

DEED REFERENCES

- | | |
|----------------------|----------------------|
| BOOK 58104, PAGE 489 | BOOK 35792, PAGE 129 |
| BOOK 54869, PAGE 01 | BOOK 55699, PAGE 296 |
| BOOK 52882, PAGE 440 | BOOK 24903, PAGE 385 |
| BOOK 1338, PAGE 119 | BOOK 44958, PAGE 196 |
| BOOK 17471, PAGE 339 | BOOK 36179, PAGE 230 |
| BOOK 66224, PAGE 95 | BOOK 30611, PAGE 533 |
| | BOOK 22997, PAGE 87 |

TOTAL PROJECT AREA
232,818± S.F. OR 5.34 ACRES

PLAN REFERENCES

- | | |
|--------------------|--------------------|
| PLAN #962 OF 1999 | PLAN #903 OF 1947 |
| PLAN #1380 OF 1960 | PLAN #888 OF 1985 |
| PLAN #1144 OF 1953 | PLAN #1132 OF 2002 |
| PLAN #367 OF 1958 | PLAN #430 OF 2008 |
| PLAN #603 OF 1984 | PLAN #918 OF 1984 |
| PLAN #117 OF 1940 | PLAN #503 OF 1993 |
| PLAN #561 OF 1988 | PLAN #502 OF 1993 |
| PLAN #260 OF 2014 | |

THE ABOVE DOCUMENTS ARE RECORDED WITH THE MIDDLESEX REGISTRY OF DEEDS DISTRICT.

NOTES

- THE PLANIMETRIC AND BOUNDARY LINE FEATURES SHOWN HEREON ARE BASED ON FIELD INSTRUMENT SURVEYS PERFORMED BETWEEN AUGUST 2013 AND OCTOBER 2015 BY THE JILLSON COMPANY.
- THE BORDERING VEGETATED WETLAND AND TOP OF BANK FLAGS SHOWN HEREON ARE BASED ON A WETLAND DELINEATION PERFORMED IN SEPTEMBER 2013 & APRIL 2015 BY DAVID W. BURKE, WETLAND SPECIALIST. FOR ADDITIONAL INFORMATION REFER TO THE ANRAD FILING FROM APRIL 2015.
- FOR ADDITIONAL INFORMATION REFER TO THE PLAN SET PREPARED BY THE JILLSON COMPANY ENTITLED "NO. 73 OLIVE STREET DEFINITIVE SUBDIVISION PLAN" DATED 3/25/16.

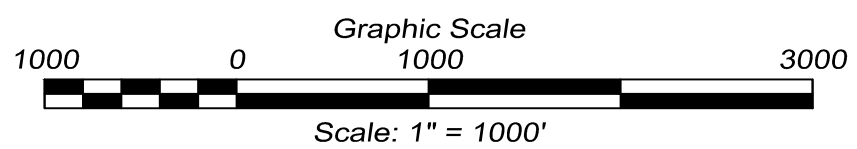
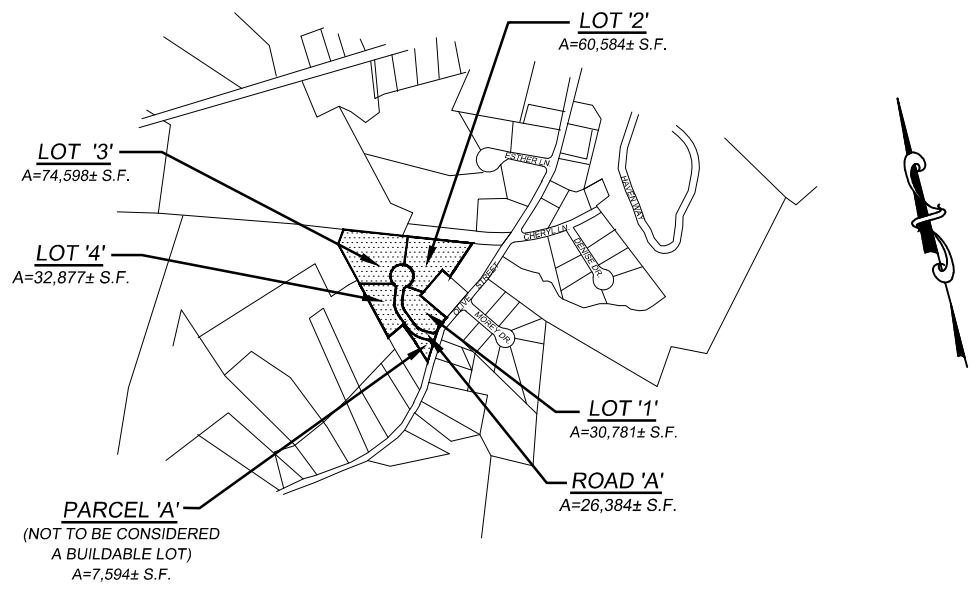
"FOR USE BY THE TOWN OF ASHLAND BOARD OF ASSESSORS"

"No. 73 OLIVE STREET LOTTING PLAN"
LAND IN
ASHLAND, MASS.

ASSESSOR'S REFERENCE: MAP 23, PARCEL 231
ZONING CLASSIFICATION: RA
OWNER/APPLICANT: SURESH RAJAKUMAR & BHUVANA KRISHNAN
12 BURNING TREE ROAD
NATICK, MA 01760

SCALE: 1"=200' DATE: 25 MARCH 2016
PREPARED BY: THE JILLSON COMPANY, INC.
P.O. BOX 2135
FRAMINGHAM, MA. 01703-2135
(508)-485-0500
www.JILLSONCOMPANY.com

REVISIONS		
REV	DATE	DESCRIPTION



**"No. 73 OLIVE STREET
SUBDIVISION LOCUS MAP"**

LAND IN
ASHLAND, MASS.

ASSESSOR'S REFERENCE: MAP 23, PARCEL 231

ZONING CLASSIFICATION: RA

OWNER/APPLICANT: SURESH RAJAKUMAR &
BHUVANA KRISHNAN
12 BURNING TREE ROAD
NATICK, MA 01760

SCALE: 1"=1,000' DATE: 25 MARCH 2016

PREPARED BY: THE JILLSON COMPANY, INC.
P.O.BOX 2135
FRAMINGHAM, MA. 01703-2135
(508)-485-0500
www.JILLSONCOMPANY.com

NOTES

- FOR ADDITIONAL INFORMATION REFER TO THE PLAN SET PREPARED BY THE JILLSON COMPANY ENTITLED "No. 73 OLIVE STREET DEFINITIVE SUBDIVISION PLAN" DATED 3/25/16.

REVISIONS		
REV	DATE	DESCRIPTION

DATE: _____

"No. 73 OLIVE STREET DEFINITIVE SUBDIVISION PLAN"

LAND IN ASHLAND, MASS.

MARCH 25, 2016

FOR REGISTRY USE ONLY

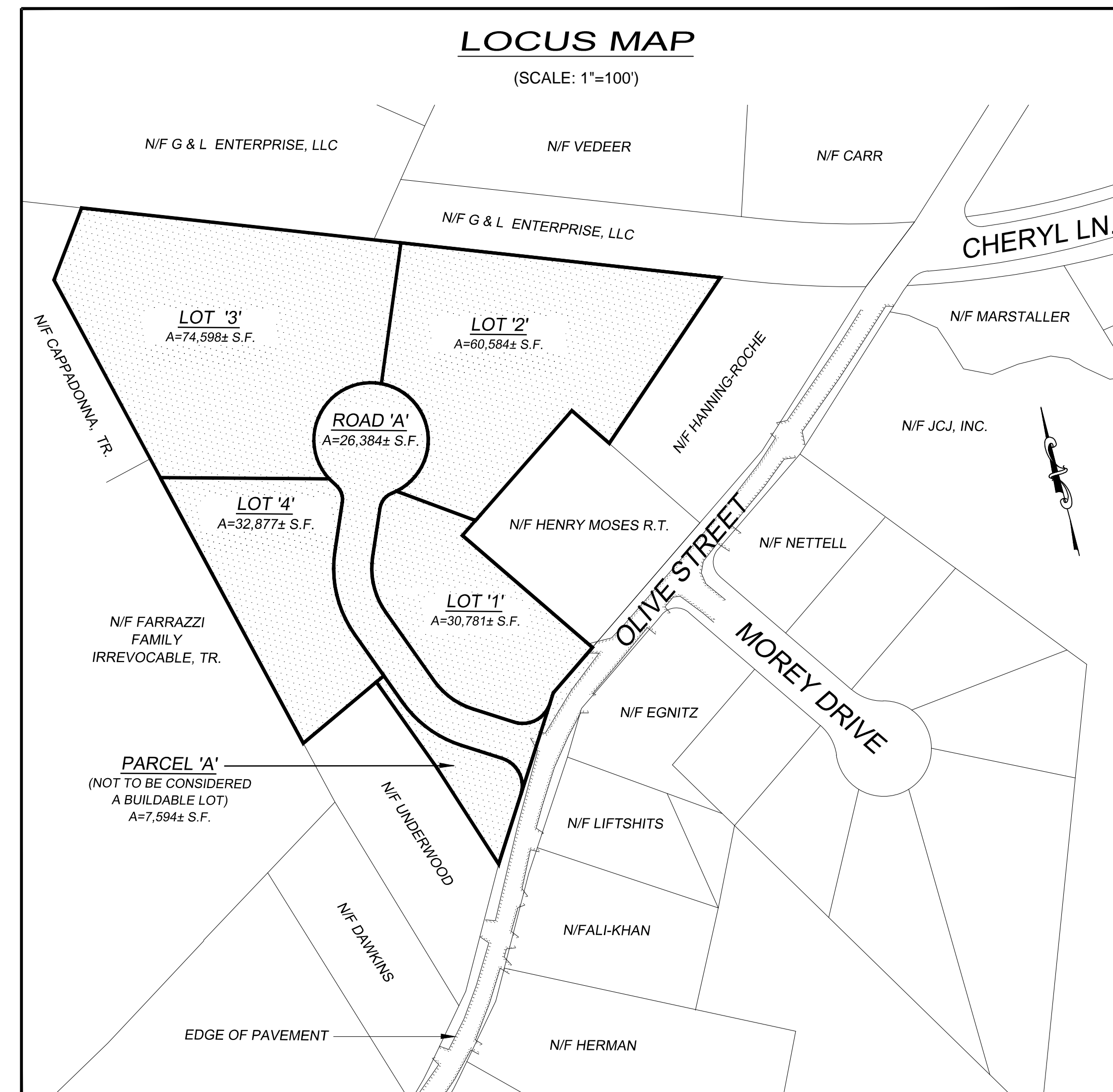
PROPERTY OWNER & APPLICANT
SURESH RAJAKUMAR & BHUVANA KRISHNAN
12 BURNING TREE ROAD
NATICK, MA 01760

