

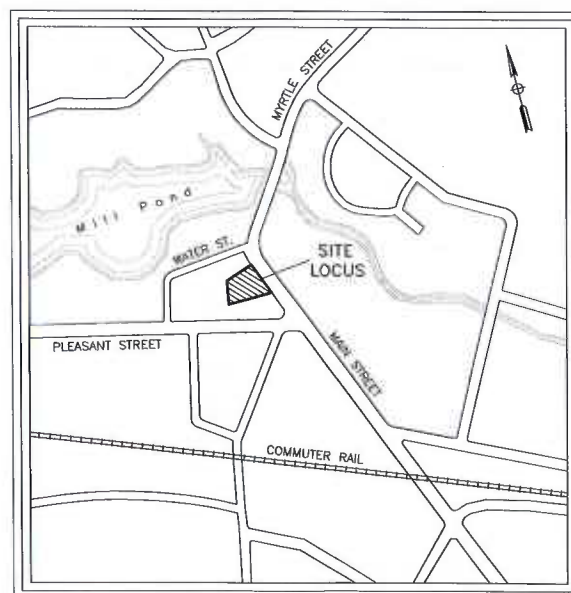
SITE PLAN

— 21 MAIN —

21 MAIN STREET
ASHLAND, MA

ASHLAND, MA ZONING CHART		
THE LOCUS IS LOCATED IN THE COMMERCIAL ADD "C" ZONE AND IS LISTED AS ASSESSORS LOTS 20 & 21 ON MAP 14		
ITEM	REQUIRED UNDER ZONING	PROPOSED
LOT AREA (MIN.)	8,000 S.F.	16,736 S.F.
FRONTAGE	50 FT.	140.00 FT.
FRONT SETBACK (MIN.)	0 FT.	9.5 FT.
FRONT SETBACK (MAX.)	15 FT.	9.5 FT.
SIDE SETBACK	0 FT.	5.0 FT.
REAR SETBACK	12 FT.	26.7 FT.
F. A. R.	1.5	0.87
BUILDING HEIGHT	3 FLOORS	3 FLOORS(38' MAX.)
PARKING SPACES	21	21

PARKING SCHEDULE		
ITEM	REQUIRED	PROPOSED
STANDARD PARKING (8' x 16')	20	20
HANDICAP PARKING	1	1
TOTAL PARKING	21	21



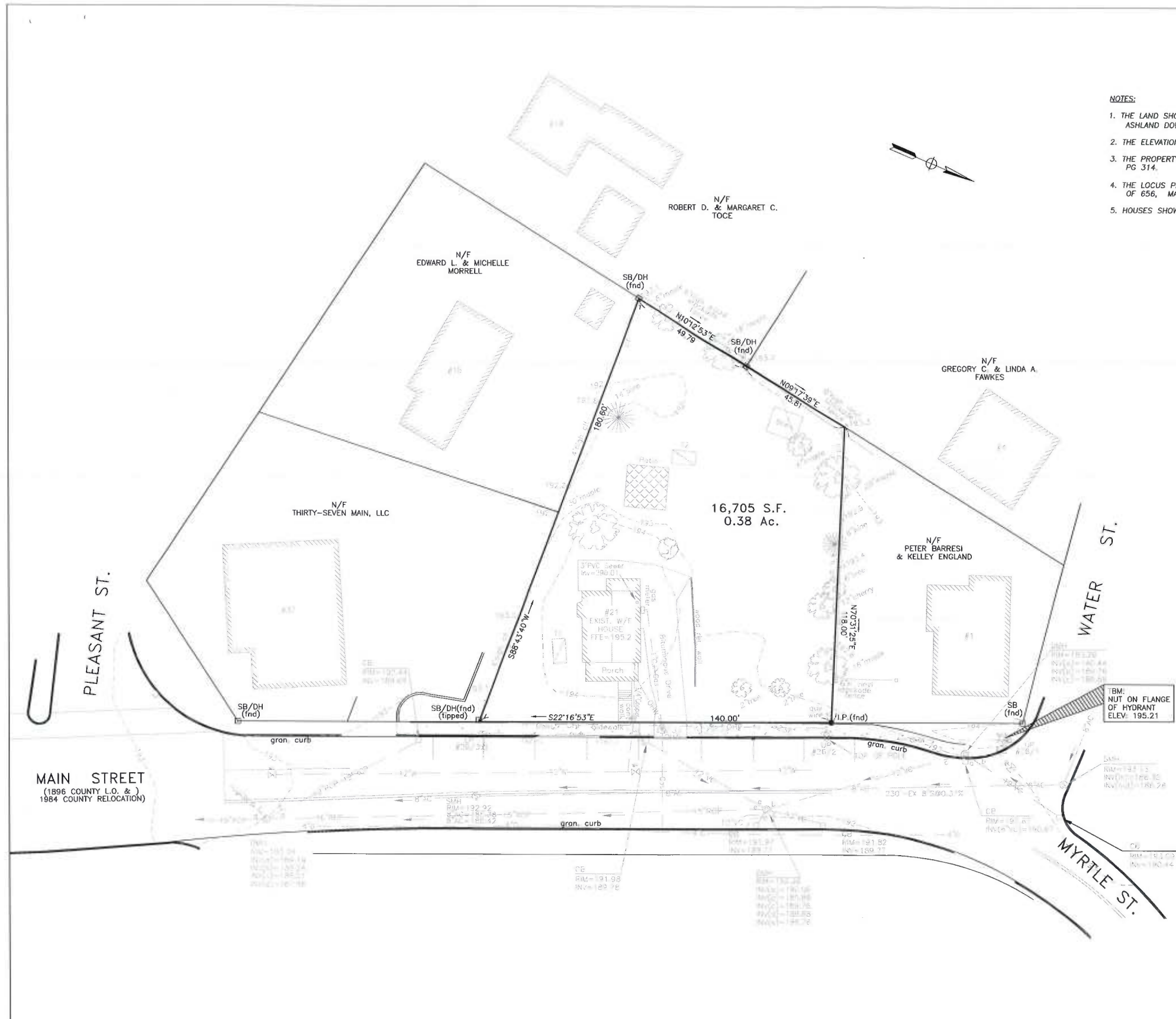
LOCUS PLAN
N. T. S.

SHEET INDEX	DATE	REVISED
EX: EXISTING CONDITIONS — — —	NOVEMBER 1, 2013	MARCH 20, 2014
C1: LAYOUT PLAN — — — — —	DECEMBER 18, 2013	OCTOBER 8, 2014
C2: DRAINAGE, SEWER, WATER & UTILITIES PLAN — — —	DECEMBER 18, 2013	OCTOBER 8, 2014
C3: GRADING & EROSION CONTROL PLAN — — —	DECEMBER 18, 2013	OCTOBER 8, 2014
C4: PLANTING & LIGHTING — — — — —	DECEMBER 18, 2013	OCTOBER 8, 2014
C5: DETAILS — — — — —	DECEMBER 18, 2013	FEBRUARY 24, 2014
C6: DETAILS — — — — —	DECEMBER 18, 2013	MARCH 15, 2014

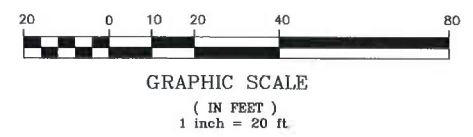
ENGINEER: BRUCE SALUK & ASSOCIATES, INC.
CIVIL ENGINEERING & LAND SURVEYING
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752
TEL: 508 485 1662
FAX: 508 481 9929

APPLICANT: TRASK DEVELOPMENT, INC.
30 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
TEL: 508 485 0077
FAX: 508 485 4879

ARCHITECT: JANEZ DESIGN
1253 WORCESTER ROAD, SUITE 101
FRAMINGHAM, MA 01701
TEL: 508 296 0952



- NOTES:**
1. THE LAND SHOWN IS LISTED AS ASSESSOR LOTS 20 & 21 ON MAP 14, AND IS LOCATED IN THE COMMERCIAL ASHLAND DOWNTOWN DISTRICT "C".
 2. THE ELEVATIONS SHOWN ARE 1929 N.G.V.D.
 3. THE PROPERTY SHOWN IS OWNED BY CASEY JENKINS. THE PROPERTY DEED REFERENCE IS BK 60,660 PG 314.
 4. THE LOCUS PROPERTY AT 21 MAIN STREET IS LOCATED IN THE FEMA ZONE 'X' ACCORDING TO F.I.R.M. PANEL 514 OF 656, MAP NO. 25017C0514E, DATED JUNE 4, 2013.
 5. HOUSES SHOWN ON ABUTTING LOTS WERE TAKEN FROM ASSESSOR MAPS AND ARE APPROXIMATE, ONLY.



