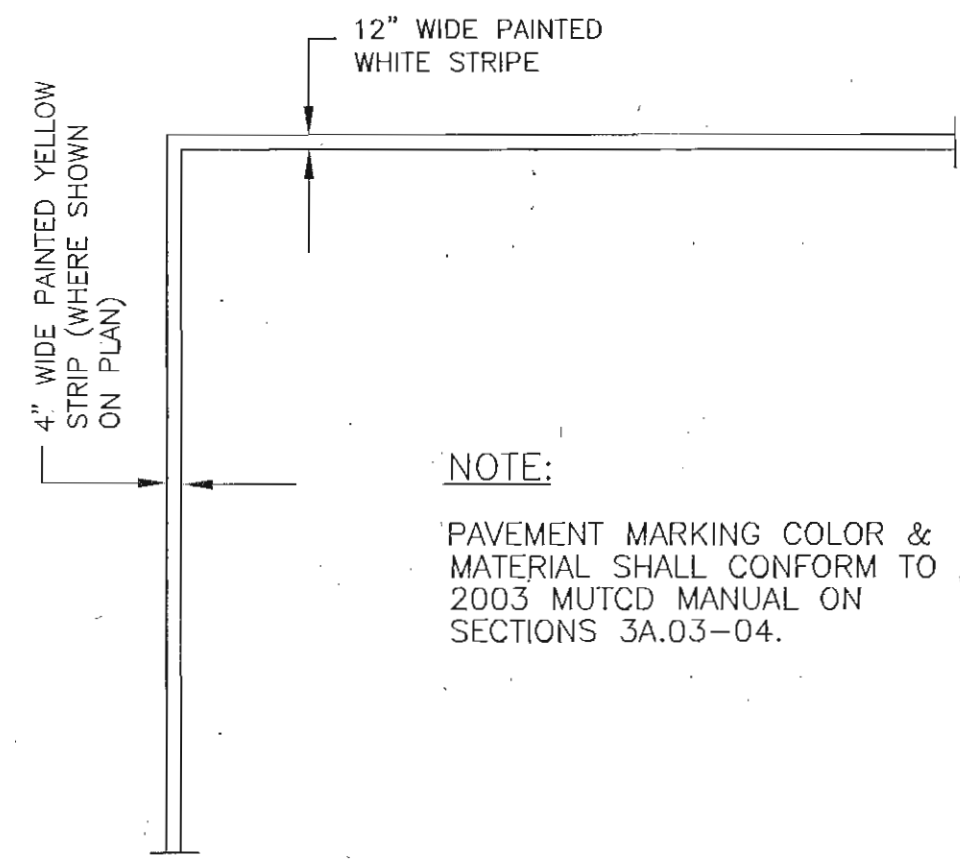
DETAILS
-21 MAIN-
21 MAIN STREET
ASHLAND, MA

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DATE: DECEMBER 18, 2013
SCALE: 1" = 20"