ENGINEERING & LAND SURVEYING
THE JILLSON COMPANY, INC.
PO BOX 2135
FRAMINGHAM, MA 01703

TOTAL PROJECT AREA
232,818± S.F. OR 5.34± ACRES

ASSESSOR'S REFERENCE
MAP 23, PARCEL 231

ZONING DISTRICT
RA - RESIDENCE A



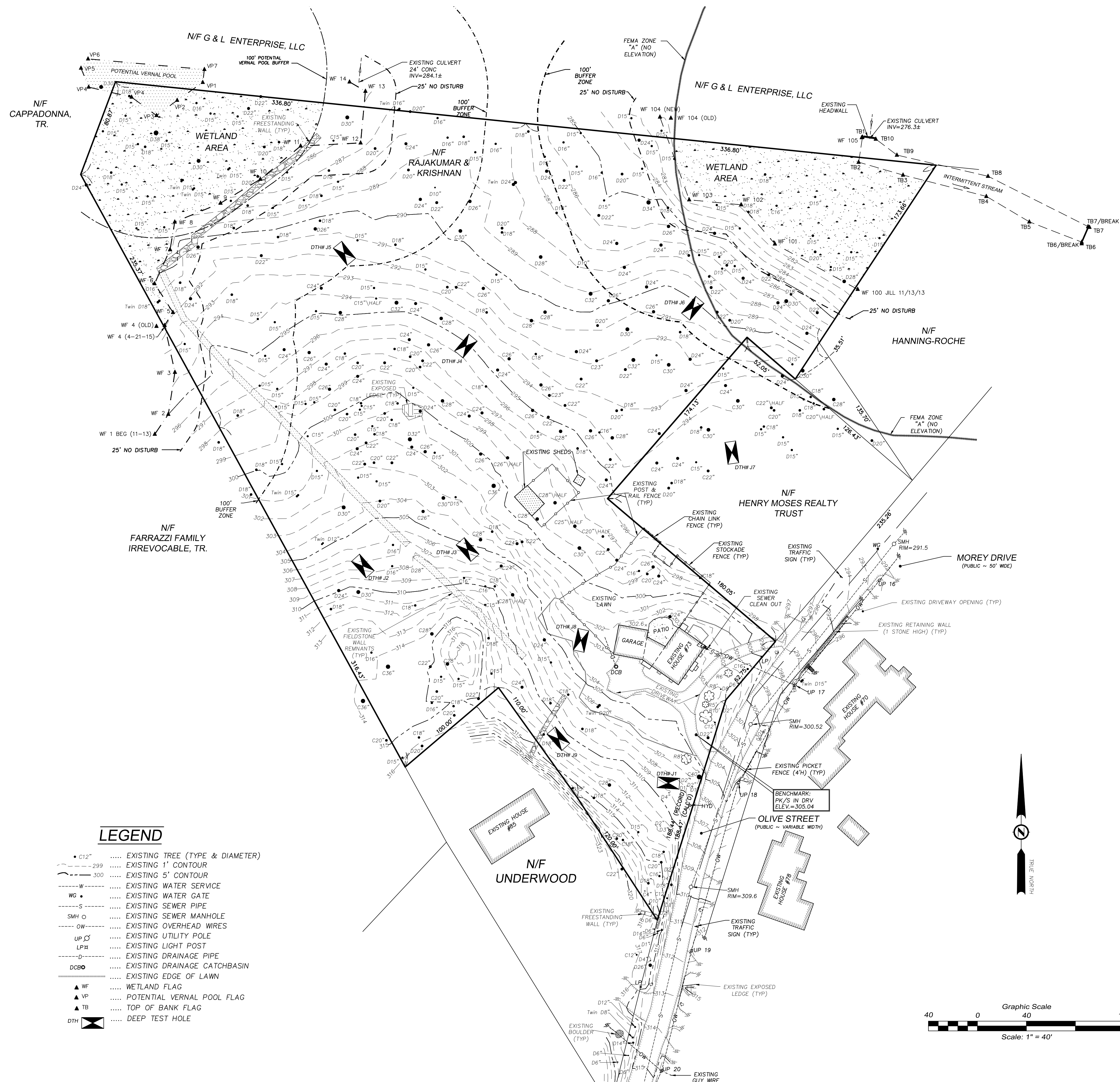
DRAWING INDEX

SHEET	TITLE
1 OF 10	No. 73 OLIVE STREET COVER SHEET
2 OF 10	No. 73 OLIVE STREET EXISTING CONDITIONS PLAN
3 OF 10	No. 73 OLIVE STREET LOTTING PAN
4 OF 10	No. 73 OLIVE STREET SITE DEVELOPMENT PLAN
5 OF 10	No. 73 OLIVE STREET DETAIL SHEET #1
6 OF 10	No. 73 OLIVE STREET DETAIL SHEET #2
7 OF 10	No. 73 OLIVE STREET GRADING PROFILE
8 OF 10	No. 73 OLIVE STREET SEWER PROFILE
9 OF 10	No. 73 OLIVE STREET DRAINAGE PROFILE
10 OF 10	No. 73 OLIVE STREET UNDERGROUND UTILITY PROFILE

APPROVED BY THE
ASHLAND PLANNING BOARD

DATE:

FOR REGISTRY USE ONLY



NOTES

- ELEVATIONS SHOWN HEREON ARE BASED ON N.A.V.D. OF 1988.
- THE PLANIMETRIC AND TOPOGRAPHIC FEATURES SHOWN HEREON ARE BASED ON FIELD INSTRUMENT SURVEYS PERFORMED BETWEEN AUGUST 2013 AND OCTOBER 2015 BY THE JILLSON COMPANY.
- THE BORDERING VEGETATED WETLAND AND TOP OF BANK FLAGS SHOWN HEREON ARE BASED ON A WETLAND DELINEATION PERFORMED IN SEPTEMBER 2013 & APRIL 2015 BY DAVID W. BURKE, WETLAND SPECIALIST. FOR ADDITIONAL INFORMATION REFER TO THE ANRAD FILING FROM APRIL 2015.
- FEMA ZONE 'A' LOCATION SHOWN HEREON IS BASED ON DATA OBTAINED FROM THE STATE OF MASSACHUSETTS GIS DATABASE AND SHALL BE CONSIDERED APPROXIMATE.
- THE ABUTTING DWELLINGS SIZE, SHAPE AND LOCATION, SHOWN HEREON, ARE BASED ON GIS INFORMATION AND SHALL BE CONSIDERED APPROXIMATE.
- THIS PLAN IS INTENDED FOR PERMITTING PURPOSES ONLY.

TOTAL PROJECT AREA
232,818± S.F. OR 5.34 ACRES

LEGEND

- C12" EXISTING TREE (TYPE & DIAMETER)
- - - - -299 EXISTING 1' CONTOUR
- - - - -300 EXISTING 5' CONTOUR
- - - - -W EXISTING WATER SERVICE
- WG • EXISTING WATER GATE
- - - - -S EXISTING SEWER PIPE
- SMH ○ EXISTING SEWER MANHOLE
- - - - -OW EXISTING OVERHEAD WIRES
- UP ⚡ EXISTING UTILITY POLE
- LP ⚡ EXISTING LIGHT POST
- - - - -D EXISTING DRAINAGE PIPE
- - - - -DCBO EXISTING DRAINAGE CATCHBASIN
- - - - - EXISTING EDGE OF LAWN
- ▲ WF WETLAND FLAG
- ▲ VP POTENTIAL VERNAL POOL FLAG
- ▲ TB TOP OF BANK FLAG
- DTH ⚡ DEEP TEST HOLE

**"No. 73 OLIVE STREET
EXISTING CONDITIONS PLAN"**

LAND IN
ASHLAND, MASS.

ASSESSOR'S REFERENCE: MAP 23, PARCEL 231
ZONING CLASSIFICATION: RA

OWNER/APPLICANT: SURESH RAJAKUMAR &
BHUVANA KRISHNAN
12 BURNING TREE ROAD
NATICK, MA 01760

SCALE: 1"=40' DATE: 25 MARCH 2016

PREPARED BY: THE JILLSON COMPANY, INC.
P.O. BOX 2135
FRAMINGHAM, MA. 01703-2135
(508)-485-0500
www.JILLSONCOMPANY.com

REVISIONS	
REV	DESCRIPTION

NOTES

1. THE PLANIMETRIC AND BOUNDARY LINE FEATURES SHOWN HEREON ARE BASED ON FIELD INSTRUMENT SURVEYS PERFORMED BETWEEN AUGUST 2013 AND OCTOBER 2015 BY THE JILLSON COMPANY.
2. THE BORDERING VEGETATED WETLAND AND TOP OF BANK FLAGS SHOWN HEREON ARE BASED ON A WETLAND DELINEATION PERFORMED IN SEPTEMBER 2013 & APRIL 2015 BY DAVID W. BURKE, WETLAND SPECIALIST. FOR ADDITIONAL INFORMATION REFER TO THE ANRAD FILING FROM APRIL 2015.
3. THIS PLAN IS INTENDED FOR PERMITTING PURPOSES ONLY.

TOTAL PROJECT AREA
232,818± S.F. OR 5.34 ACRES

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| PLAN #561 OF 1988 | PLAN #502 OF 1993 |
| PLAN #260 OF 2014 | |

THE ABOVE DOCUMENTS ARE RECORDED WITH THE MIDDLESEX REGISTRY OF DEEDS DISTRICT.

LEGEND

- ▲ WF WETLAND FLAG
- ▲ VP POTENTIAL VERNAL POOL FLAG
- ▲ TB TOP OF BANK FLAG
- IR/F IRON ROD / FOUND
- IR/TBS IRON ROD / TO BE SET

"I HEREBY CERTIFY THAT THE ACTUAL SURVEY OF THE BOUNDARY LINE OF THIS TRACT OF LAND WAS MADE ON THE GROUND IN ACCORDANCE WITH THE SPECIFICATIONS IN THE 'ETHICAL PROCEDURAL AND TECHNICAL STANDARDS FOR PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS' AS PREPARED AND ADOPTED BY THE MASSACHUSETTS ASSOCIATION OF LAND SURVEYORS AND CIVIL ENGINEERS, INC., PART II, TECHNICAL STANDARDS, A., 2."

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

PROFESSIONAL LAND SURVEYOR _____ DATE _____

"No. 73 OLIVE STREET LOTTING PLAN"

LAND IN
ASHLAND, MASS.