NO.	DATE	DESCRIPTION
1	1/25/14	SUB. TESTING & NOTE #1
2	2/26/14	PLAN EDITS
3	2/26/14	PREP. REVIEW COMMENTS
4	3/20/14	OVER HEAD PRINTING(CMP)
		BME
		BME
		BME
		BT



PREPARED BY:
BRUCE SALUK & ASSOC., INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 576 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752
 TEL: 508 485 1662
 FAX: 508 481 9929

EXISTING CONDITIONS
 -21 MAIN-
 21 MAIN STREET
 ASHLAND, MA

PREPARED FOR:
TRASK DEVELOPMENT, INC.
 30 TURNPIKE ROAD, SUITE 8
 SOUTHBOROUGH, MA 01772
 TEL: 508 481 0077
 FAX: 508 485 4879
 DATE: NOVEMBER 1, 2013
 SCALE: 1" = 20'

EX

NO.	DATE	DESCRIPTION
1	10/08/14	BLDG LOCATION & MISC
2	11/07/14	BLDG LOCATION
3	12/24/14	PERF. REVIEW COMMENTS
4	1/27/15	PERF. REVIEW COMMENTS
5	2/25/15	PERF. REVIEW COMMENTS
6	3/17/15	PERF. REVIEW COMMENTS
7	4/14/15	PERF. REVIEW COMMENTS
8	5/11/15	PERF. REVIEW COMMENTS
9	6/08/15	PERF. REVIEW COMMENTS
10	7/06/15	PERF. REVIEW COMMENTS
11	8/03/15	PERF. REVIEW COMMENTS
12	9/01/15	PERF. REVIEW COMMENTS
13	10/01/15	PERF. REVIEW COMMENTS
14	11/01/15	PERF. REVIEW COMMENTS
15	12/01/15	PERF. REVIEW COMMENTS
16	1/01/16	PERF. REVIEW COMMENTS
17	2/01/16	PERF. REVIEW COMMENTS
18	3/01/16	PERF. REVIEW COMMENTS
19	4/01/16	PERF. REVIEW COMMENTS
20	5/01/16	PERF. REVIEW COMMENTS
21	6/01/16	PERF. REVIEW COMMENTS
22	7/01/16	PERF. REVIEW COMMENTS
23	8/01/16	PERF. REVIEW COMMENTS
24	9/01/16	PERF. REVIEW COMMENTS
25	10/01/16	PERF. REVIEW COMMENTS
26	11/01/16	PERF. REVIEW COMMENTS
27	12/01/16	PERF. REVIEW COMMENTS
28	1/01/17	PERF. REVIEW COMMENTS
29	2/01/17	PERF. REVIEW COMMENTS
30	3/01/17	PERF. REVIEW COMMENTS
31	4/01/17	PERF. REVIEW COMMENTS
32	5/01/17	PERF. REVIEW COMMENTS
33	6/01/17	PERF. REVIEW COMMENTS
34	7/01/17	PERF. REVIEW COMMENTS
35	8/01/17	PERF. REVIEW COMMENTS
36	9/01/17	PERF. REVIEW COMMENTS
37	10/01/17	PERF. REVIEW COMMENTS
38	11/01/17	PERF. REVIEW COMMENTS
39	12/01/17	PERF. REVIEW COMMENTS
40	1/01/18	PERF. REVIEW COMMENTS
41	2/01/18	PERF. REVIEW COMMENTS
42	3/01/18	PERF. REVIEW COMMENTS
43	4/01/18	PERF. REVIEW COMMENTS
44	5/01/18	PERF. REVIEW COMMENTS
45	6/01/18	PERF. REVIEW COMMENTS
46	7/01/18	PERF. REVIEW COMMENTS
47	8/01/18	PERF. REVIEW COMMENTS
48	9/01/18	PERF. REVIEW COMMENTS
49	10/01/18	PERF. REVIEW COMMENTS
50	11/01/18	PERF. REVIEW COMMENTS
51	12/01/18	PERF. REVIEW COMMENTS
52	1/01/19	PERF. REVIEW COMMENTS
53	2/01/19	PERF. REVIEW COMMENTS
54	3/01/19	PERF. REVIEW COMMENTS
55	4/01/19	PERF. REVIEW COMMENTS
56	5/01/19	PERF. REVIEW COMMENTS
57	6/01/19	PERF. REVIEW COMMENTS
58	7/01/19	PERF. REVIEW COMMENTS
59	8/01/19	PERF. REVIEW COMMENTS
60	9/01/19	PERF. REVIEW COMMENTS
61	10/01/19	PERF. REVIEW COMMENTS
62	11/01/19	PERF. REVIEW COMMENTS
63	12/01/19	PERF. REVIEW COMMENTS
64	1/01/20	PERF. REVIEW COMMENTS
65	2/01/20	PERF. REVIEW COMMENTS
66	3/01/20	PERF. REVIEW COMMENTS
67	4/01/20	PERF. REVIEW COMMENTS
68	5/01/20	PERF. REVIEW COMMENTS
69	6/01/20	PERF. REVIEW COMMENTS
70	7/01/20	PERF. REVIEW COMMENTS
71	8/01/20	PERF. REVIEW COMMENTS
72	9/01/20	PERF. REVIEW COMMENTS
73	10/01/20	PERF. REVIEW COMMENTS
74	11/01/20	PERF. REVIEW COMMENTS
75	12/01/20	PERF. REVIEW COMMENTS
76	1/01/21	PERF. REVIEW COMMENTS
77	2/01/21	PERF. REVIEW COMMENTS
78	3/01/21	PERF. REVIEW COMMENTS
79	4/01/21	PERF. REVIEW COMMENTS
80	5/01/21	PERF. REVIEW COMMENTS
81	6/01/21	PERF. REVIEW COMMENTS
82	7/01/21	PERF. REVIEW COMMENTS
83	8/01/21	PERF. REVIEW COMMENTS
84	9/01/21	PERF. REVIEW COMMENTS
85	10/01/21	PERF. REVIEW COMMENTS
86	11/01/21	PERF. REVIEW COMMENTS
87	12/01/21	PERF. REVIEW COMMENTS
88	1/01/22	PERF. REVIEW COMMENTS
89	2/01/22	PERF. REVIEW COMMENTS
90	3/01/22	PERF. REVIEW COMMENTS
91	4/01/22	PERF. REVIEW COMMENTS
92	5/01/22	PERF. REVIEW COMMENTS
93	6/01/22	PERF. REVIEW COMMENTS
94	7/01/22	PERF. REVIEW COMMENTS
95	8/01/22	PERF. REVIEW COMMENTS
96	9/01/22	PERF. REVIEW COMMENTS
97	10/01/22	PERF. REVIEW COMMENTS
98	11/01/22	PERF. REVIEW COMMENTS
99	12/01/22	PERF. REVIEW COMMENTS
100	1/01/23	PERF. REVIEW COMMENTS



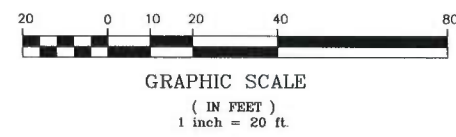
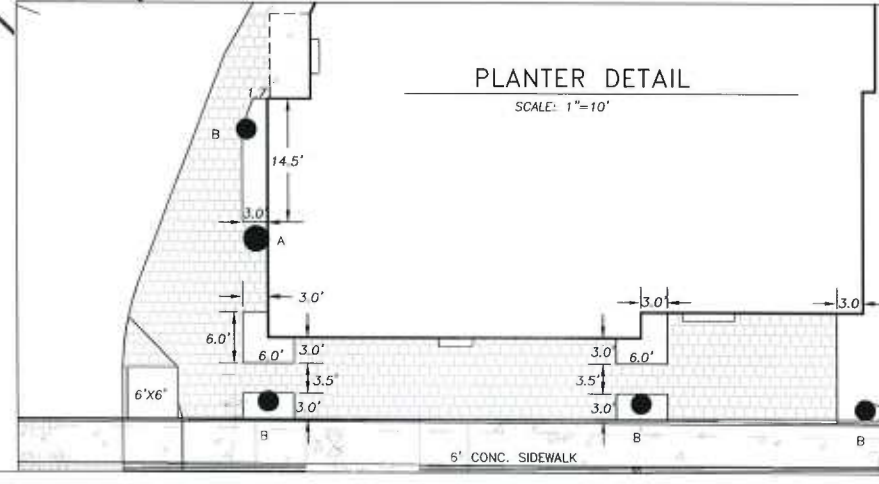
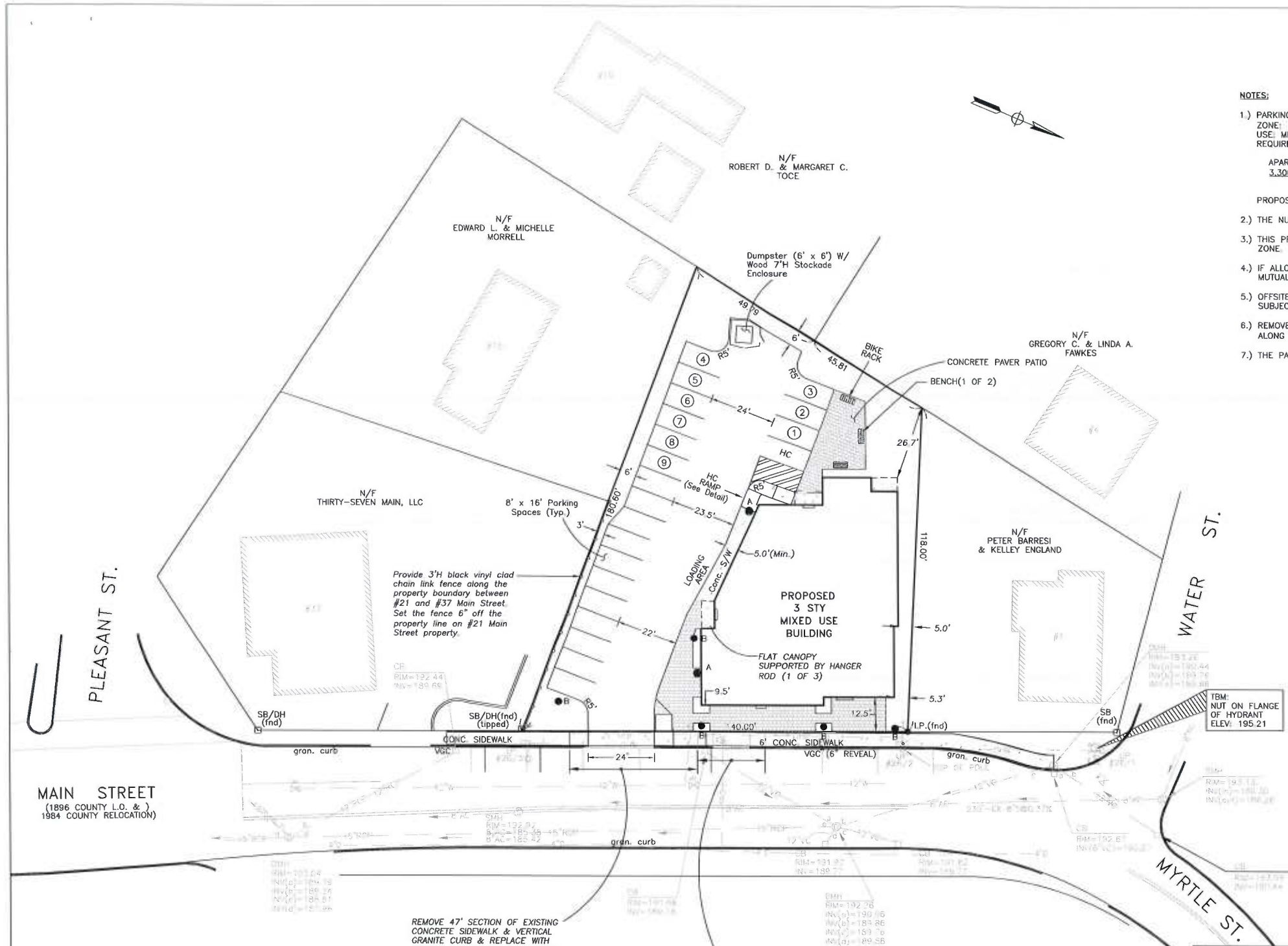
PREPARED BY:
BRUCE SALUK & ASSOC., INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 576 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752
 TEL: 508 485 1662
 FAX: 508 481 9929