C5

FILE: 2551DETAILS.dwg

9 Apr 12 2015
Pate
Benn
D
Mildred

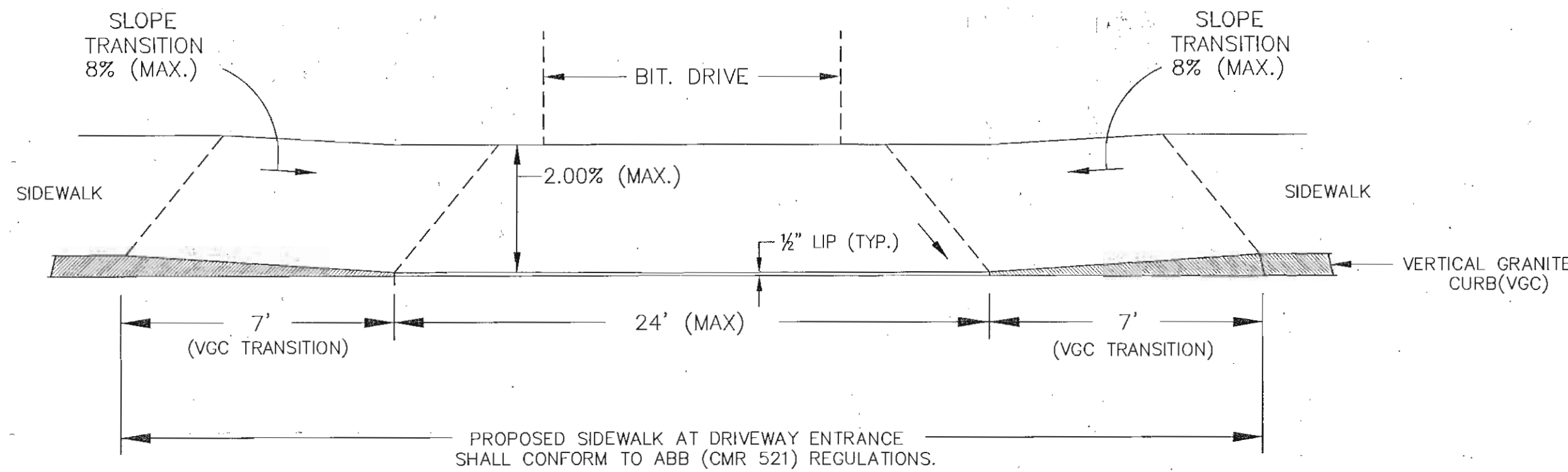


NOTE:

PAVEMENT MARKING COLOR & MATERIAL SHALL CONFORM TO 2003 MUTCD MANUAL ON SECTIONS 3A.03-04.

STOP LINE DETAIL

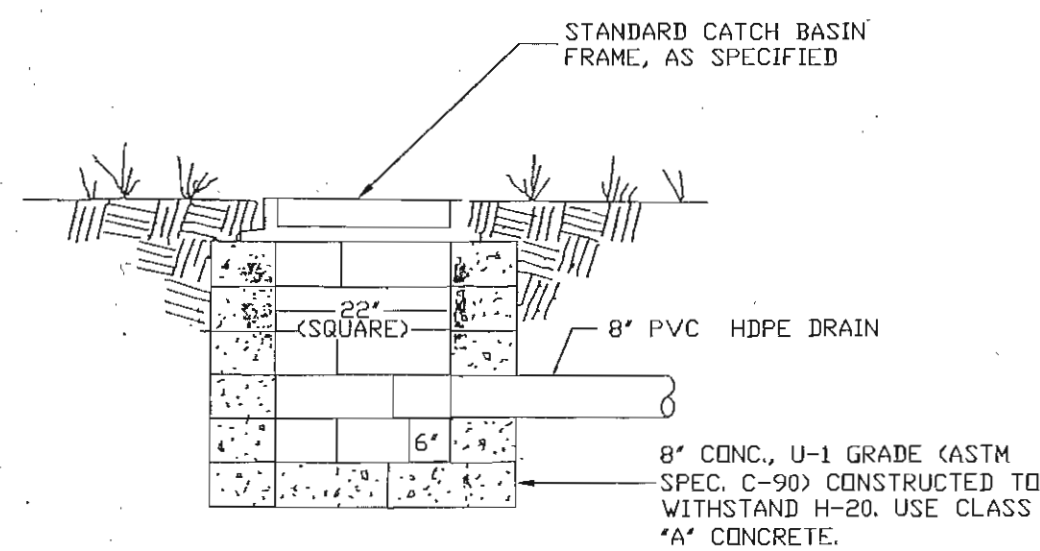
N. T. S.



SIDEWALK THROUGH DRIVEWAY

N. T. S.

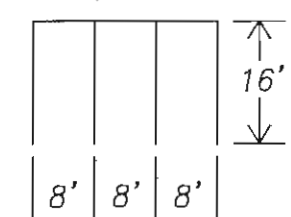
DRIVESECTION(2).dwg



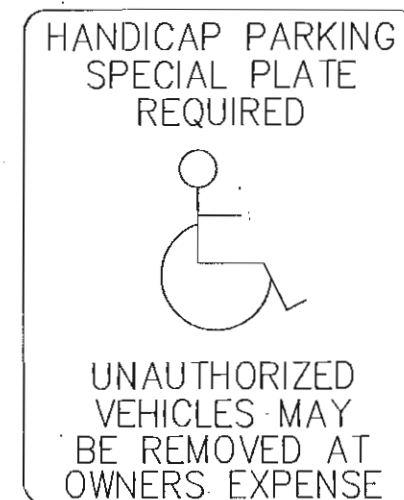
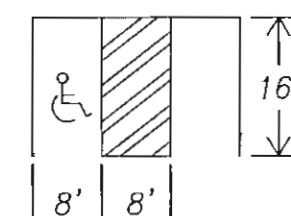
AREA DRAIN

N. T. S.

AREA DRAIN.DWG



VAN. ACCESS. HANDICAP



HCVP

NOTE:

- SIGNAGE SHALL COMPLY WITH 521CMR 23.6. SUCH SIGN SHALL BE PERMANENTLY LOCATED AT A HEIGHT OF NOT LESS THAN FIVE FEET, NOR MORE THAN EIGHT FEET TO THE TOP OF THE SIGN.
- SIGN(S) SHALL HAVE A BLUE BACKGROUND AND WHITE CAPITAL LETTERS.