ASSESSOR'S REFERENCE: MAP 23, PARCEL 231

ZONING CLASSIFICATION: RA

OWNER/APPLICANT: SURESH RAJAKUMAR & BHUVANA KRISHNAN
12 BURNING TREE ROAD
NATICK, MA 01760

SCALE: 1"=40' DATE: 25 MARCH 2016

PREPARED BY: THE JILLSON COMPANY, INC.
P.O. BOX 2135
FRAMINGHAM, MA. 01703-2135
(508)-485-0500
www.JILLSONCOMPANY.com

REVISIONS	
REV	DESCRIPTION

RULE OF 22 INFORMATION

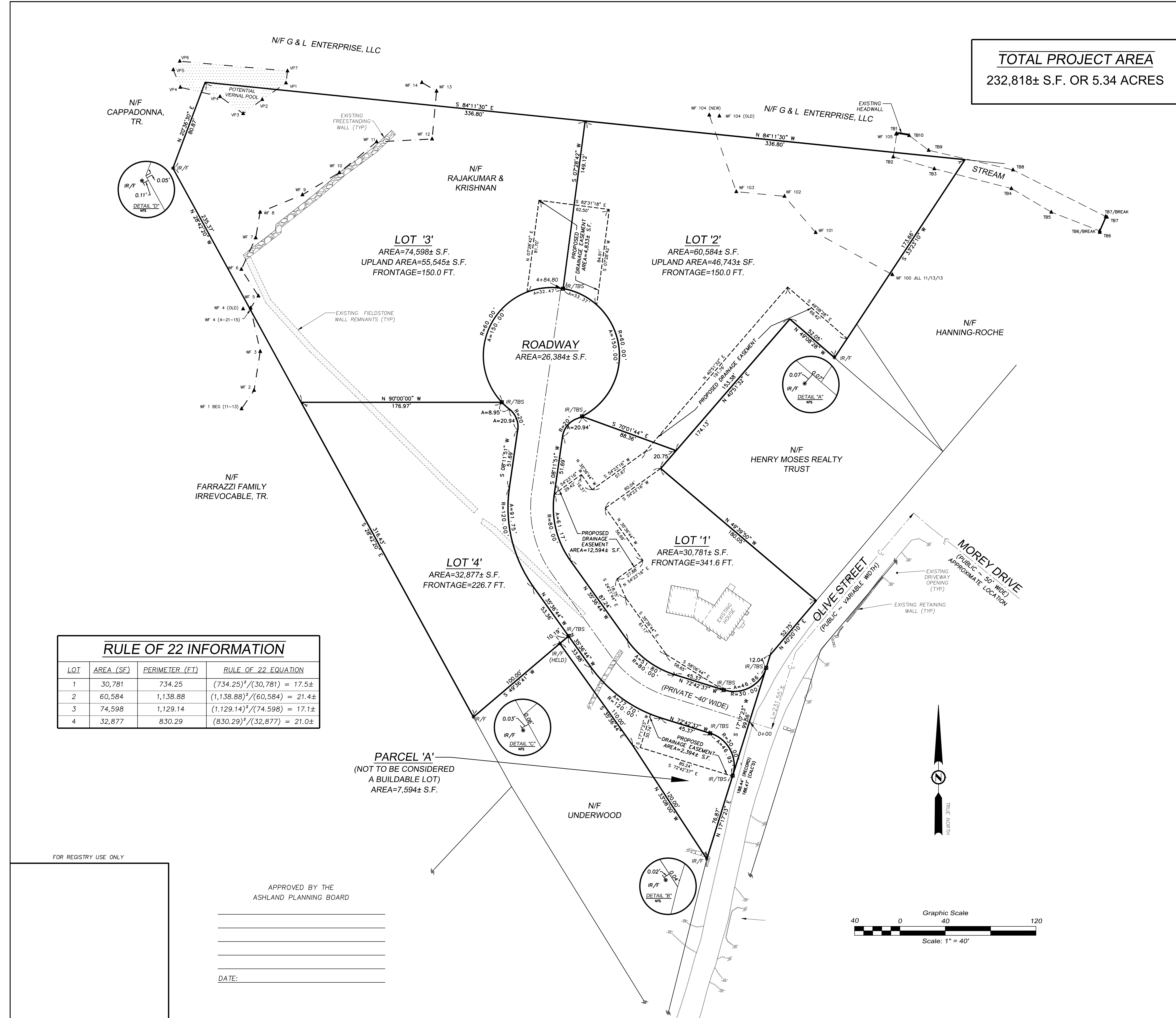
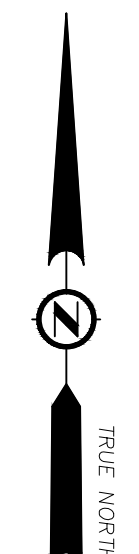
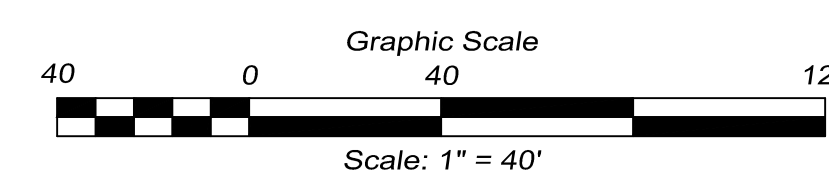
LOT	AREA (SF)	PERIMETER (FT)	RULE OF 22 EQUATION
1	30,781	734.25	$(734.25)^2 / (30,781) = 17.5 \pm$
2	60,584	1,138.88	$(1,138.88)^2 / (60,584) = 21.4 \pm$
3	74,598	1,129.14	$(1,129.14)^2 / (74,598) = 17.1 \pm$
4	32,877	830.29	$(830.29)^2 / (32,877) = 21.0 \pm$

PARCEL 'A'
(NOT TO BE CONSIDERED
A BUILDABLE LOT)
AREA=7,594± S.F.

APPROVED BY THE
ASHLAND PLANNING BOARD

DATE: _____

FOR REGISTRY USE ONLY



TOTAL PROJECT AREA
232,818± S.F. OR 5.34 ACRES

NOTES

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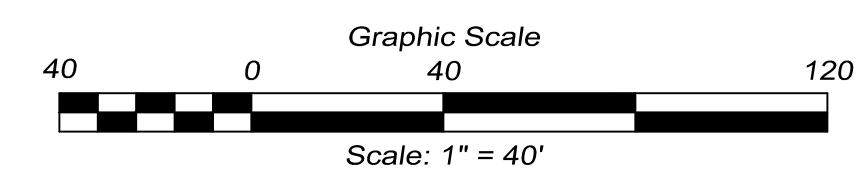
LEGEND

- ▲ WF WETLAND FLAG
- ▲ VP POTENTIAL VERNAL POOL FLAG
- ▲ TB TOP OF BANK FLAG
- C12" EXISTING TREE (TYPE & DIAMETER)
- - - - -298 EXISTING 2' CONTOUR
- - - - -300 EXISTING 10' CONTOUR
- - - - -300 PROPOSED CONTOUR
- +300.0 PROPOSED SPOT ELEVATION
- HYD* EXISTING HYDRANT
- WG EXISTING WATER GATE
- - - - -W EXISTING WATER SERVICE
- - - - -W PROPOSED WATER SERVICE
- - - - -G PROPOSED GAS SERVICE
- SMH○ EXISTING SEWER MANHOLE
- SMH○ PROPOSED SEWER MANHOLE
- PC PROPOSED PUMP CHAMBER
- - - - -S EXISTING SEWER PIPE
- - - - -S4 PROPOSED 4" SDR35 PVC SEWER PIPE
- - - - -S8 PROPOSED 8" SDR35 PVC SEWER PIPE
- - - - -FM PROPOSED SEWER FORCEMAIN PIPE
- UP○ EXISTING UTILITY POLE
- LPx EXISTING LIGHT POST
- TF PROPOSED TRANSFORMER
- GEN PROPOSED GENERATOR
- - - - -OW EXISTING OVERHEAD WIRES
- UE/CATV EXISTING UNDERGROUND ELECTRIC & CABLE TV
- DCB○ EXISTING DRAINAGE CATCHBASIN
- DCB○ PROPOSED DRAINAGE CATCHBASIN
- - - - -D EXISTING DRAINAGE PIPE
- - - - -D6 PROPOSED 6" SCH40 PVC DRAINAGE PIPE
- - - - -D8 PROPOSED 8" SCH40 PVC DRAINAGE PIPE
- - - - - EXISTING EDGE OF LAWN
- - - - - PROPOSED EDGE OF LAWN
- DTH DEEP TEST HOLE

APPROVED BY THE
ASHLAND PLANNING BOARD

DATE: _____

FOR REGISTRY USE ONLY



**"No. 73 OLIVE STREET
SITE DEVELOPMENT PLAN"**

LAND IN
ASHLAND, MASS.

ASSESSOR'S REFERENCE: MAP 23, PARCEL 231
ZONING CLASSIFICATION: RA

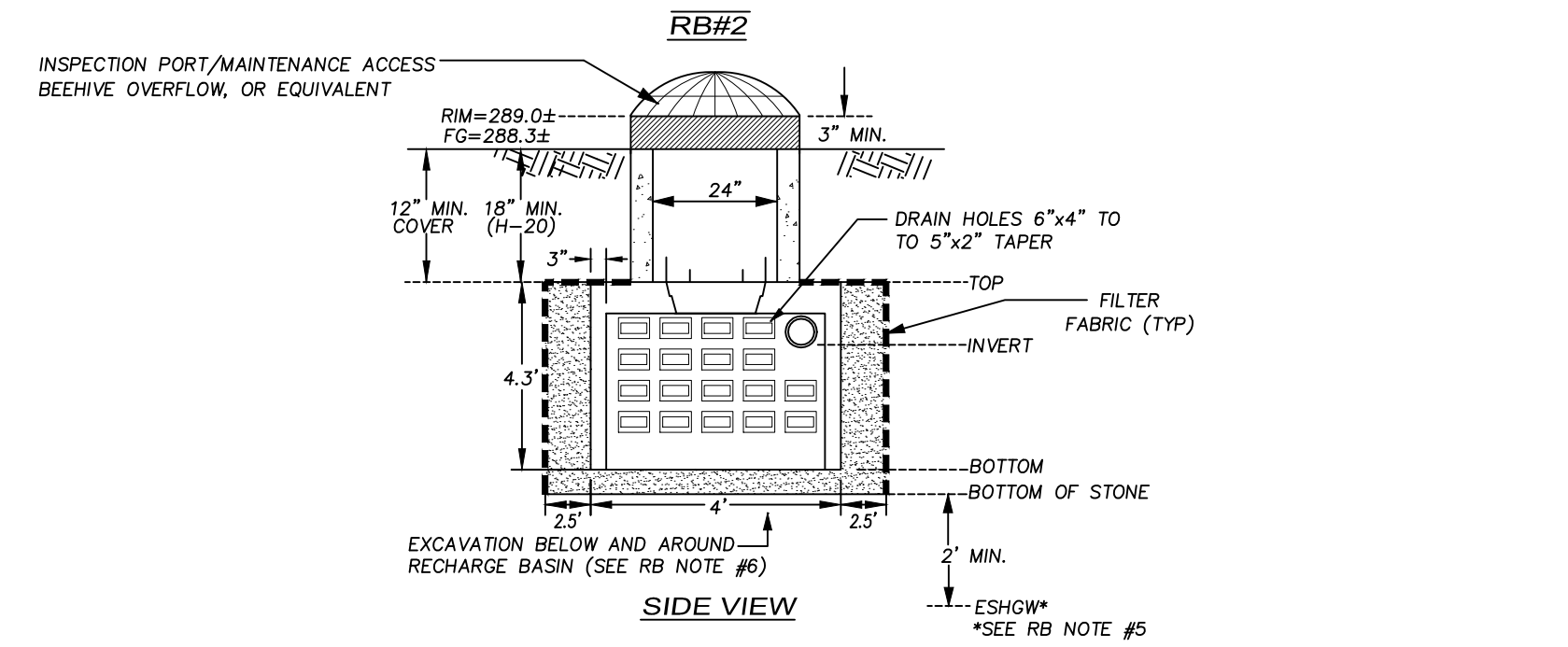
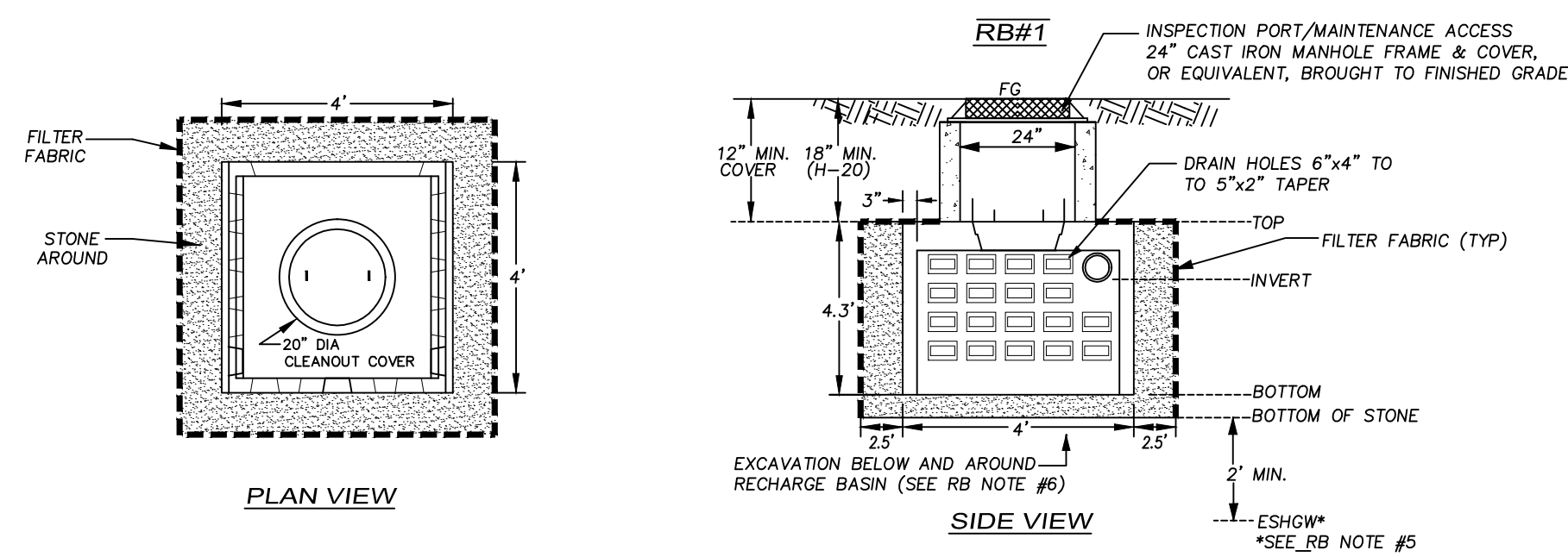
OWNER/APPLICANT: SURESH RAJAKUMAR & BHUVANA KRISHNAN
12 BURNING TREE ROAD
NATICK, MA 01760