LAYOUT PLAN
 -21 MAIN-
 21 MAIN STREET
 ASHLAND, MA

PREPARED FOR:
TRASK DEVELOPMENT, INC.
 30 TURNPIKE ROAD, SUITE 8
 SOUTHBOROUGH, MA 01772
 TEL: 508 481 0077
 FAX: 508 485 4879
 DATE: DECEMBER 18, 2013
 SCALE: 1" = 20'

C1

- NOTES:**
- 1.) PARKING REQUIREMENTS:
 ZONE: COMMERCIAL ASHLAND DOWNTOWN DISTRICT 'C'
 USE: MIXED
 REQUIRED PARKING:
 APARTMENTS-9 AT 2 BEDROOMS EACH = 56.25% X 2X9 = 10.12
 3,300 BUSINESS COMMERCIAL = 56.25% X 3300 / 180 = 10.31
 TOTAL PARKING SPACES REQUIRED=21
 PROPOSED PARKING= 21 SPACES
 - 2.) THE NUMBERED PARKING SPACES SHOWN ARE RESIDENT DESIGNATED SPACES.
 - 3.) THIS PROPERTY IS NOT LOCATED WITHIN OR NEAR A WELLHEAD PROTECTION ZONE.
 - 4.) IF ALLOWED BY THE TOWN TRASK DEVELOPMENT SHALL PROVIDE 3 NO PARKING SIGNS AS MUTUALLY AGREED BY THE OWNER OF 37 MAIN STREET AND TRASK DEVELOPMENT, INC.
 - 5.) OFFSITE MITIGATION WITH NEIGHBORS AS AGREED BETWEEN THE RESPECTIVE PARTIES AND AS SUBJECT TO SEPARATE AGREEMENT.
 - 6.) REMOVE EXISTING CHAIN LINK FENCE AND REPLACE WITH 3' HIGH BLACK VINYL CLAD CLF ALONG #37 MAIN ST. PROPERTY WHERE SHOWN.
 - 7.) THE PAVERS SHALL COMPLY WITH ABB & ADA ACCESSIBILITY REQUIREMENTS.



REMOVE 47' SECTION OF EXISTING CONCRETE SIDEWALK & VERTICAL GRANITE CURB & REPLACE WITH PROPOSED DRIVEWAY & SIDEWALK TRANSITIONS. REMOVE OR PAINT OVER 4 EXISTING PARKING SPACE MARKINGS AND ADD 1 PARKING SPACE MARKINGS WHERE SHOWN ON THE SOUTH SIDE OF THE PROPOSED DRIVE ENTRANCE.

REMOVE 25' SECTION OF SIDEWALK & CURB & REPLACE WITH NEW VGC & CONCRETE SIDEWALK. PROVIDE PAVEMENT MARKINGS FOR 1 PARKING SPACE(9'X20') WHERE SHOWN ON THE NORTH SIDE OF THE PROPOSED DRIVE ENTRANCE.

Provide 3'H black vinyl clad chain link fence along the property boundary between #21 and #37 Main Street. Set the fence 6" off the property line on #21 Main Street property.

MAIN STREET
 (1896 COUNTY L.O. &)
 1984 COUNTY RELOCATION)

PLEASANT ST.

WATER ST.

MYRTLE ST.

N/F
 ROBERT D. & MARGARET C.
 TOCE

N/F
 EDWARD L. & MICHELLE
 MORRELL

N/F
 THIRTY-SEVEN MAIN, LLC

N/F
 GREGORY C. & LINDA A.
 FAWKES

N/F
 PETER BARRESI
 & KELLEY ENGLAND

PROPOSED 3 STY
 MIXED USE
 BUILDING

FLAT CANOPY
 SUPPORTED BY HANGER
 ROD (1 OF 3)

Dumpster (6' x 6') W/
 Wood 7'H Stockade
 Enclosure

BIKE RACK

CONCRETE PAVER PATIO

BENCH(1 OF 2)

8' x 16' Parking
 Spaces (Typ.)

HC RAMP
 (See Detail)

LOADING AREA
 Conc. S/W

5.0'(Min.)

22'

23.5'

180.80'

49.79'

45.81'

26.7'

118.00'

5.0'

5.3'

40.00'

12.5'

9.5'

6' CONC. SIDEWALK

VGC (6' REVEAL)

gran. curb

gran. curb

gran. curb

gran. curb

gran. curb

gran. curb

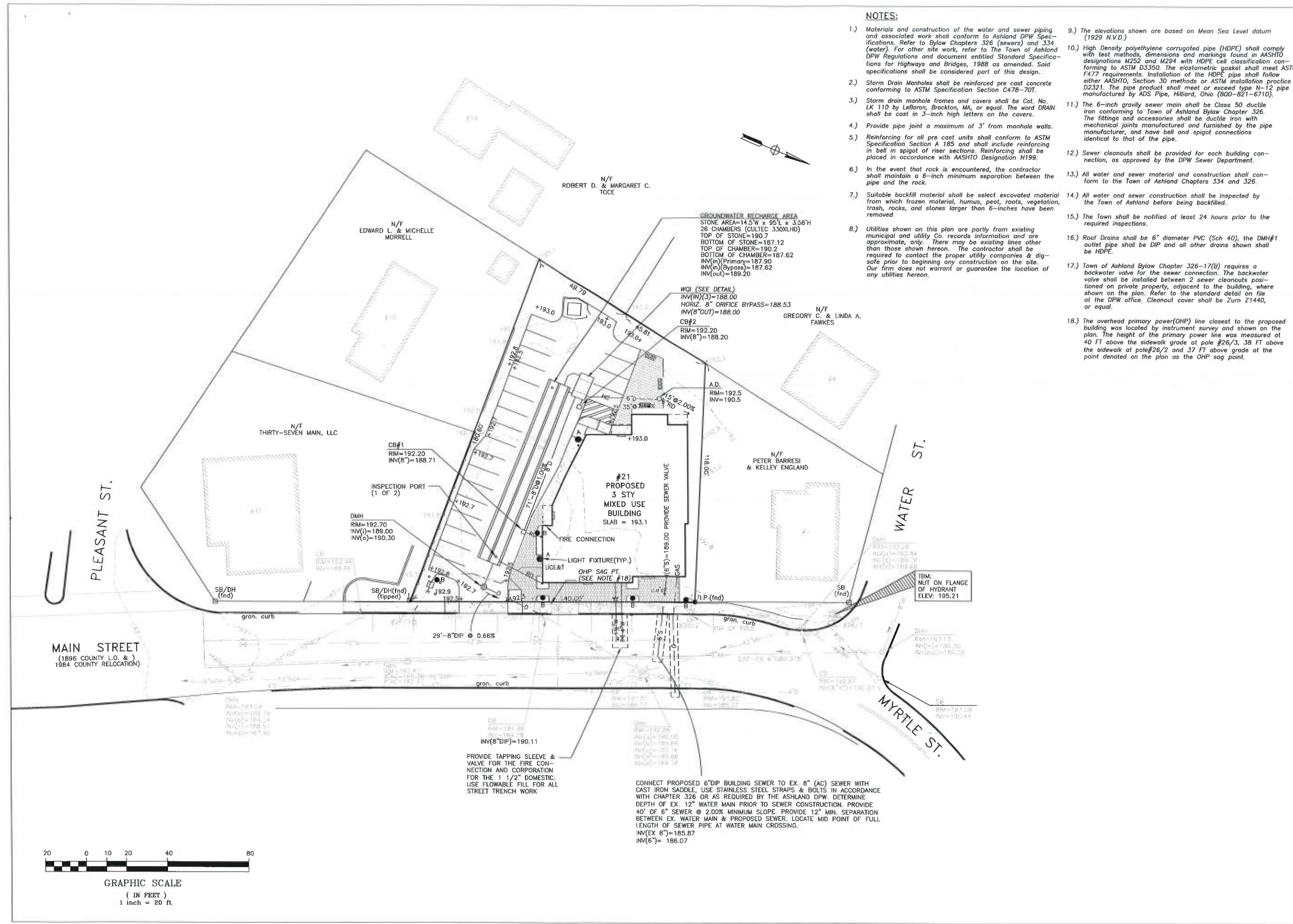
gran. curb

gran. curb

gran. curb

gran. curb

gran. curb



NO.	DATE	DESCRIPTION
1	1/27/14	GROUNDWATER RECHARGE AREA
2	2/7/14	PLAN EDITS
3	2/27/14	PLAN EDITS
4	2/27/14	PLAN EDITS
5	2/27/14	PLAN EDITS
6	10/28/14	REVISIONS
7	10/28/14	REVISIONS
8	10/28/14	REVISIONS