PARKING STALL DIMENSIONS

N. T. S.

HANDICAP PARKING SIGNS

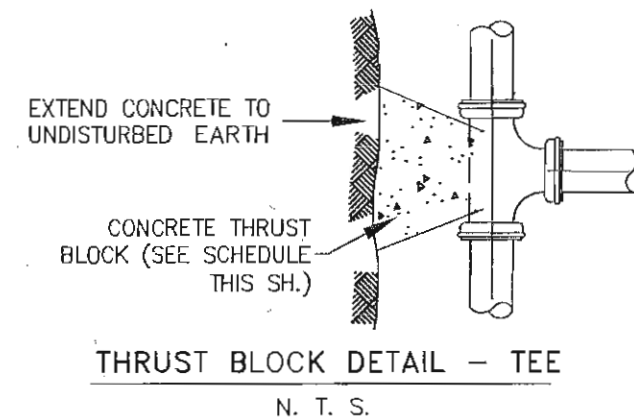
N. T. S.

NOTES:

- VALUES IN TABLE ARE REQUIRED CONCRETE THRUST BLOCK BEARING AREA IN SQUARE FEET AGAINST UNDISTURBED SOIL.
- USE TIE RODS AND MEGA LUGS FOR ALL FITTINGS.

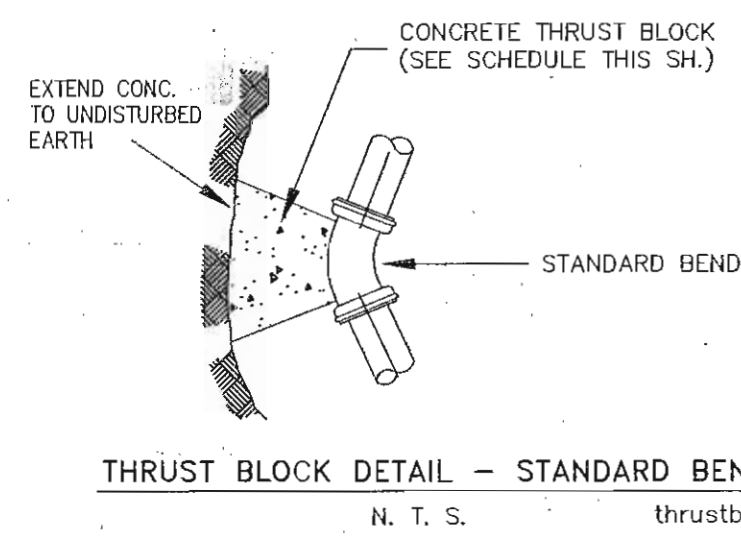
THRUST BLOCK SCHEDULE

| DIAM. | TEES & PLUGS | 45° | 22 1/2° |