SCALE: 1"=40' DATE: 25 MARCH 2016

PREPARED BY: THE JILLSON COMPANY, INC.
P.O. BOX 2135
FRAMINGHAM, MA. 01703-2135
(508)-485-0500
www.JILLSONCOMPANY.com

REVISIONS	
REV	DESCRIPTION

RECHARGE BASINS
(NOT TO SCALE)



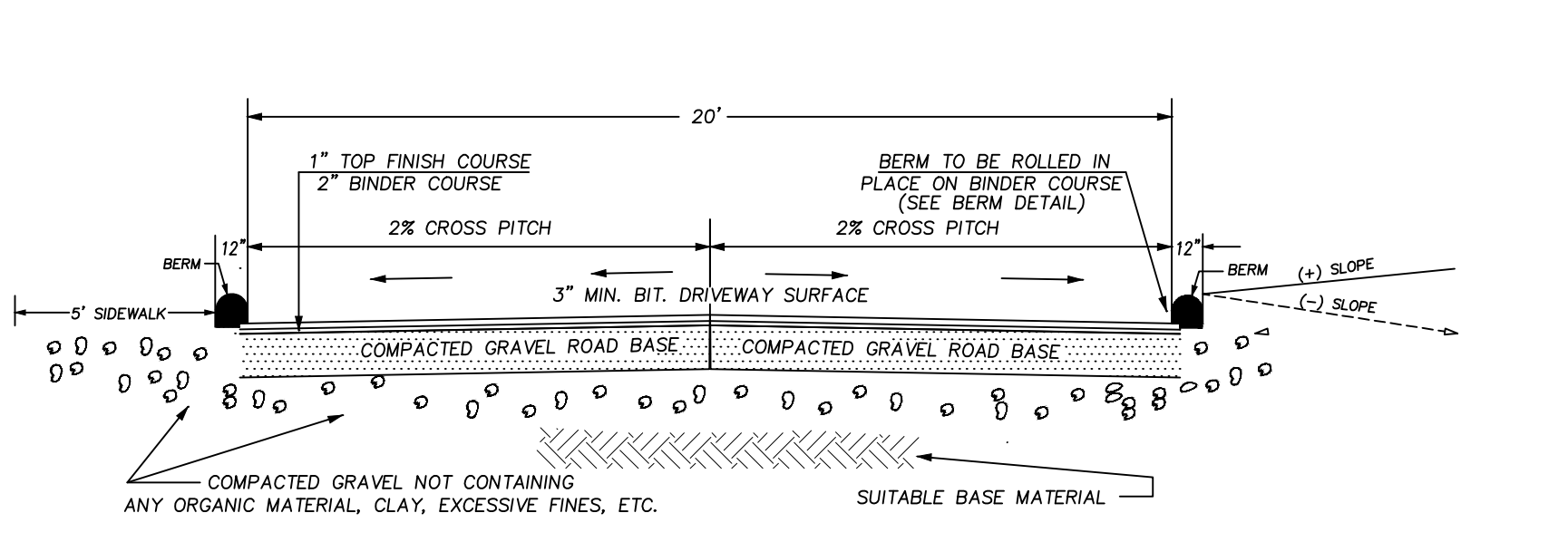
SCHEDULE OF ELEVATIONS

DESCRIPTION	RB#1	RB#2
NUMBER OF UNITS	36	48
OVERALL FOOTPRINT (WxL)	18.0'x53.0'	22.5'x53.0'
STONE AROUND	2.5'	2.5'
FINISHED GRADE (MIN.)	301.3±	288.3±
TOP OF CHAMBER	300.3±	287.3±
8" INVERT IN	299.0± (x2)	286.0±
8" INVERT OUT	299.0±	N/A
BOTTOM OF CHAMBER	296.0±	283.0±
BOTTOM OF STONE	295.5±	282.5±
DESIGN GROUNDWATER	293.5±	280.5±

RECHARGE BASIN NOTES

- THE GALLEY CHAMBERS ARE MANUFACTURED BY E.F. SHEA CONCRETE OF WILMINGTON, MA (978-658-2645) OR EQUIVALENT.
- REFER TO MANUFACTURER FOR RECOMMENDED INSTALLATION GUIDELINES.
- ALL RECHARGE BASINS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL STONE AGGREGATE USED IN CONSTRUCTION OF THE RECHARGE BASIN SHALL BE DOUBLE WASHED. USING CRUSHED STONE IS NOT PERMITTED.
- THE DESIGN ENGINEER SHALL VERIFY THE GROUNDWATER ELEVATION AND SOIL TYPE ON-SITE WITH THE CONTRACTOR. PRIOR TO CONSTRUCTION, ADDITIONAL SOIL TESTING WILL BE PERFORMED WITHIN THE DRAINAGE STRUCTURE LOCATIONS TO CONFIRM GROUNDWATER ELEVATIONS.
- THE DRAINAGE SYSTEMS SHALL BE INSTALLED IN WELL DRAINING SOIL MATERIALS. IF DELETERIOUS MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER. ANY DELETERIOUS MATERIAL BELOW OR AROUND THE DRAINAGE STRUCTURES SHALL BE REMOVED PER THE DESIGN ENGINEER'S REQUIREMENTS.

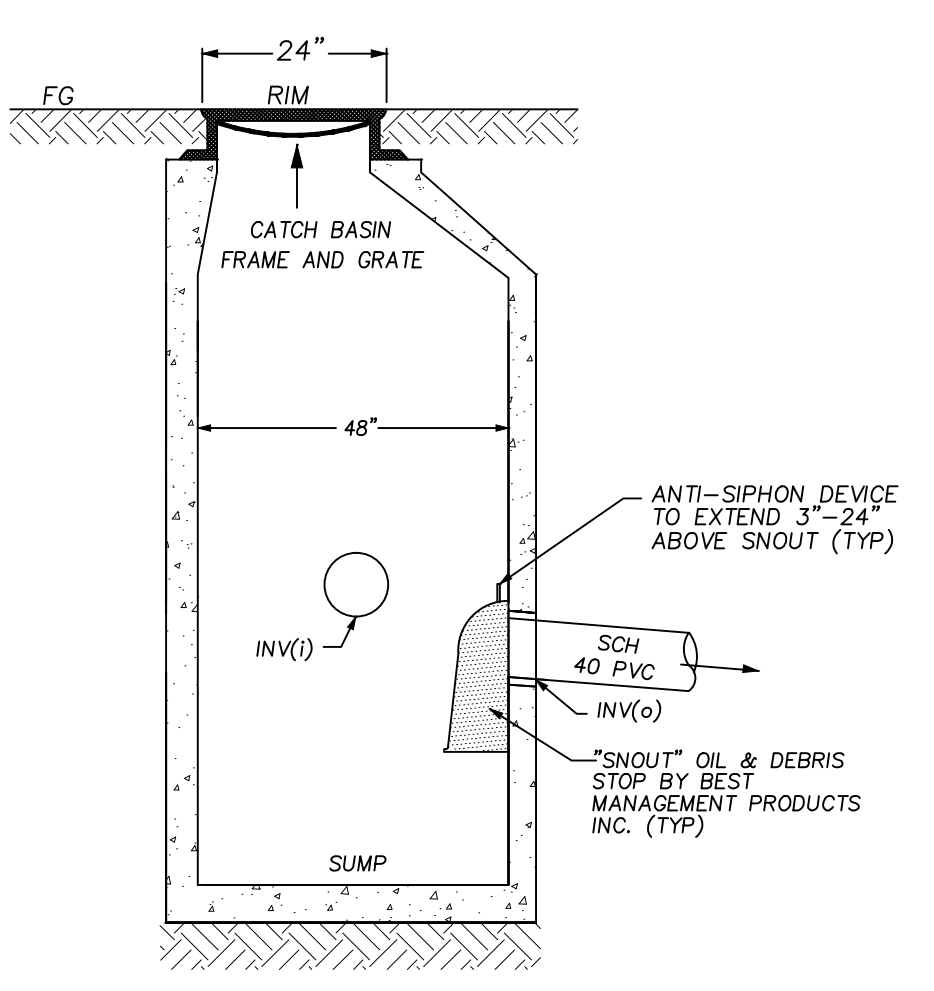
TYPICAL ROADWAY CROSS-SECTION
(NOT TO SCALE)



NOTES

- ROADWAY CONSTRUCTION SHALL MEET THE STRUCTURAL REQUIREMENTS OF A SUBDIVISION ROADWAY.
- COMPACTED GRAVEL ROADBASE SHALL CONSIST OF 4 INCHES OF CRUSHED STONE PER MASS. HIGHWAY STANDARD SPECIFICATION M1.03.1 INSTALLED OVER, MINIMUM 8 INCHES OF GRAVEL BORROW TYPE B, PER MASS. HIGHWAY STANDARD SPECIFICATION M1.03.0 OR EQUAL.