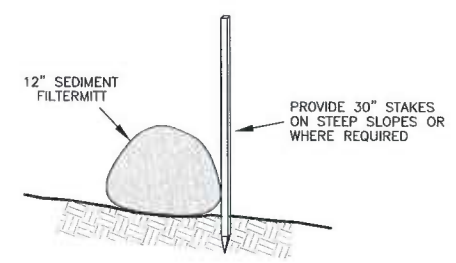
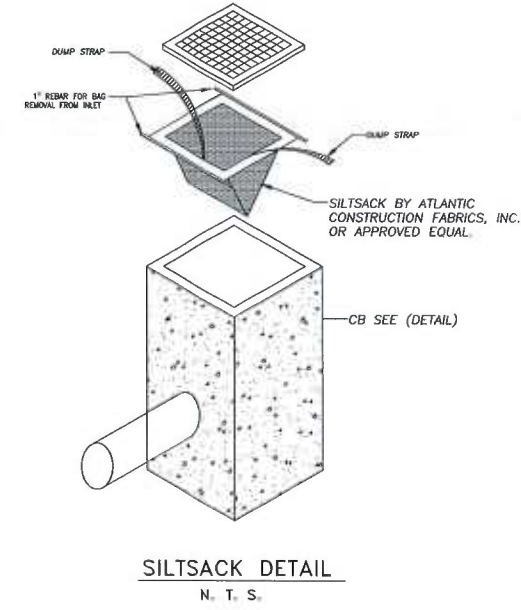
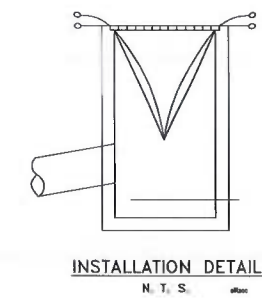
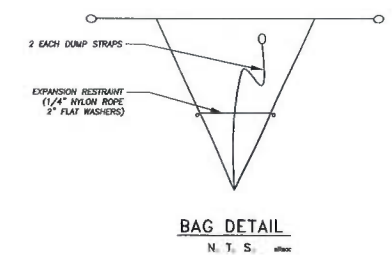
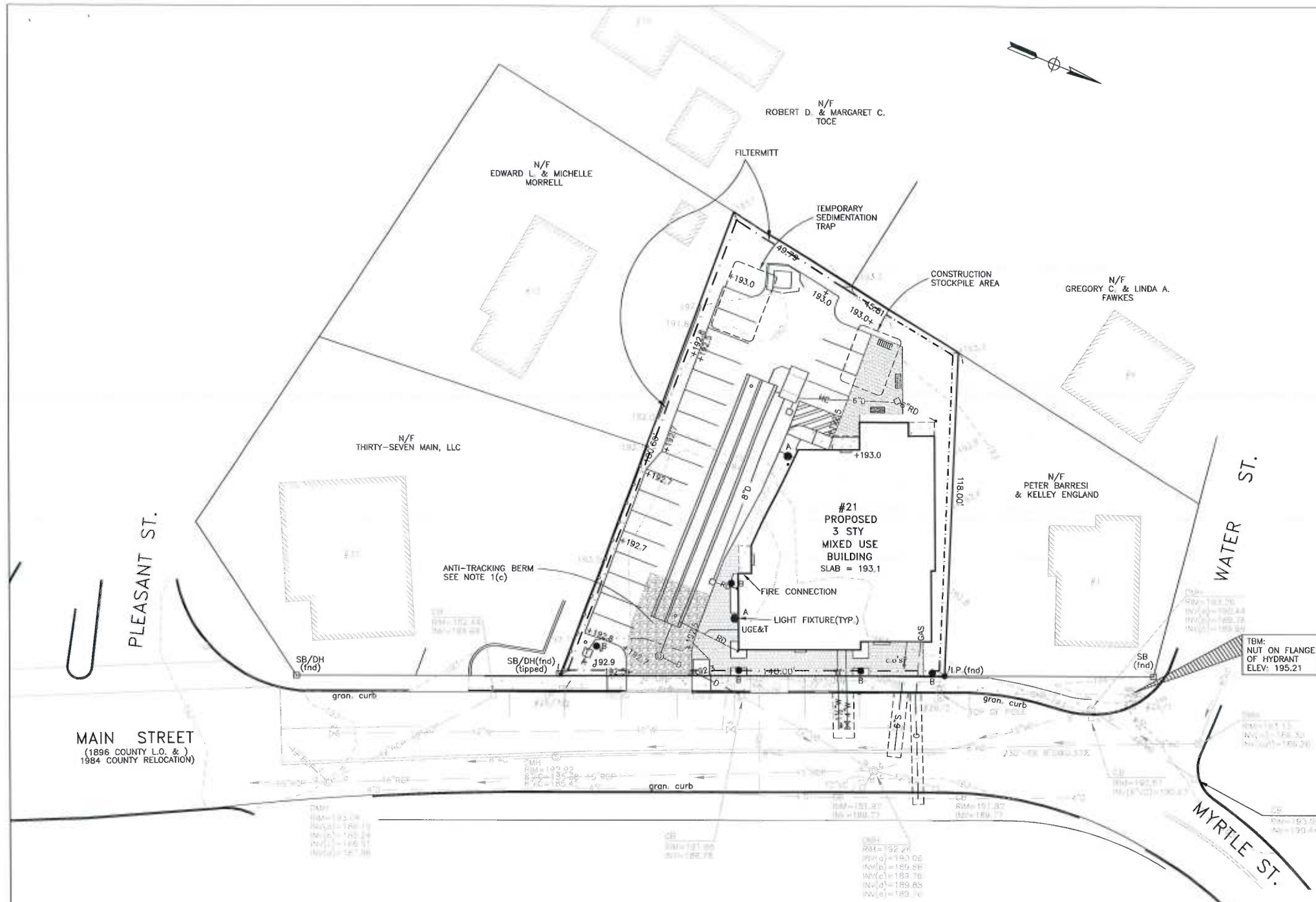


PREPARED BY:
BRUCE SALUK & ASSOC., INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 576 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752
 TEL: 508 485 1662
 FAX: 508 481 9929

DRAINAGE, SEWER, WATER & UTILITIES PLAN
-21 MAIN-
21 MAIN STREET
ASHLAND, MA

PREPARED FOR:
TRASK DEVELOPMENT, INC.
 30 TURNPIKE ROAD, SUITE 8
 SOUTHBOROUGH, MA 01772
 TEL: 508 481 0077
 FAX: 508 485 4879
 DATE: DECEMBER 18, 2013
 SCALE: 1" = 20'

C2



GRADING & EROSION CONTROL NOTES:

1.) Prior to commencing work, the contractor shall familiarize himself with the soil types on the site, and provide the appropriate erosion control measures, as outlined on this plan and Ashland Conservation Commission Storm water permit conditions. The contractor shall be responsible for providing erosion and temporary storm runoff control measures that includes siltation fence, filtermitt, dams, ditches, temporary sediment basins, etc. as necessary to contain soil and excess runoff on the site. The Conservation Commissions Storm water permit shall be posted in the construction trailer and issued, by the construction manager to the earthwork subcontractor.

The general sequence of erosion control measures shall be as follows:

- a) Install all siltation fencing and staked filtermitt, as shown on the plan.
- b) Construct other temporary sedimentation trap(s) where required at the beginning stage of earthwork. Retain storm water within the trap(s), and filter the water using Silt bags, or other approved means prior to discharge. Periodically remove sediment at the bottom of the silt traps to allow for natural infiltration.
- c) Construct traffic berm at the site entrance consisting of a 3/4"-3" crushed stone 12" depth by 30' long times the width of the traveled construction access road. The stone shall project above grade to form a berm barrier that prevents sediment from washing into abutting properties.

- 2.) Siltation fencing and staked filtermitt shall be installed prior to commencing work at this site, and shall be maintained throughout the course of construction until vegetation on the site has had a chance to fully establish itself.
- 3.) Soil stripping and removal at any one time shall be done in stages in order to minimize the amount of exposed soil for the project. Soil stabilization measures shall be implemented immediately after finish grading. Loam and seed shall be applied as soon as reasonably possible.
- 4.) All stock pile area shall not exceed 10 ft in height, otherwise safety fencing shall be installed around stock pile areas.
- 5.) The groundwater recharge area shall not be installed until the site has been sufficiently established to prevent silt and sediment from entering the chamber system. The use of the chamber system to control runoff and erosion control during site construction is prohibited.
- 6.) Silt sacks shall be installed at the area drain and all CB's. Silt sacks shall be cleaned and replaced throughout construction and until the site is stabilized and erosion free.
- 7.) Acceptable siltation fence is Mirafi, Inc. Charlotte, NC, Model 100x, or equal.
- 8.) Houses shown on abutting lots were taken from Assessor Maps and should be considered approximate, only.