|-------|--------------|------|---------|
| 4" | 4 SF | 3 SF | 3 SF |



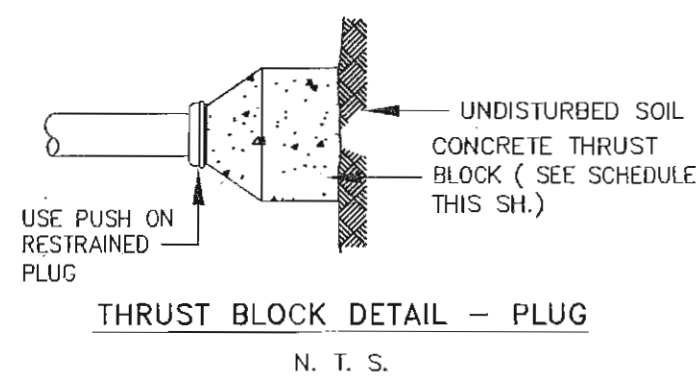
THRUST BLOCK DETAIL - TEE

N. T. S.



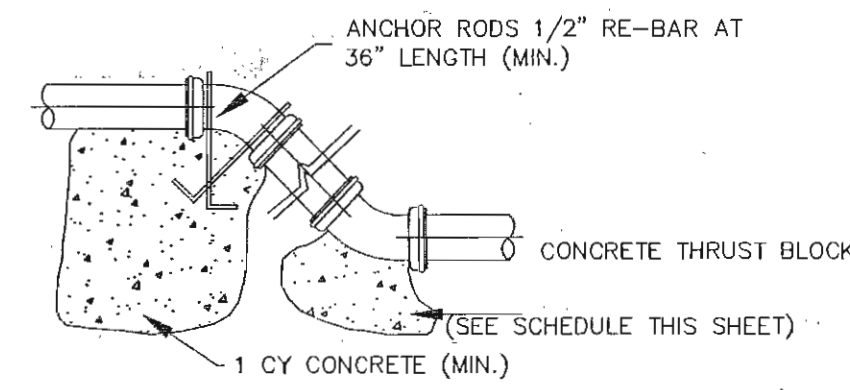
THRUST BLOCK DETAIL - STANDARD BEND

N. T. S.



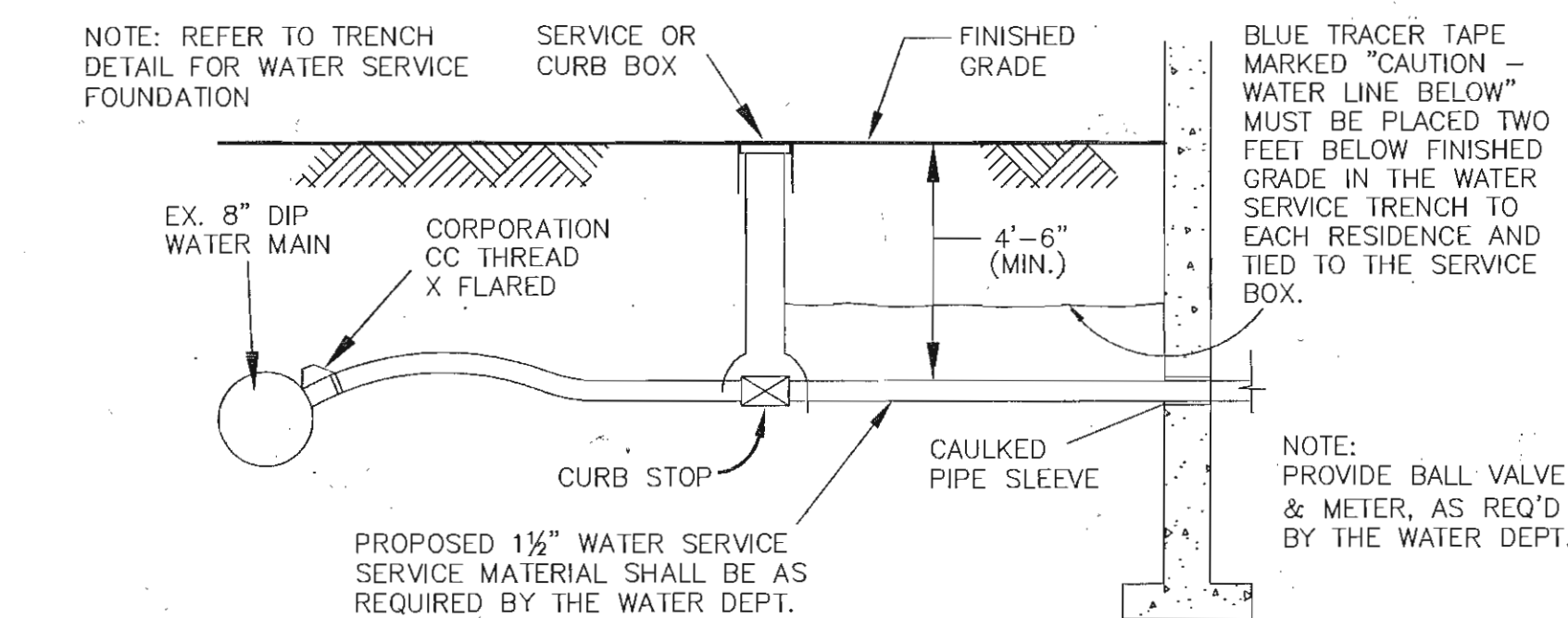
THRUST BLOCK DETAIL - PLUG

N. T. S.



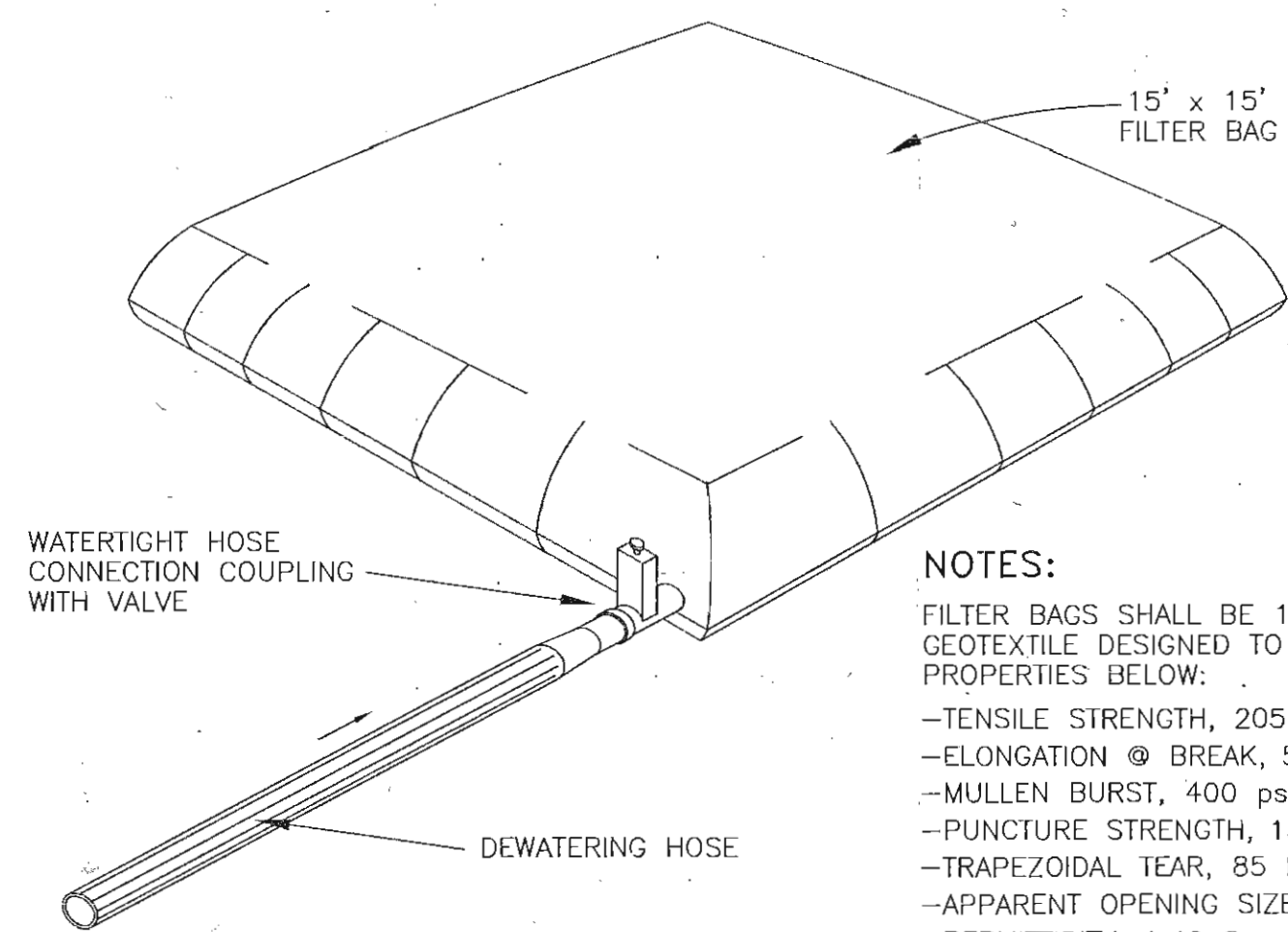