48" (ID) CATCH BASIN
(NOT TO SCALE)



SCHEDULE OF ELEVATIONS

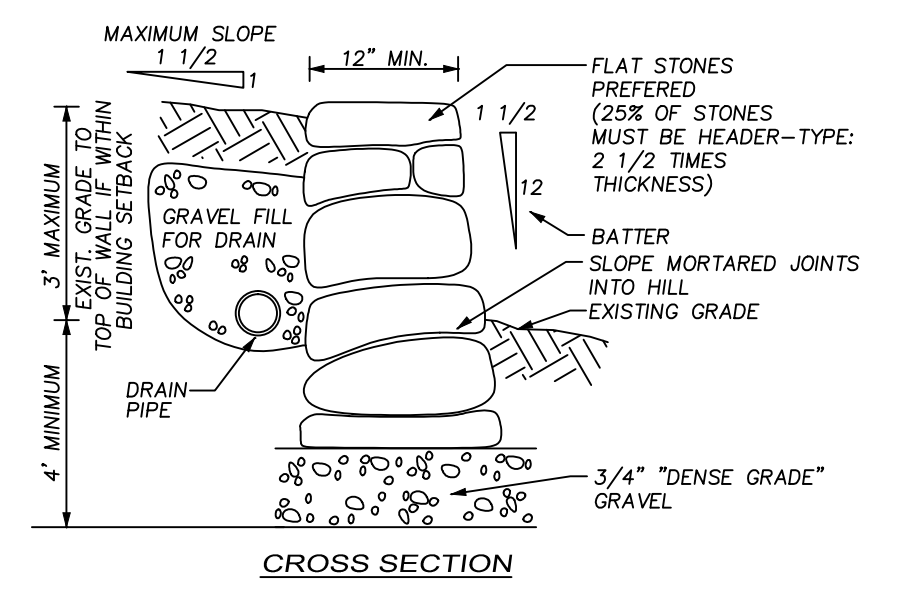
DESCRIPTION	DCB#1	DCB#2	DCB#3	DCB#4
RIM	305.9±	305.5±	304.6±	306.2±
INVERT IN (DIM)	N/A	303.7± (6")	302.4± (8")	N/A
INVERT OUT (DIM)	304.0± (6")	303.0± (8")	301.7± (8")	304.0± (8")
SUMP	300.0±	299.0±	297.7±	300.0±

DESCRIPTION	DCB#5	DCB#6	DCB#7
RIM	306.2±	295.1±	295.1±
INVERT IN (DIM)	303.7± (8")	N/A	292.7± (6")
INVERT OUT (DIM)	303.0± (8")	293.0± (6")	292.0± (8")
SUMP	299.0±	289.0±	288.0±

NOTES

- 48" CONCRETE CATCH BASIN BY E.F. SHEA CONCRETE PRODUCTS, INC. OF WILMINGTON, MA, OR EQUIVALENT.
- REFER TO MANUFACTURER FOR RECOMMENDED INSTALLATION GUIDELINES.
- THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PRIOR TO EXCAVATION AND INSTALLATION OF THE PROPOSED CATCH BASIN SO THE DESIGN ENGINEER CAN INSPECT THE INSTALLATION.
- "SNOUT" OIL & DEBRIS STOP(S), OR EQUIVALENT, SHALL BE INSTALLED PRIOR TO THE CATCHBASIN OUTLETS TO PREVENT OIL, DEBRIS OR SEDIMENT FROM EXITING THE CATCH BASIN.

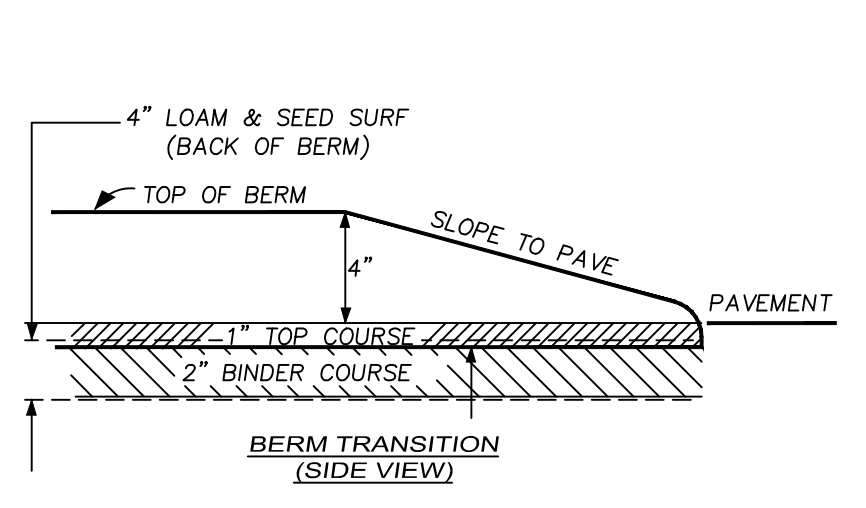
GENERAL FIELD STONE RETAINING WALL
(NOT TO SCALE)



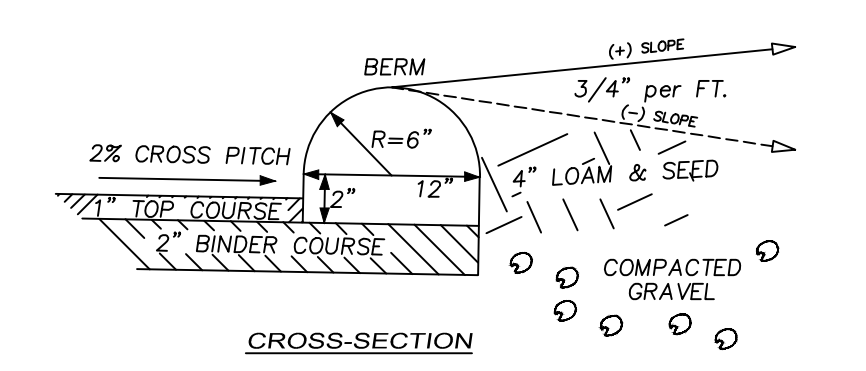
NOTES

- RETAINING WALL CONSTRUCTION SHALL ADHERE TO MASSACHUSETTS BUILDING CODE REQUIREMENTS.

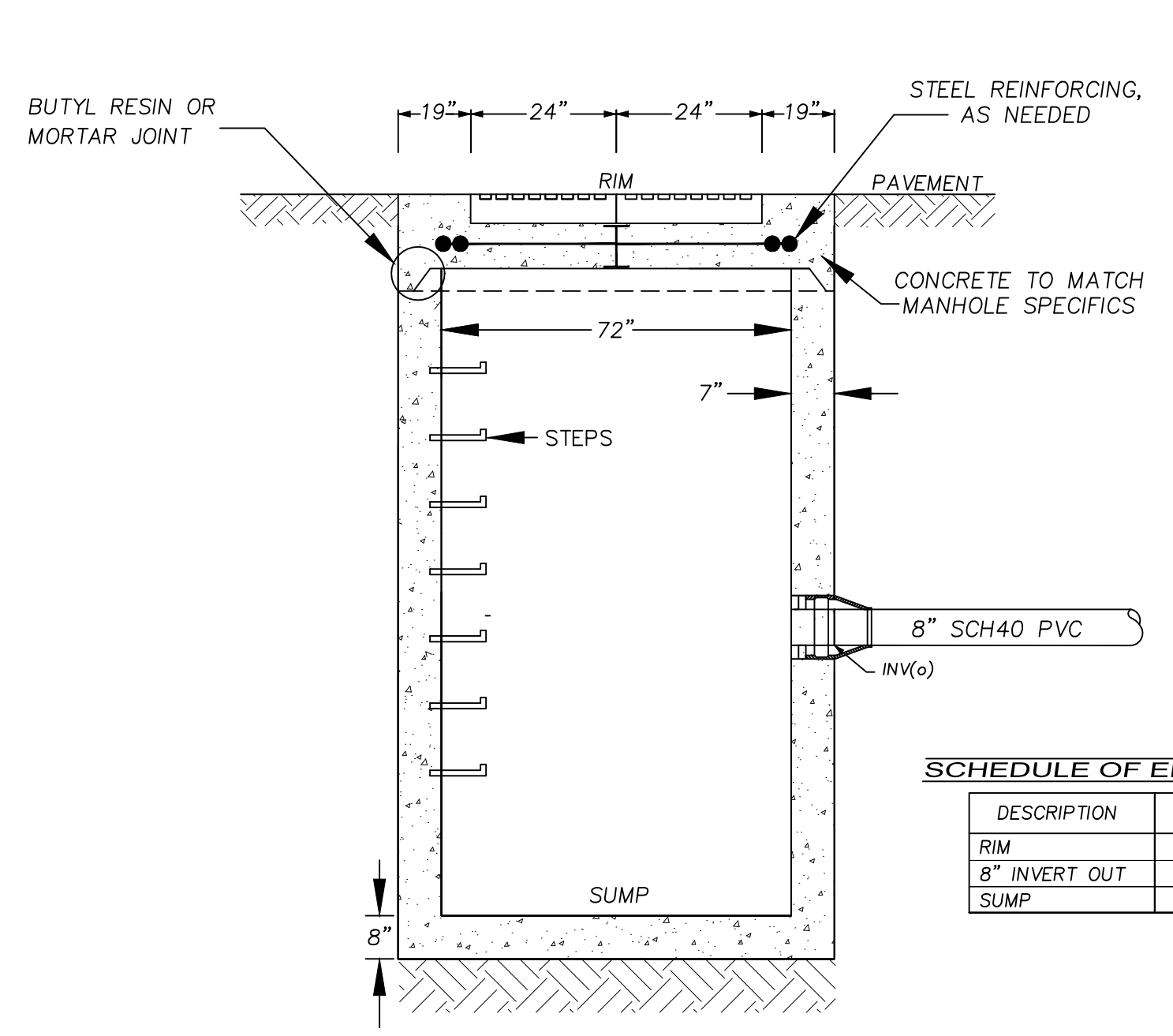
ASPHALT BERM
(NOT TO SCALE)



CROSS-SECTION



72" (ID) DOUBLE CATCH BASIN
(NOT TO SCALE)