NO.	DATE	DESCRIPTION
1	10/08/14	BAG LOCATION/SIZE
2	1/20/14	BAG LOCATION/SIZE
3	2/26/14	PREP. REVIEW COMMENTS
4	3/27/14	PLAN EDITS
5	7/29/14	EROSION CONTROL DETAIL
6		
7		

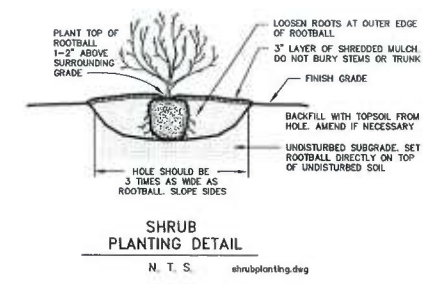
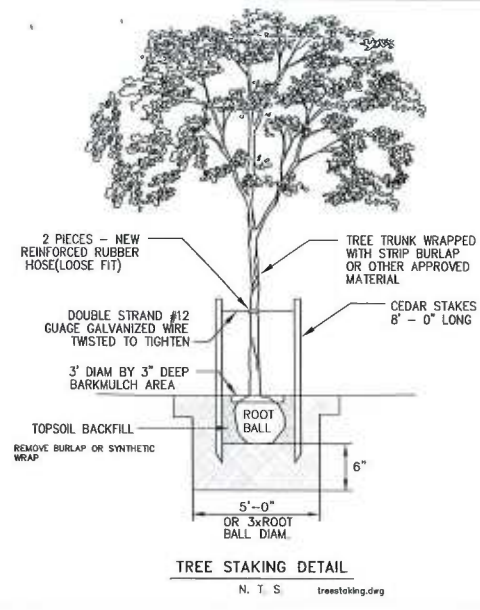


PREPARED BY:
BRUCE SALUK & ASSOC., INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 576 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752
 TEL: 508 485 1662
 FAX: 508 481 9929

GRADING & EROSION CONTROL
 -21 MAIN-
 21 MAIN STREET
 ASHLAND, MA

PREPARED FOR:
TRASK DEVELOPMENT, INC.
 30 TURNPIKE ROAD, SUITE 8
 SOUTHBOROUGH, MA 01772
 TEL: 508 481 0077
 FAX: 508 485 4879
 DATE: DECEMBER 18, 2013
 SCALE: 1" = 20'

C3



PLANTING LEGEND				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TO	53	Thuja Occidentalis	American Arborvitae	8'-10' *
CF	1	Cornus Florida	Flowering Dogwood	3" Caliper (5' - 10')
TC	2	Tilia Cordata (Greenspire)	Little Leaf Linden	3" Caliper (5' - 10')
IC	13	Ilex crenata 'Steeds'	Steeds Holly	2'-3'
RM	16	Rhododendron	Azalea Mother's Day	2'-3'
RH	3	Rhododendron x 'P.J.M.'	P.J.M. Rhododendron	2'-3'
HI	10	Hydrangea Arborescens Annabelle	Hydrangea Incrediball	2'-3'
PV	19	Pennisetum Alopecuroides	Dwarf Fountain Grass	30"
RF	20	Rudbeckia Fulgida	Black Eye Susan	---
AW	12	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	2'-3'

* SEE PLANTING NOTE #6

NO.	DATE	DESCRIPTION
1	10/28/14	PLANTING AND LIGHTING
2	11/20/14	BLOG LOCATION
3	1/22/14	PEER REVIEW COMMENTS
4	2/27/14	PLANTING, PARKING, PATIO AREA

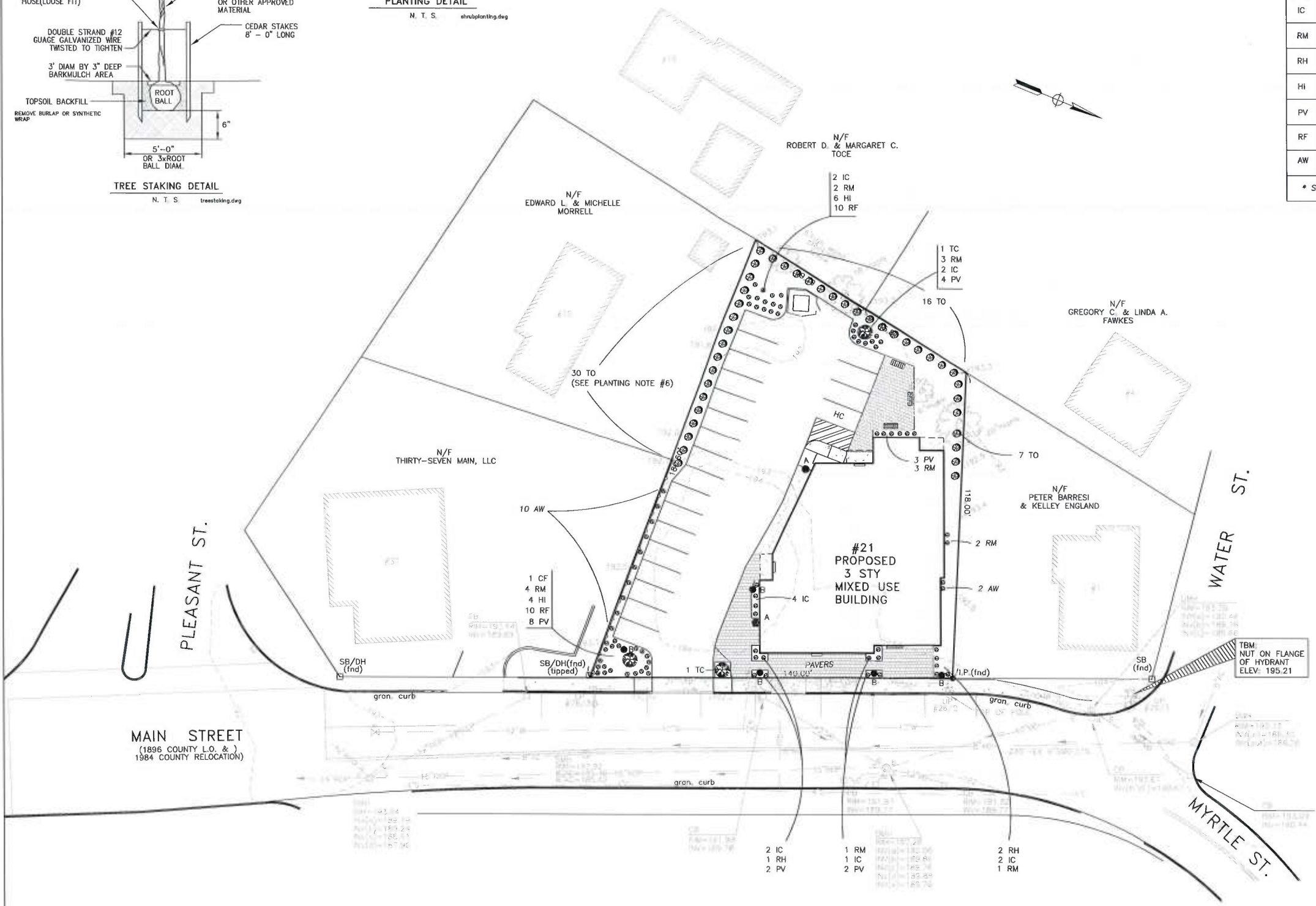


PREPARED BY:
BRUCE SALUK & ASSOC., INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 576 BOSTON POST ROAD EAST
 MARLBOROUGH, MA 01752
 TEL: 508 485 1662
 FAX: 508 481 9929

PLANTING & LIGHTING PLAN
 -21 MAIN -
 21 MAIN STREET
 ASHLAND, MA

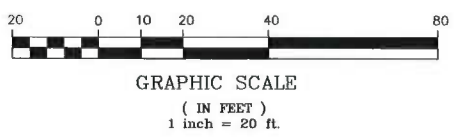
PREPARED FOR:
TRASK DEVELOPMENT, INC.
 30 TURNPIKE ROAD, SUITE 8
 SOUTHBOROUGH, MA 01772
 TEL: 508 481 0077
 FAX: 508 485 4879
 DATE: DECEMBER 18, 2013
 SCALE: 1" = 20'

C4



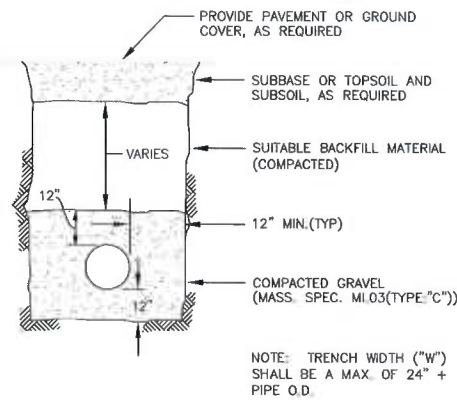
- PLANTING NOTES:**
- FOR LOAM & SEED AREAS, PROVIDE 4" LOAM AND SEED MIX COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA.
 - PROVIDE TREES, SHRUBS AND OTHER PLANTS OF SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK".
 - FINAL PLANT LOCATIONS TO BE ADJUSTED IN FIELD AS NECESSARY TO PROVIDE REQUIRED OFFSETS TO CONSTRUCTION APPURTENANCES AND UTILITIES, ETC.
 - PLANTINGS ARE SUBJECT TO CHANGE DUE TO NURSERY STOCK AVAILABILITY, AS APPROVED.
 - PLANTING AND WORKMANSHIP SHALL COMPLY WITH THE FOLLOWING:
 - TREES SHALL BE 3" CALIPER
 - STAKING MATERIALS TO BE REMOVED 1 YEAR AFTER PLANTING.
 - OWNER REPLACES TREES AND SHRUBS THAT DIE WITHIN 180 DAYS.
 - PLANTING OF AMERICAN ARBORVITAE AT LEAST 10 FT TALL ALONG THE COMMON PROPERTY LINE WITH 15 PLEASANT STREET, WITH SPACING OPTIMIZED FOR PRIVACY AND HEALTH OF THE VEGETATION.

- LIGHTING NOTES:**
- LUMINAIRE & HARDWARE SHALL BE PROVIDED BY THE MANUFACTURER SPECIFICATIONS.
 - CONDUIT ALIGNMENT SHOWN ARE SCHEMATIC ONLY. ALL MATERIALS WORKMANSHIP SHALL COMPLY WITH APPLICABLE LOCAL AND MASSACHUSETTS STATE ELECTRICAL CODE. IN THE EVENT OF CONFLICT BETWEEN DESIGN AND GOVERNING CODE OR ORDINANCE, THE MORE STRINGENT STANDARD SHALL APPLY. THE CONTRACTOR SHALL MAKE APPROPRIATE ADJUSTMENTS TO ACCOMMODATE LANDSCAPE FEATURES. AVOID UNNECESSARY BENDS ALONG THE CONDUIT. CHANGES IN DIRECTION EXCEEDING A TOTAL OF TEN (10) DEGREE EITHER VERTICALLY OR HORIZONTALLY, SHALL INCLUDE LONG SWEEP BENDS.
 - ALL UNDERGROUND WIRES SHALL TO BE IN PVC SCH 80 CONDUIT.
 - EXTERIOR LIGHTING SHALL BE THE STYLE AND QUALITY MATCHING OR EXCEEDING THE LIGHTING AT THE ASHLAND TOWN HALL. LIGHTING MUST PRODUCE DOWNWARD-FACING ILLUMINATION WITH NO DIRECT ILLUMINATION INTO THE ADJUTING PROPERTIES. THE PARKING AREA SHOULD BE CONTINUOUSLY ILLUMINATED AT NIGHT. PERIMETER LIGHTING ON THE NORTH AND WEST SIDES OF THE BUILDING (WHERE THERE IS NO PARKING) SHOULD BE MOTION ACTIVATED ONLY (UNLESS ZONING OR BUILDING REQUIREMENTS STATE OTHERWISE) WITH LIGHTS REMAINING ILLUMINATED FOR NO MORE THAN 5 MINUTES WITHOUT ACTIVATION.