THRUST BLOCK - VERTICAL BEND

N. T. S.



WATER SERVICE CONNECTION

N. T. S.



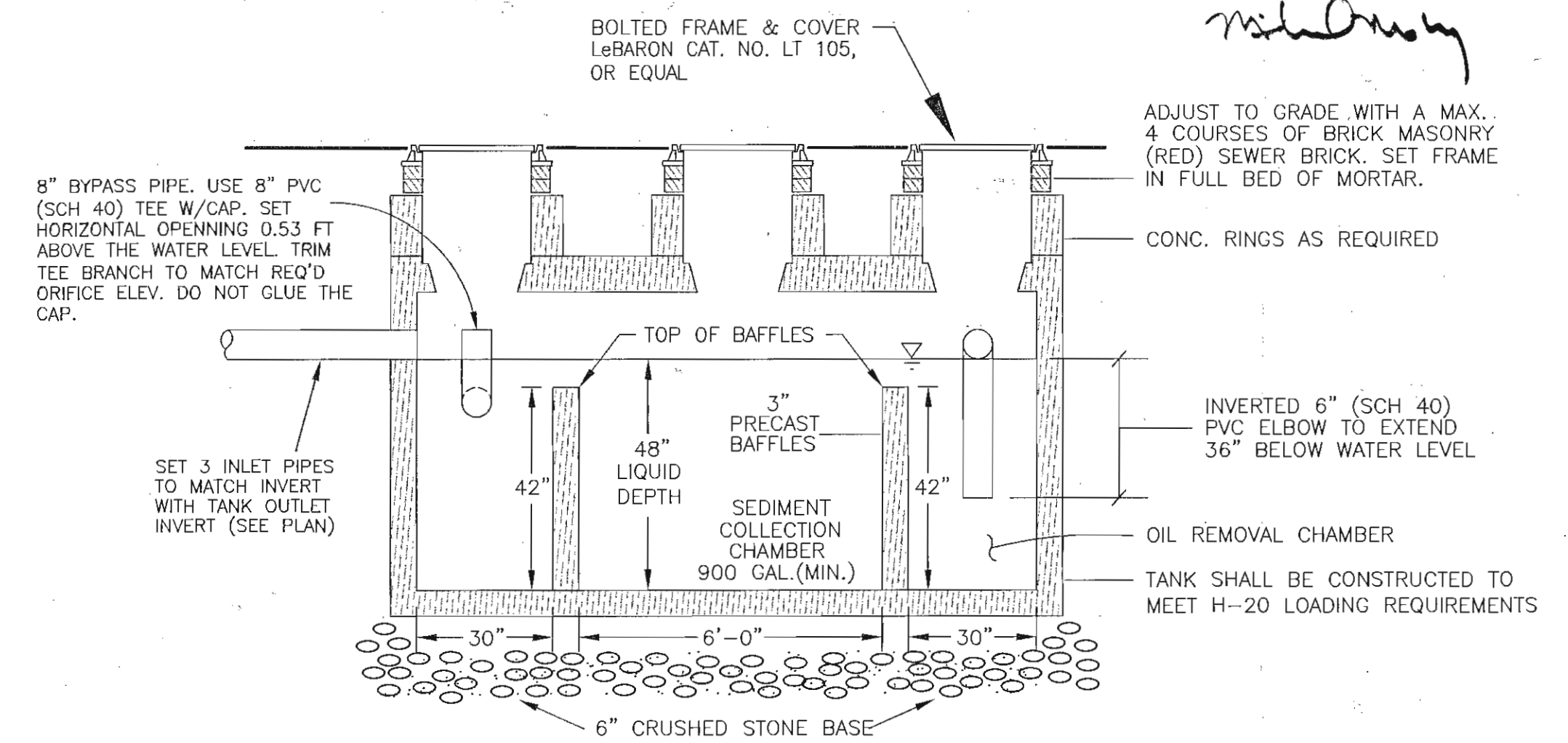
DEWATERING FILTER BAG DETAIL

N. T. S.

FilterBag.dwg

NOTES:

- FILTER BAGS SHALL BE 15' x 15' POLYPROPYLENE GEOTEXTILE DESIGNED TO ENACT OR EXCEED THE PROPERTIES BELOW:
- TENSILE STRENGTH, 205 lbs (ASTM D-4632)
 - ELONGATION @ BREAK, 50 % (ASTM D-4632)
 - MULLEN BURST, 400 psi (ASTM D-3786)
 - PUNCTURE STRENGTH, 130 lbs (ASTM D-4833)
 - TRAPEZOIDAL TEAR, 85 lbs (ASTM D-4533)
 - APPARENT OPENING SIZE, 80 US Sieve (ASTM D-4751)
 - PERMITTIBITY, 1.40 Sec-1 (ASTM D-4491)
 - UV RESISTANCE, % RETAINED, 70 % (ASTM D-4355)
 - FLOW RATE, 90 gal/min/sf (ASTM D-4491)
- BAGS SHALL BE US FILTER BAG BY US FABRICS, CINCINNATI, OHIO, OR APPROVED EQUAL.