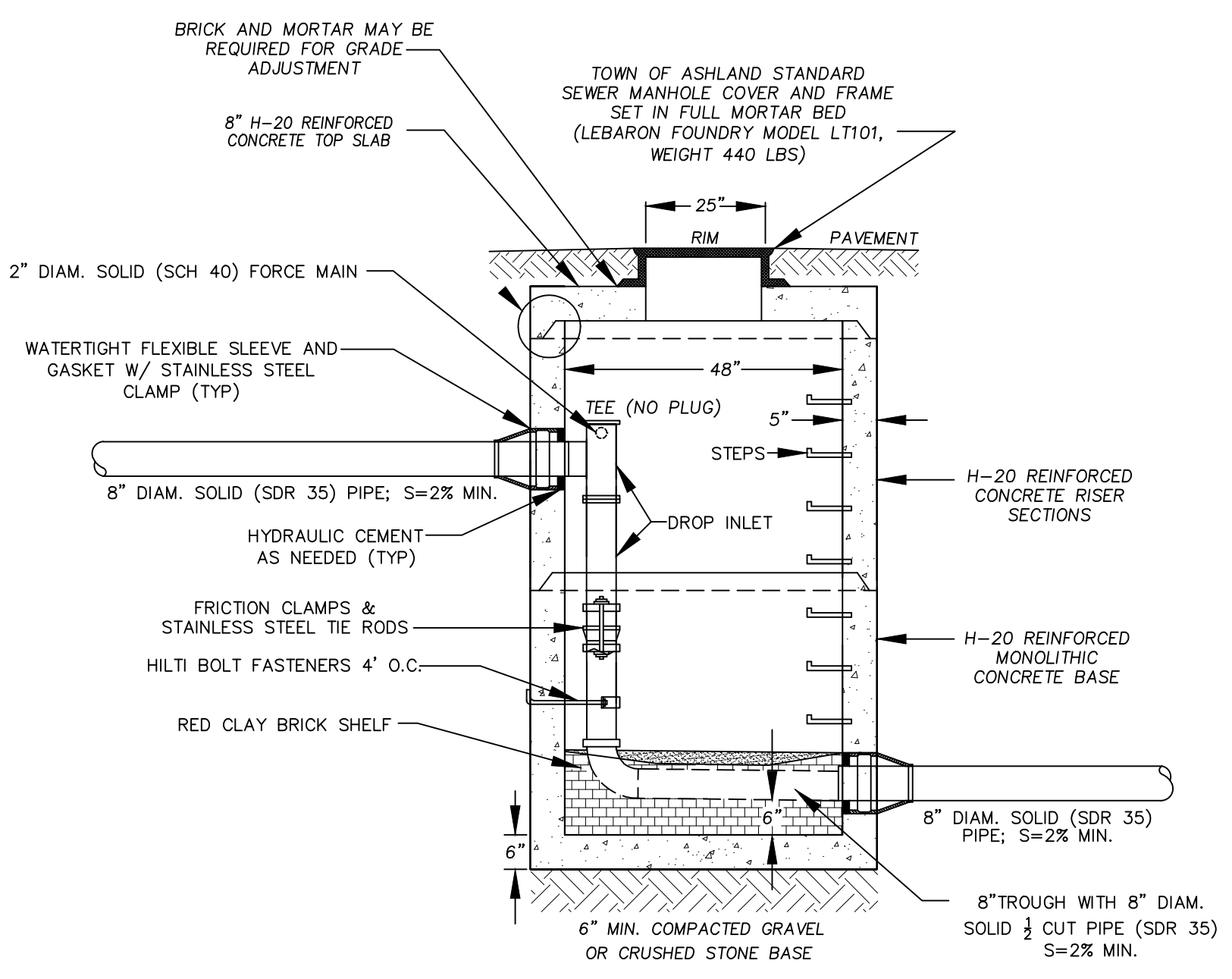
SCHEDULE OF ELEVATIONS

DESCRIPTION	DCB#8
RIM	292.3±
8" INVERT OUT	290.0±
SUMP	286.0±

NOTES

- 72" CONCRETE DOUBLE CATCH BASIN BY E.F. SHEA CONCRETE PRODUCTS, INC. OF WILMINGTON, MA, OR EQUIVALENT.
- REFER TO MANUFACTURER FOR RECOMMENDED INSTALLATION GUIDELINES.
- THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PRIOR TO EXCAVATION AND INSTALLATION OF THE PROPOSED CATCH BASIN SO THE DESIGN ENGINEER CAN INSPECT THE INSTALLATION.

SEWER MANHOLE WITH DROP INLET
(NOT TO SCALE)



SCHEDULE OF ELEVATIONS

DESCRIPTION	SMH#1	SMH#2	SMH#3	DESCRIPTION	SMH#4	DESCRIPTION	SMH#5
RIM	304.5±	307.3±	309.6±	RIM	307.0±	RIM	293.4±
8" INVERT IN	297.80	N/A	N/A	2" FORCEMAIN	303.72	2" FORCEMAIN	290.50
BRICK SHELF	297.70	N/A	N/A	4" INVERT IN	303.72	4" INVERT IN	290.50
8" TROUGH OUT	297.20	300.19	300.90	BRICK SHELF	303.52	8" TROUGH OUT	290.40
				8" TROUGH OUT	303.02		

NOTES

- ALL ELEVATIONS SHOWN HEREON REFER TO N.A.V.D. OF 1988.
- ALL CONSTRUCTION METHODS AND INSPECTIONS SHALL COMPLY WITH THIS PLAN AND ANY ADDITIONAL REQUIREMENTS ISSUED BY THE LOCAL, STATE OR FEDERAL APPROVING AUTHORITIES. THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE COMPLIANCE WITH THE DESIGN PLAN AND ANY ADDITIONAL REQUIREMENTS ISSUED BY THE LOCAL, STATE OR FEDERAL APPROVING AUTHORITIES.
- ALL WORK CONCERNING THE UTILITIES SHALL COMPLY WITH BOTH PRIVATE AND PUBLIC UTILITY AGENCIES.
- THIS PLAN IS INTENDED FOR PERMITTING PURPOSES ONLY.

APPROVED BY THE
ASHLAND PLANNING BOARD

DATE:

FOR REGISTRY USE ONLY

DEEP TEST HOLE DATA

DATE OF TESTING: JULY, 16, 2013
TEST BY: JASON LAVOIE, PE/JILLSON CO.

DTH#J1					DTH#J6				
DEPTH FROM SURFACE	SOIL HORIZON	SOIL COLOR	DESCRIPTION	PARENT MATERIAL	DEPTH FROM SURFACE	SOIL HORIZON	SOIL COLOR	DESCRIPTION	PARENT MATERIAL
0.0'-1.4'	A	7.5YR3/3	SANDY LOAM	TILL	0.0'-1.5'	A	7.5YR3/3	SANDY LOAM	TILL
1.4'-3.4'	B	10YR5/6	SANDY LOAM	DEPTH TO BEDROCK: >8.5'	1.5'-3.1'	B	10YR4/6	SANDY LOAM	SOIL MOTTLING: <4.0'
3.4'-8.5'	C	2.5Y5/2	COARSE LOAMY SAND	DEPTH TO GROUNDWATER: >8.5'	3.1'-5.9'	C	2.5Y6/4	FINE SAND	DEPTH TO GROUNDWATER: >8.5'
				STANDING: N/D	5.9'-8.5'	G	2.5Y5/4	LOAMY SAND	STANDING: 7.7'
				WEEPING: N/D					WEEPING: N/D

DTH#J2					DTH#J7				
DEPTH FROM SURFACE	SOIL HORIZON	SOIL COLOR	DESCRIPTION	PARENT MATERIAL	DEPTH FROM SURFACE	SOIL HORIZON	SOIL COLOR	DESCRIPTION	PARENT MATERIAL
0.0'-1.0'	A	5YR3/3	SANDY LOAM	TILL	0.0'-0.8'	A	7.5YR3/3	SANDY LOAM	TILL
1.0'-2.5'	B	10YR4/6	SANDY LOAM	SOIL MOTTLING: <4.0'	0.8'-3.0'	B	10YR4/6	SANDY LOAM	DEPTH TO BEDROCK: >8.0'
2.5'-8.0'	C	2.5Y5/3	LOAMY SAND	DEPTH TO BEDROCK: >8.0'	3.0'-8.0'	C	2.5Y5/4	LOAMY SAND	DEPTH TO GROUNDWATER: >8.0'
				STANDING: N/D					STANDING: N/D
				WEEPING: N/D					WEEPING: N/D

DTH#J3					DTH#J8				
DEPTH FROM SURFACE	SOIL HORIZON	SOIL COLOR	DESCRIPTION	PARENT MATERIAL	DEPTH FROM SURFACE	SOIL HORIZON	SOIL COLOR	DESCRIPTION	PARENT MATERIAL
0.0'-1.4'	A	5YR3/3	SANDY LOAM	TILL	0.0'-1.0'	A	7.5YR2/3	SANDY LOAM	TILL
1.4'-3.0'	B	10YR4/6	SANDY LOAM	DEPTH TO BEDROCK: >7.5'	1.0'-3.0'	B	10YR5/6	SANDY LOAM	DEPTH TO BEDROCK: >9.0'
3.0'-7.5'	C	2.5Y5/3	SANDY LOAM	DEPTH TO GROUNDWATER: >7.5'	3.0'-9.0'	C	2.5Y5/3	COARSE LOAMY SAND	DEPTH TO GROUNDWATER: >9.0'
				STANDING: N/D					STANDING: N/D
				WEEPING: N/D					WEEPING: N/D

DTH#J4					DTH#J9				
DEPTH FROM SURFACE	SOIL HORIZON	SOIL COLOR	DESCRIPTION	PARENT MATERIAL	DEPTH FROM SURFACE	SOIL HORIZON	SOIL COLOR	DESCRIPTION	PARENT MATERIAL
0.0'-0.9'	A	7.5YR4/6	SANDY LOAM	TILL	0.0'-1.0'	A		SANDY LOAM	TILL
0.9'-1.8'	B	10YR5/6	SANDY LOAM	DEPTH TO BEDROCK: >8.0'	1.0'-3.0'	B		SANDY LOAM	DEPTH TO BEDROCK: >7.2'
1.8'-8.0'	C	2.5Y5/3	LOAMY SAND	DEPTH TO GROUNDWATER: >8.0'	3.0'-7.2'	C		SANDY LOAM	DEPTH TO GROUNDWATER: >7.2'
				STANDING: N/D					STANDING: N/D
				WEEPING: N/D					WEEPING: N/D

DTH#J5				
DEPTH FROM SURFACE	SOIL HORIZON	SOIL COLOR	DESCRIPTION	PARENT MATERIAL
0.0'-0.8'	A	7.5YR4/6	SANDY LOAM	TILL
0.8'-3.0'	B	10YR4/6	SANDY LOAM	DEPTH TO BEDROCK: >8.0'
3.0'-7.0'	C	2.5Y4/3	COARSE LOAMY SAND	DEPTH TO GROUNDWATER: >8.0'
7.0'-8.0'	G	-	LOAMY SAND	STANDING: N/D
				WEEPING: N/D

**"No. 73 OLIVE STREET
DETAIL SHEET #1"**

LAND IN
ASHLAND, MASS.

ASSESSOR'S REFERENCE: MAP 23, PARCEL 231
ZONING CLASSIFICATION: RA
OWNER/APPLICANT: SURESH RAJAKUMAR & BHUVANA KRISHNAN
12 BURNING TREE ROAD
NATICK, MA 01760

SCALE: NTS DATE: 25 MARCH 2016

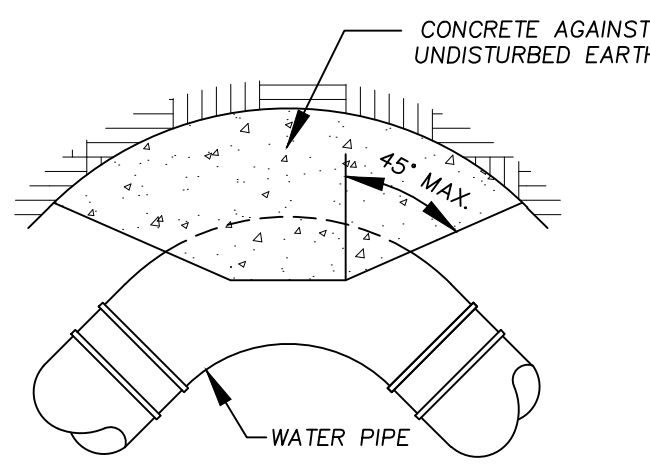
PREPARED BY: THE JILLSON COMPANY, INC.
P.O. BOX 2135
FRAMINGHAM, MA. 01703-2135
(508)-485-0500
www.JILLSONCOMPANY.com