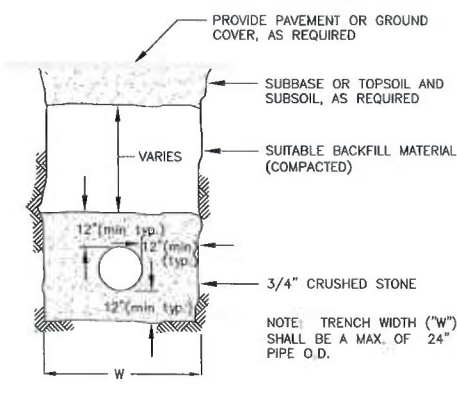


Luminaire Schedule				
Symbol	Qty	Label	Description*	Arrangement
●A	2	A	WALL MOUNT AREA LIGHTING	SINGLE
●B	5	B	BOLLARD LIGHTING	SINGLE

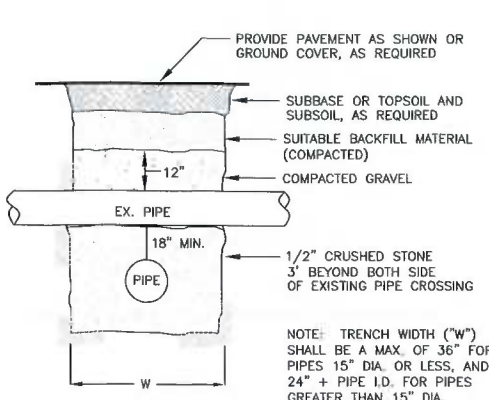
* SEE LIGHTING NOTE #4



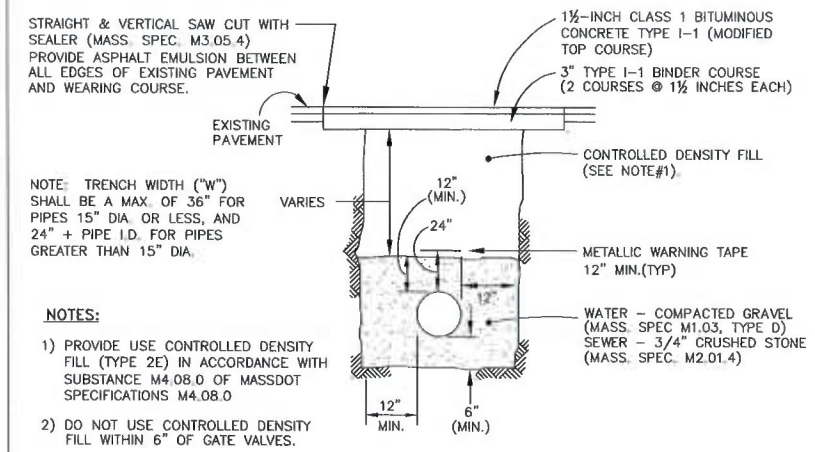
TRENCH SECTION FOR STORM DRAIN
N. T. S. trench2.dwg



TRENCH SECTION FOR GRAVITY SANITARY SEWER
N. T. S. TrenchMarlborough.dwg



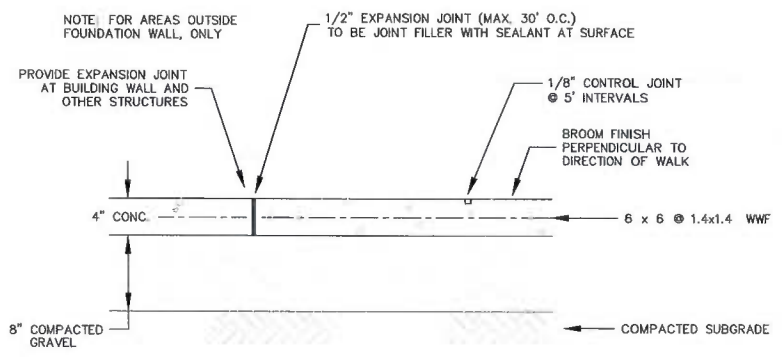
UTILITY CROSSING DETAIL
N. T. S.



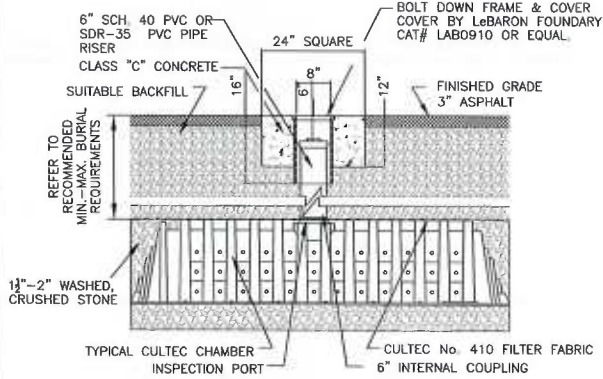
TRENCH SECTION IN MAIN STREET
N. T. S. TRENCH3_2005.DWG



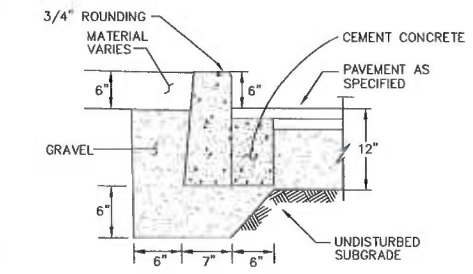
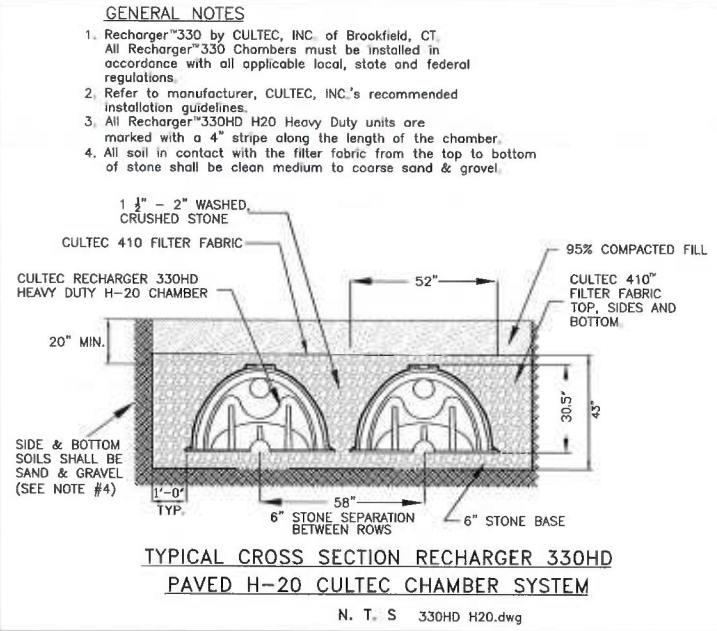
PAVEMENT SECTION
N. T. S. pavesect.dwg



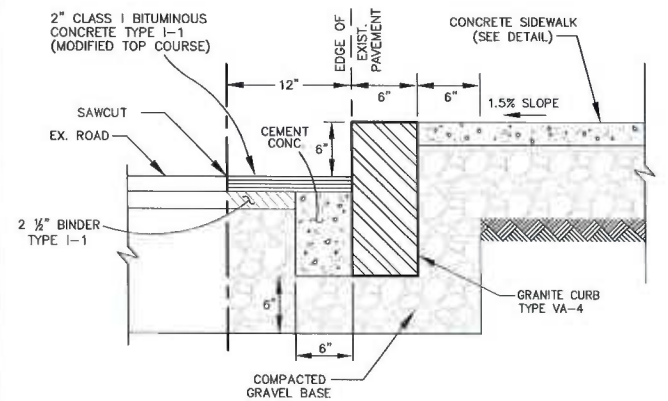
CONCRETE SIDEWALK
N. T. S. Concsidewalk.dwg



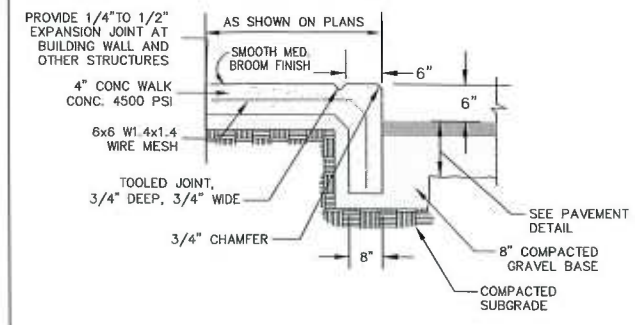
TYPICAL H2O INSPECTION PORT DETAIL
PORT DETAIL FOR SUBSURFACE DETENTION STRUCTURES IN PAVED AREAS
N. T. S. INSPECTIONPORT1.DWG



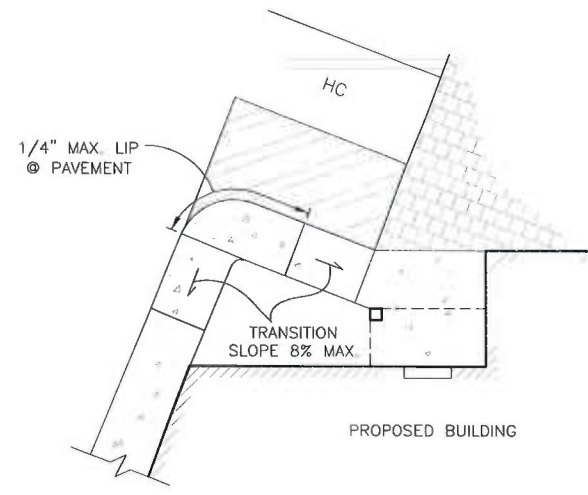
CONCRETE CURB
N. T. S.