3-COMPARTMENT 2,000 GAL. H-20 LOADING TANK

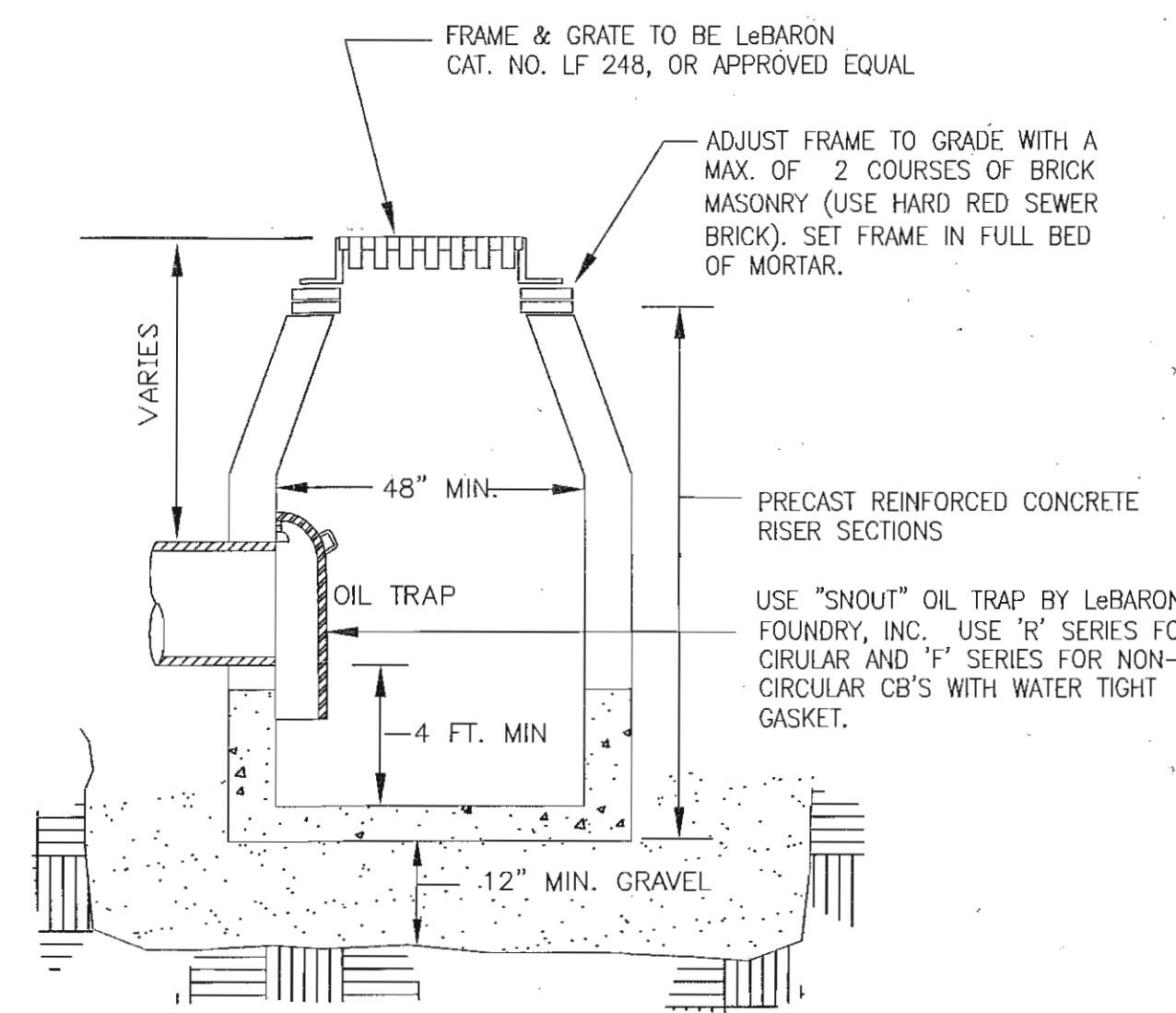
WATER QUALITY INLET

N. T. S.

Drainage\WQI.dwg

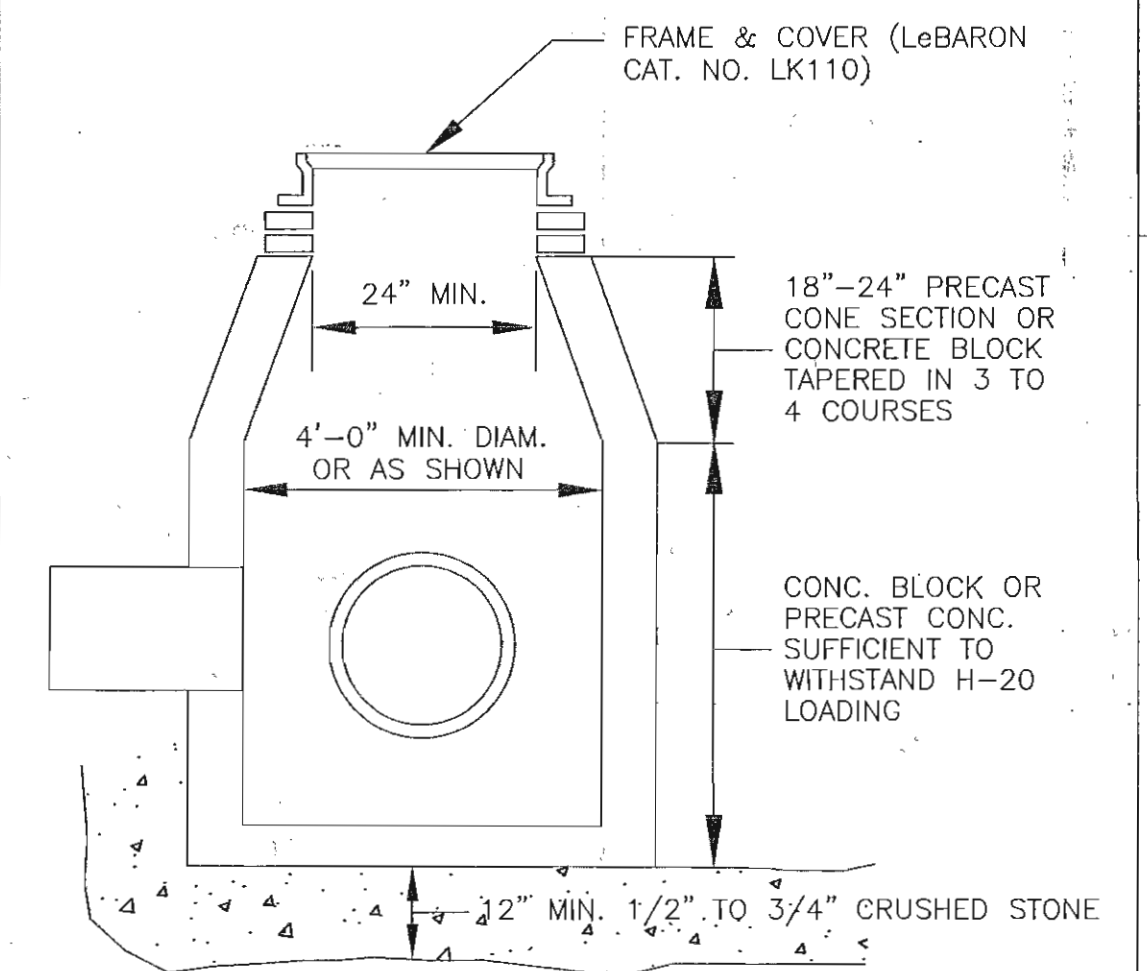
NOTES:

- SEE GRADING & DRAINAGE PLAN FOR ELEVATIONS AND LOCATIONS.
- TANK SHALL BE SHEA CONCRETE, OR APPROVED EQUAL.



CATCH BASIN

N. T. S. CB1-Marlborough.Dwg



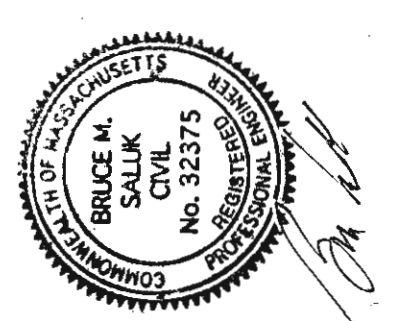
STORM DRAIN MANHOLE

N. T. S.

DMH1

9.10.1.2015
Patricia
Ryan
James
D. M. O'Connell

| NO. | DATE | DESCRIPTION |
|-----|---------|--------------------|
| 1 | 1/24/74 | BMS |
| 2 | 2/21/74 | BMS |
| 3 | 2/24/74 | CON. COM. COMMENTS |
| 4 | 3/15/74 | CON. COM. COMMENTS |



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DETAILS
-21 MAIN-
21 MAIN STREET
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C6
 FILE: 2551DETAILS.dwg