REVISIONS	
REV	DESCRIPTION

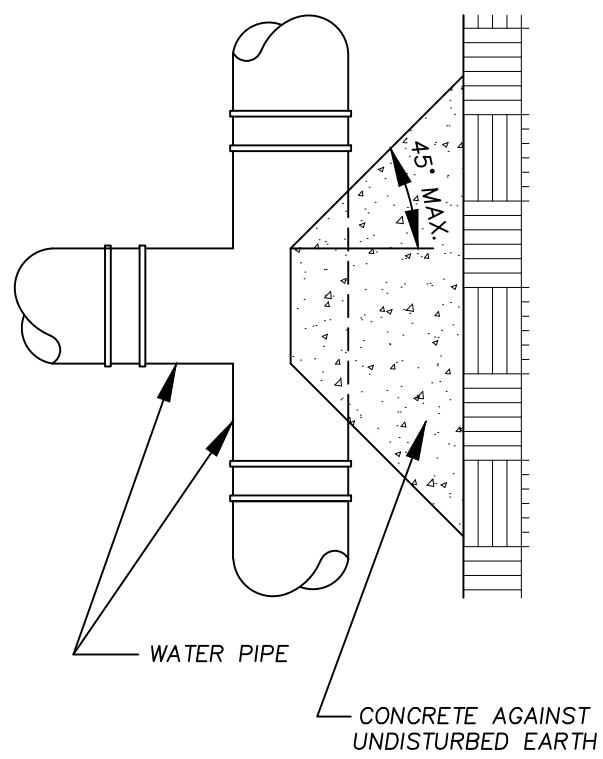
THRUST BLOCK PIPE DETAILS

(NOT TO SCALE)

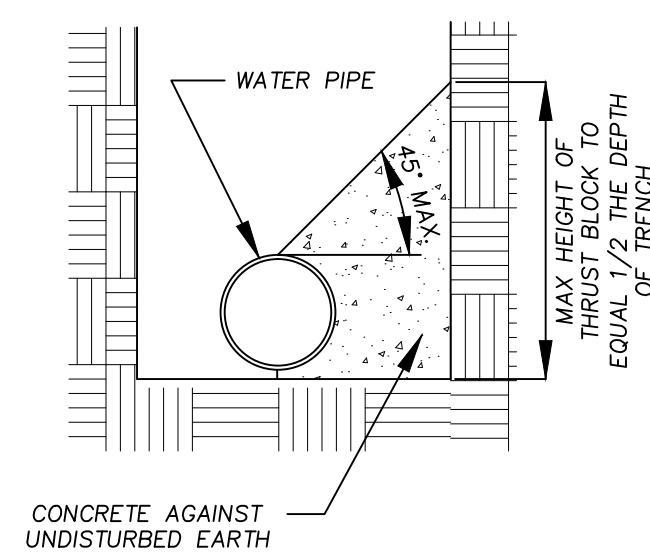
TYPICAL BEND



TYPICAL TEE



SECTION



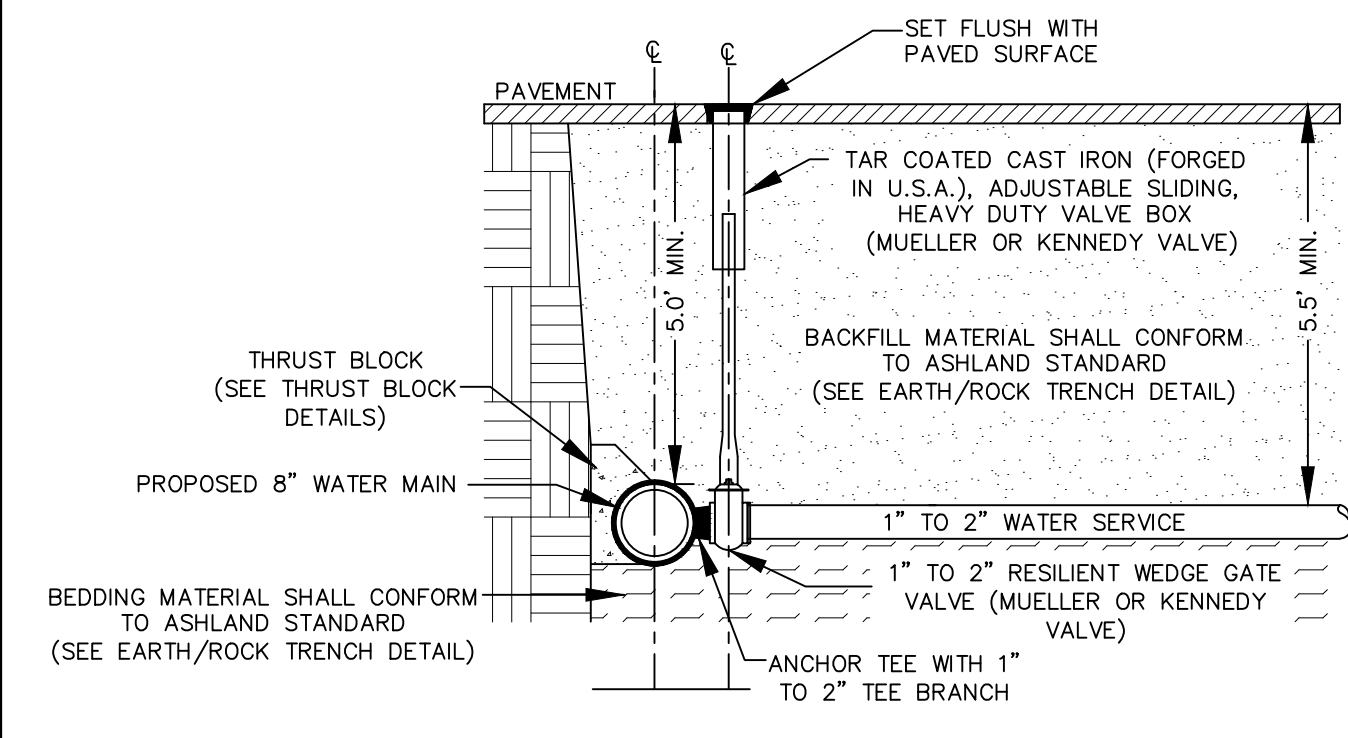
NOTE: CONCRETE FOR THRUST BLOCKS SHALL BE NO LONGER THAN THE RATIO 2.5:5.5 AND SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 2,000 P.S.I.

BEARING AREAS IN SQUARE FEET

PIPE SIZE	1/4 BEND	1/8 BEND	1/16 BEND	TEES, PLUGS
8" OR SMALLER	8	8	8	8
GREATER THAN 8"	22	13	8	16

WATER MAIN CONNECTION

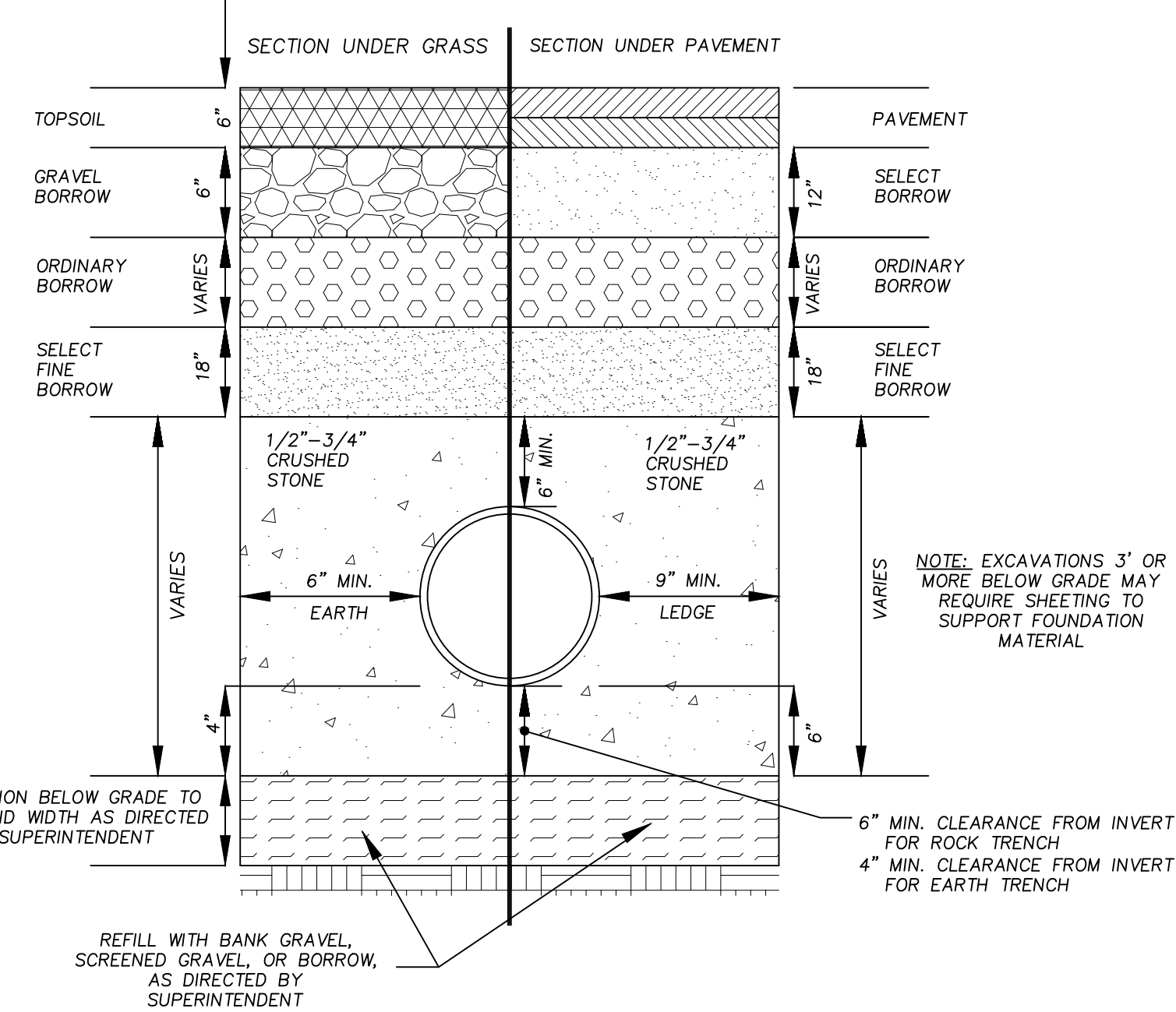
(NOT TO SCALE)