VERTICAL VA-4 GRANITE CURBING DETAIL
N. T. S.



CONCRETE SIDEWALK & CURB
N. T. S.



HANDICAP RAMP
N. T. S.

NO.	DATE	REVISIONS	DESCRIPTION
1	2/25/14	REVISED CONCRETS	
2	2/25/14	GRANITE CURBING SYSTEM	

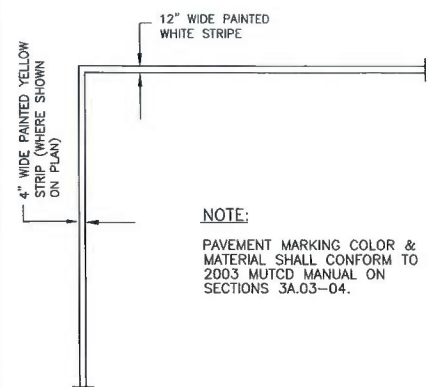


PREPARED BY:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752
TEL: 508 485 1662
FAX: 508 481 9929

DETAILS
-21 MAIN-
21 MAIN STREET
ASHLAND, MA

PREPARED FOR:
TRASK DEVELOPMENT, INC.
30 TURNPIKE ROAD, SUITE 8
SOUTHBOROUGH, MA 01772
TEL: 508 481 0077
FAX: 508 485 4879
DATE: DECEMBER 18, 2013
SCALE: 1" = 20'

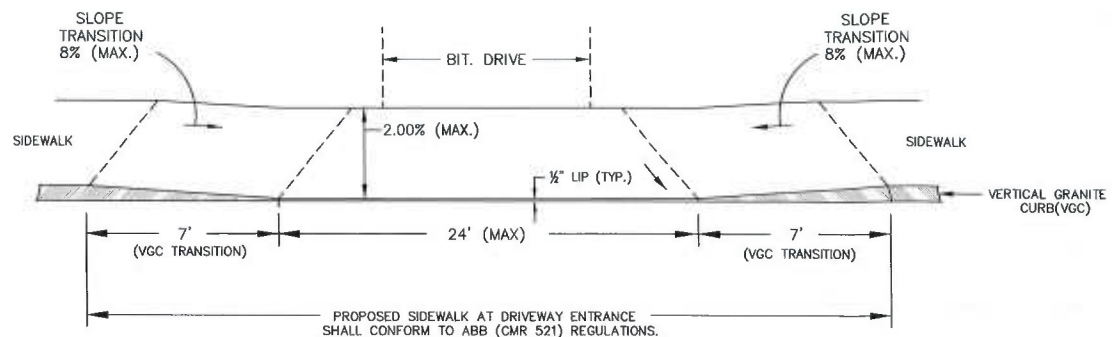
C5



NOTE:
PAVEMENT MARKING COLOR & MATERIAL SHALL CONFORM TO 2003 MUTCD MANUAL ON SECTIONS 3A.03-04.

STOP LINE DETAIL

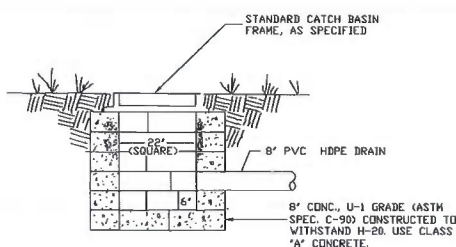
N. T. S.



SIDEWALK THROUGH DRIVEWAY

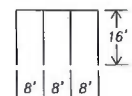
N. T. S.

DRIVESECTION(2).dwg

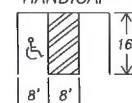


AREA DRAIN

N. T. S. AREA DRAIN.DWG



VAN. ACCESS. HANDICAP



PARKING STALL DIMENSIONS

N. T. S.



UNAUTHORIZED VEHICLES MAY BE REMOVED AT OWNERS EXPENSE

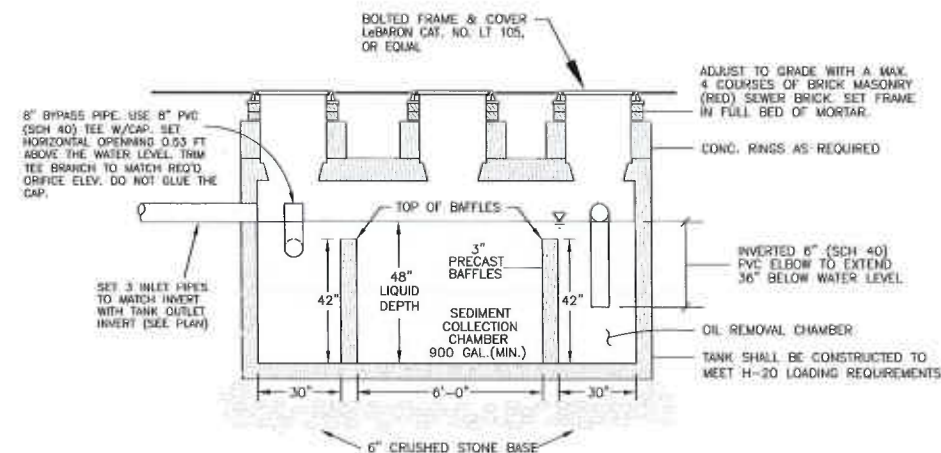
HCVP

NOTE:

1. SIGNAGE SHALL COMPLY WITH 521CMR 23.6. SUCH SIGN SHALL BE PERMANENTLY LOCATED AT A HEIGHT OF NOT LESS THAN FIVE FEET, NOR MORE THAN EIGHT FEET TO THE TOP OF THE SIGN.
2. SIGN(S) SHALL HAVE A BLUE BACKGROUND AND WHITE CAPITAL LETTERS.

HANDICAP PARKING SIGNS

N. T. S.



3-COMPARTMENT 2,000 GAL. H-20 LOADING TANK

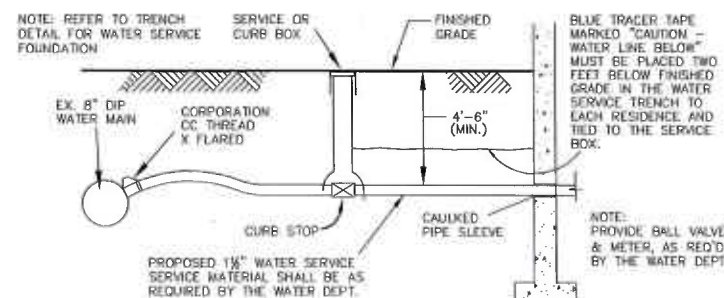
WATER QUALITY INLET

N. T. S.

Drainage/WQI.dwg

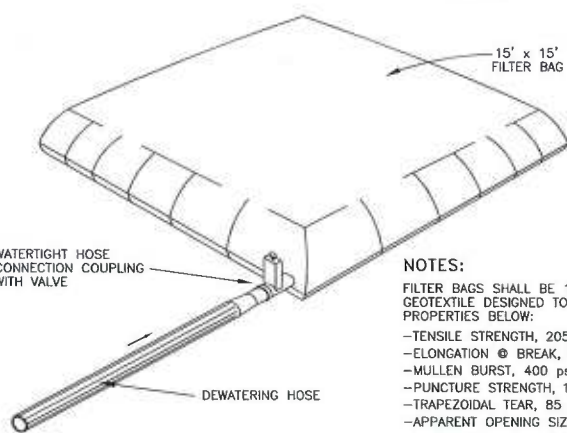
NOTES:

- 1.) SEE GRADING & DRAINAGE PLAN FOR ELEVATIONS AND LOCATIONS.
- 2.) TANK SHALL BE SHEA CONCRETE, OR APPROVED EQUAL.



WATER SERVICE CONNECTION

N. T. S.



NOTES:

- FILTER BAGS SHALL BE 15' x 15' POLYPROPYLENE GEOTEXTILE DESIGNED TO ENACT OR EXCEED THE PROPERTIES BELOW:
- TENSILE STRENGTH, 205 lbs (ASTM D-4632)
 - ELONGATION @ BREAK, 50 % (ASTM D-4632)
 - MULLEN BURST, 400 psi (ASTM D-3786)
 - PUNCTURE STRENGTH, 130 lbs (ASTM D-4833)
 - TRAPEZOIDAL TEAR, 85 lbs (ASTM D-4533)
 - APPARENT OPENING SIZE, 80 US Sieve (ASTM D-4751)
 - PERMITTIVITY, 1.40 Sec-1 (ASTM D-4491)
 - UV RESISTANCE, % RETAINED, 70 % (ASTM D-4355)
 - FLOW RATE, 90 gpl/min/sf (ASTM D-4491)
- BAGS SHALL BE US FILTER BAG BY US FABRICS, CINCINNATI, OHIO, OR APPROVED EQUAL.

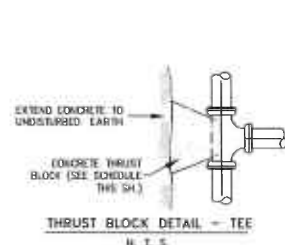
DEWATERING FILTER BAG DETAIL

N. T. S.

FilterBag.dwg

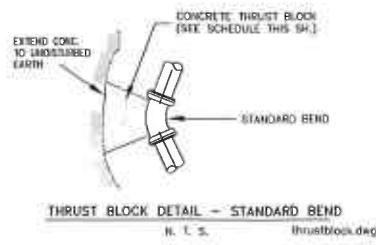
- NOTES:**
- 1) VALUES IN TABLE ARE REQUIRED CONCRETE THRUST BLOCK BEARING AREA IN SQUARE FEET AGAINST UNDISTURBED SOIL.
 - 2) USE THE RODS AND MEGA LUGS FOR ALL FITTINGS.

THRUST BLOCK SCHEDULE			
DIAM.	TEES & PLUGS	45°	22 1/2°
4"	4 SF	3 SF	3 SF



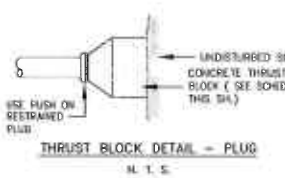
THRUST BLOCK DETAIL - TEE

N. T. S.



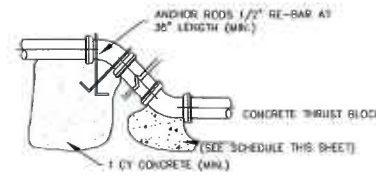
THRUST BLOCK DETAIL - STANDARD BEND

N. T. S. thrustblock.dwg



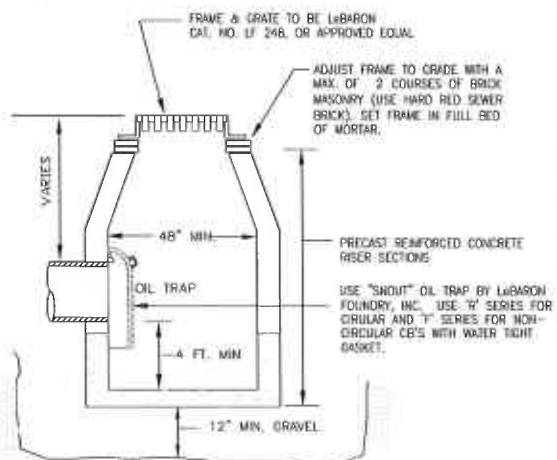
THRUST BLOCK DETAIL - PLUG

N. T. S.



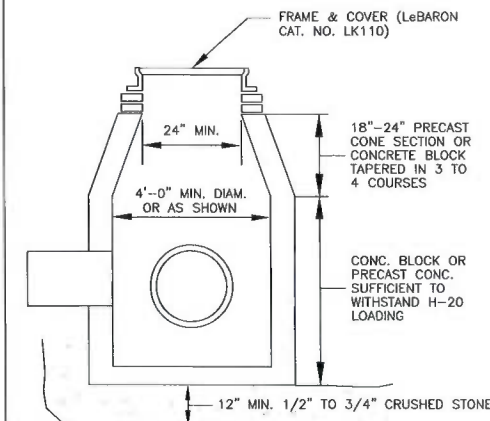
THRUST BLOCK - VERTICAL BEND

N. T. S.



CATCH BASIN

N. T. S. CB1-Morborough.Dwg



STORM DRAIN MANHOLE

N. T. S.

DMH1

NO.	DATE	DESCRIPTION
1	1/24/14	BNS
2	2/17/14	BNS
3	2/24/14	BNS
4	3/15/14	BNS
5	3/15/14	BNS
6	3/15/14	BNS
7	3/15/14	BNS
8	3/15/14	BNS
9	3/15/14	BNS
10	3/15/14	BNS
11	3/15/14	BNS
12	3/15/14	BNS
13	3/15/14	BNS
14	3/15/14	BNS
15	3/15/14	BNS
16	3/15/14	BNS
17	3/15/14	BNS
18	3/15/14	BNS
19	3/15/14	BNS
20	3/15/14	BNS



PREPARED BY:
BRUCE SALUK & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
576 BOSTON POST ROAD EAST
MARLBOROUGH, MA 01752
TEL: 508 485 1662
FAX: 508 481 9929

DETAILS
-21 MAIN -
21 MAIN STREET
ASHLAND, MA

PREPARED FOR:
TRASK DEVELOPMENT, INC.
30 TURNPIKE ROAD, SUITE 8
SOUTHBOROUGH, MA 01772
TEL: 508 481 0077
FAX: 508 485 4879
DATE: DECEMBER 18, 2013
SCALE: 1" = 20'

C6

PARKING CALCULATION

OFFICES, STORES

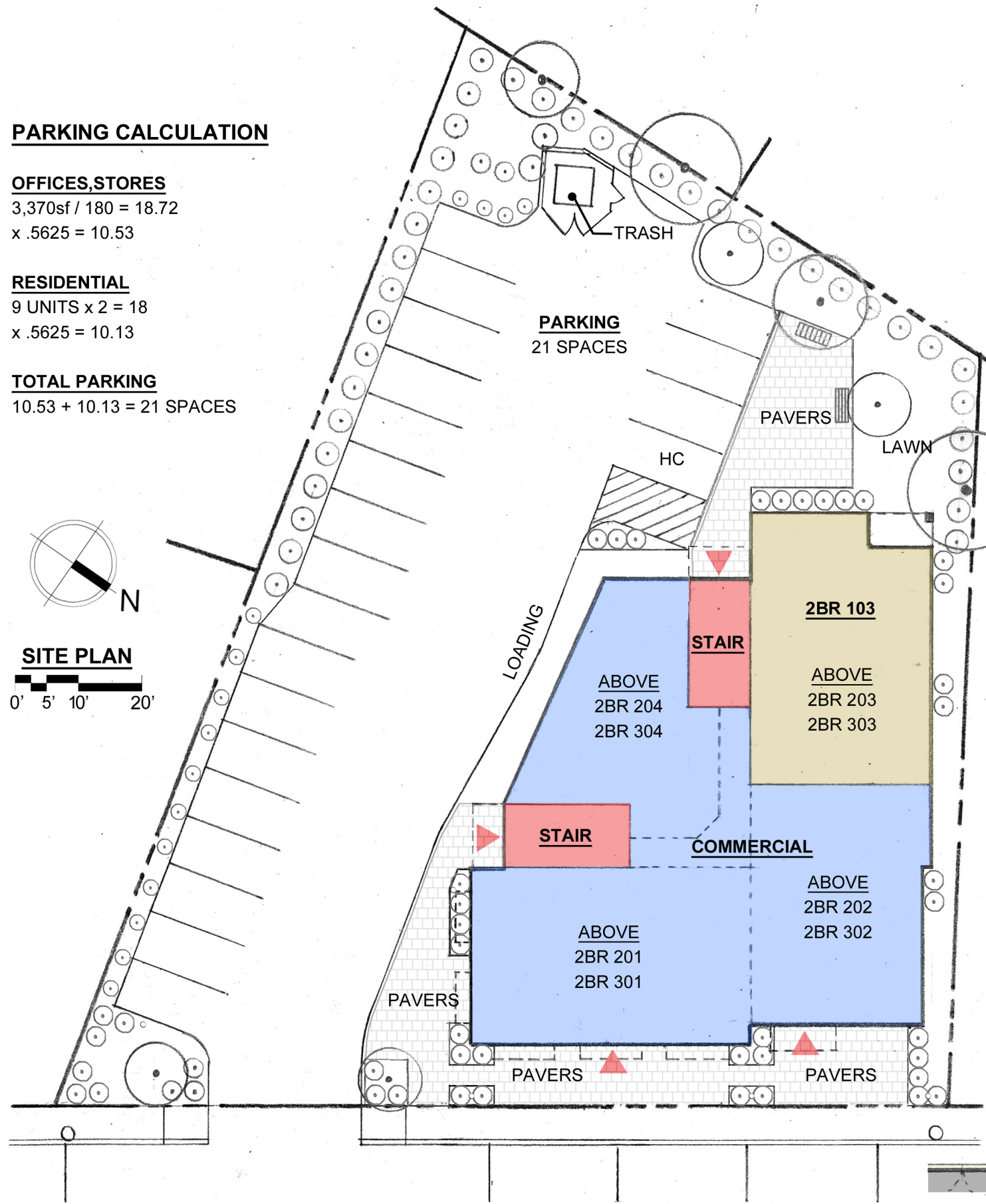
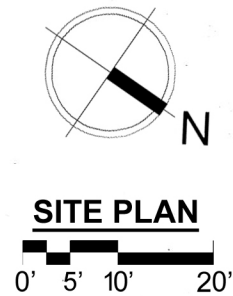
3,370sf / 180 = 18.72
x .5625 = 10.53

RESIDENTIAL

9 UNITS x 2 = 18
x .5625 = 10.13

TOTAL PARKING

10.53 + 10.13 = 21 SPACES



FLOOR AREA CALCULATION

FIRST FLOOR

COMM. = 3,370sf
2BR 101 = 1,130sf
CIRC = 400sf
TOTAL = 4,900sf

SECOND FLOOR

2BR 201 = 1,210sf
2BR 202 = 1,070sf
2BR 203 = 1,160sf
2BR 204 = 910sf
CIRC = 630sf
TOTAL = 4,980sf

THIRD FLOOR

2BR 301 = 1,030sf
2BR 302 = 960sf
2BR 303 = 1,130sf
2BR 304 = 910sf
CIRC = 580sf
TOTAL = 4,610sf

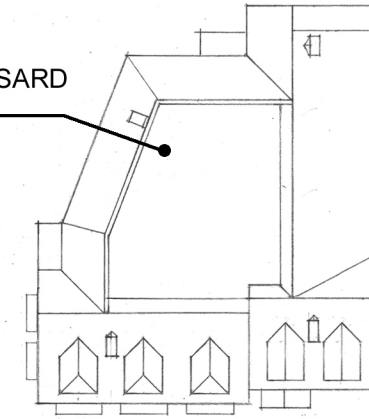
ALL FLOORS

TOTAL = 14,490sf

SITE AREA = 16,580sf

FAR = .87

FLAT ROOF
WITH 6' MANSARD
PARAPET



ROOF PLAN

1"=40'-0"



NORTH ELEVATION



MAIN STREET ELEVATION