NOTE: TIE RODS AND CLAMPS OR RESTRAINED JOINTS MAY BE REQUIRED WHERE ADDITIONAL THRUST ANCHORAGE IS NEEDED

EARTH/ROCK TRENCH

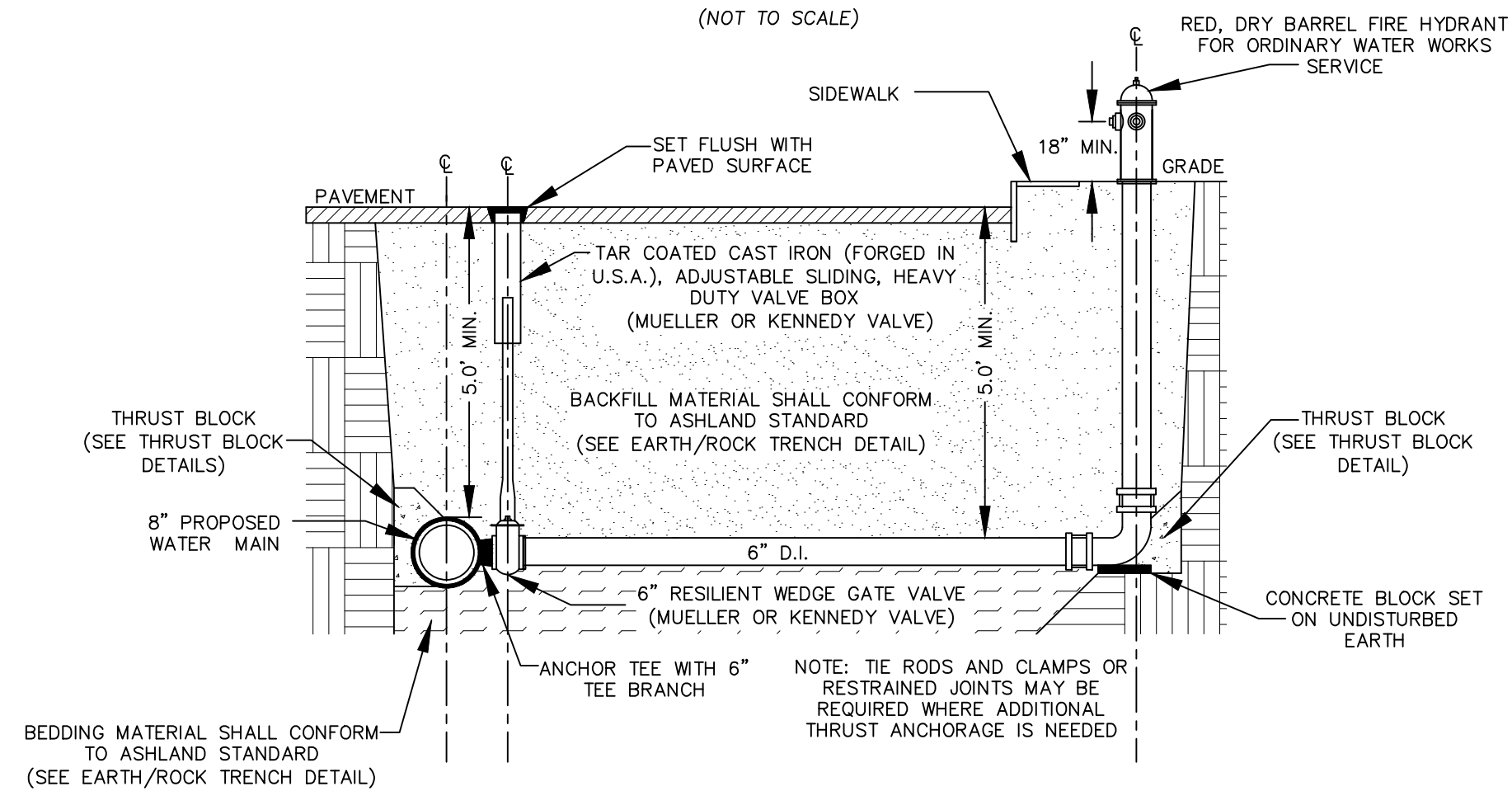
FOR SEWER MAINS, GRAVITY SEWER LINES, FORCE MAINS, & WATER MAINS (NOT TO SCALE)



NOTE: EXCAVATIONS 3' OR MORE BELOW GRADE MAY REQUIRE SHEETING TO SUPPORT FOUNDATION MATERIAL

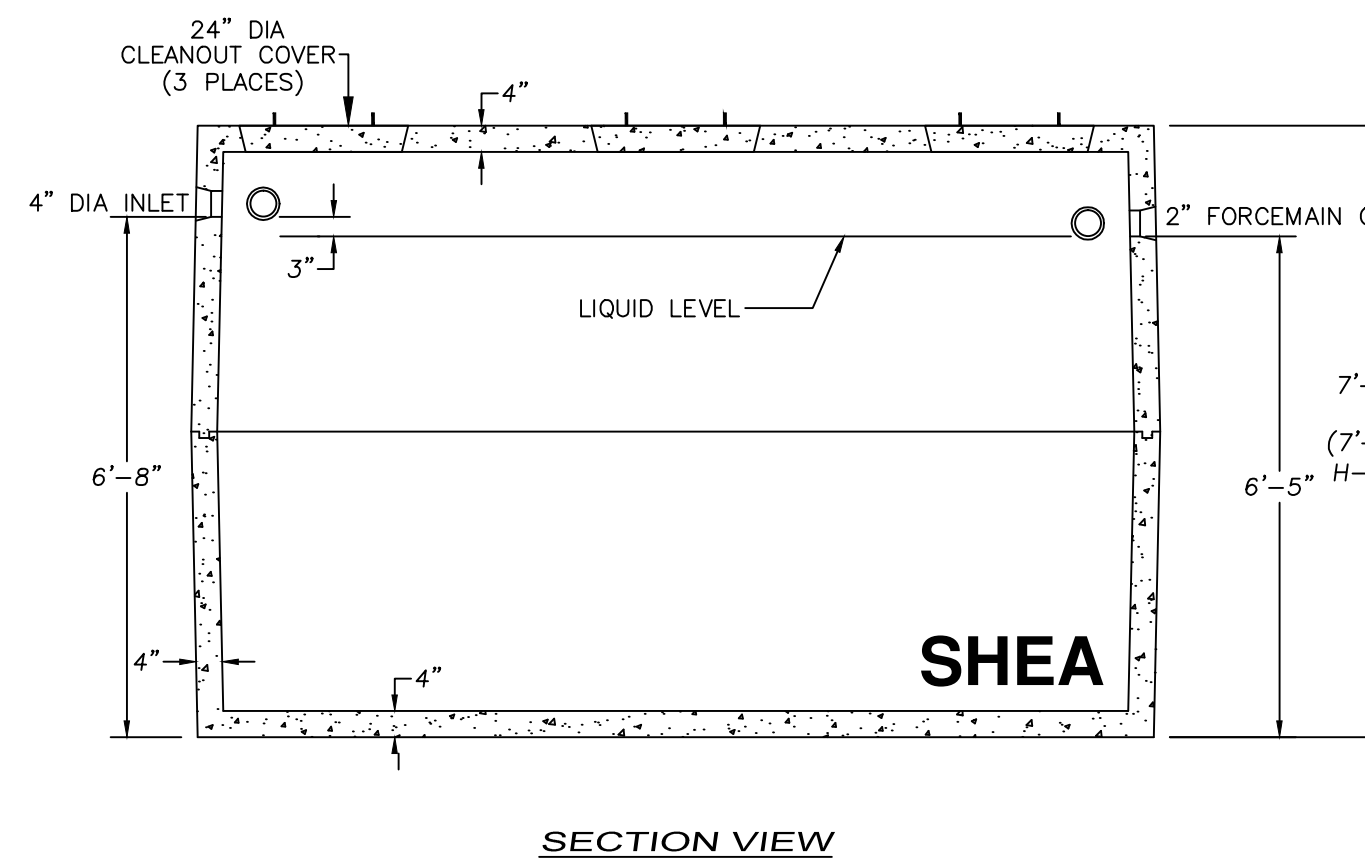
TYPICAL HYDRANT & GATE VALVE

(NOT TO SCALE)



3,000 GALLON COMMERCIAL PUMP CHAMBER

(NOT TO SCALE)



SCHEDULE OF ELEVATIONS

DESCRIPTION	PC
TOP	291.5±
4" INVERT IN	290.30
2" FORCEMAIN OUT	290.2±

PUMP REQUIREMENTS

- DUPLEX ALTERNATING SYSTEM
- PUMPS SHALL BE MYERS MWH50 OR EQUIVALENT
- NATURAL GAS GENERATOR BACKUP POWER SHALL BE PROVIDED

NOTES

- 3,000 GALLON COMMERCIAL PUMP CHAMBER BY E.F. SHEA CONCRETE PRODUCTS, INC. OF WILMINGTON, MA, OR EQUIVALENT.
- REFER TO MANUFACTURER FOR RECOMMENDED INSTALLATION GUIDELINES.
- THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PRIOR TO EXCAVATION AND INSTALLATION OF THE PROPOSED PUMP CHAMBER SO THE DESIGN ENGINEER CAN INSPECT THE INSTALLATION.

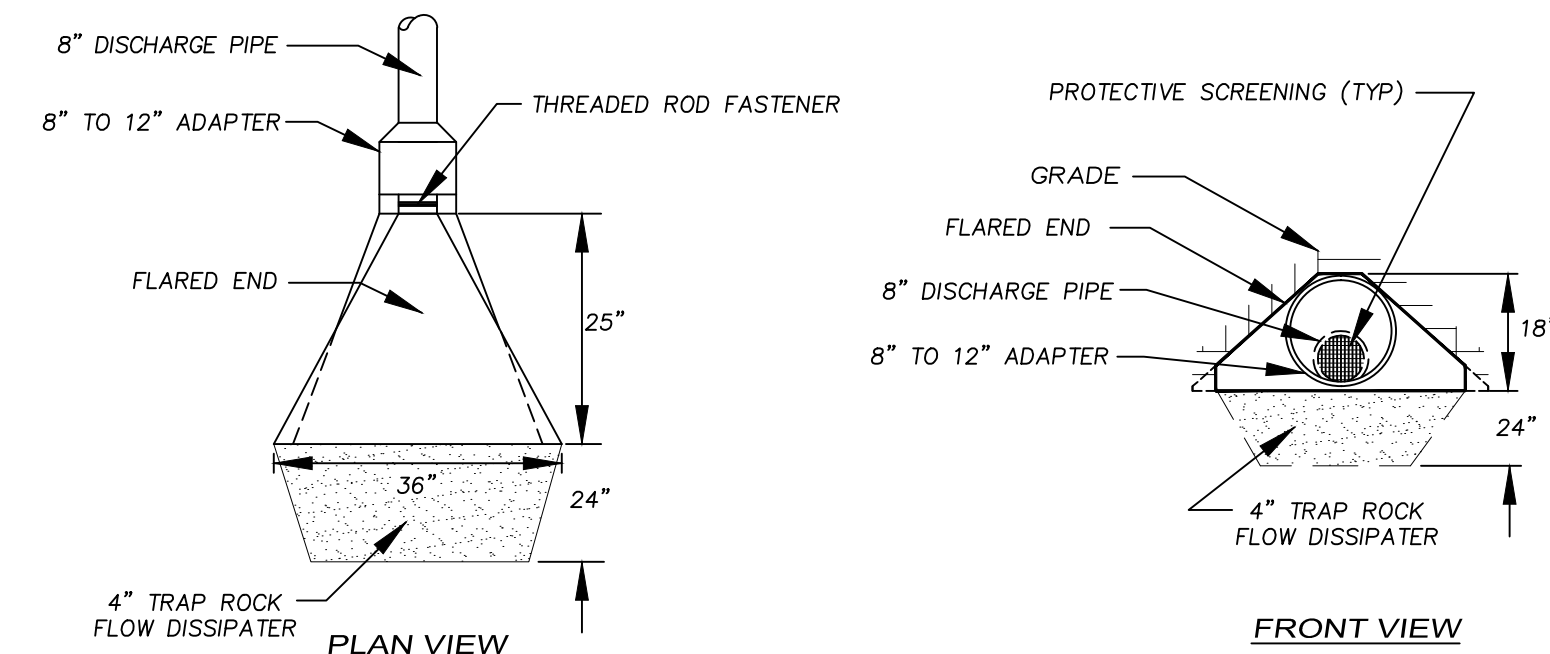
APPROVED BY THE ASHLAND PLANNING BOARD

DATE:

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FLARED END SECTION WITH VELOCITY DISSIPATER

(NOT TO SCALE)

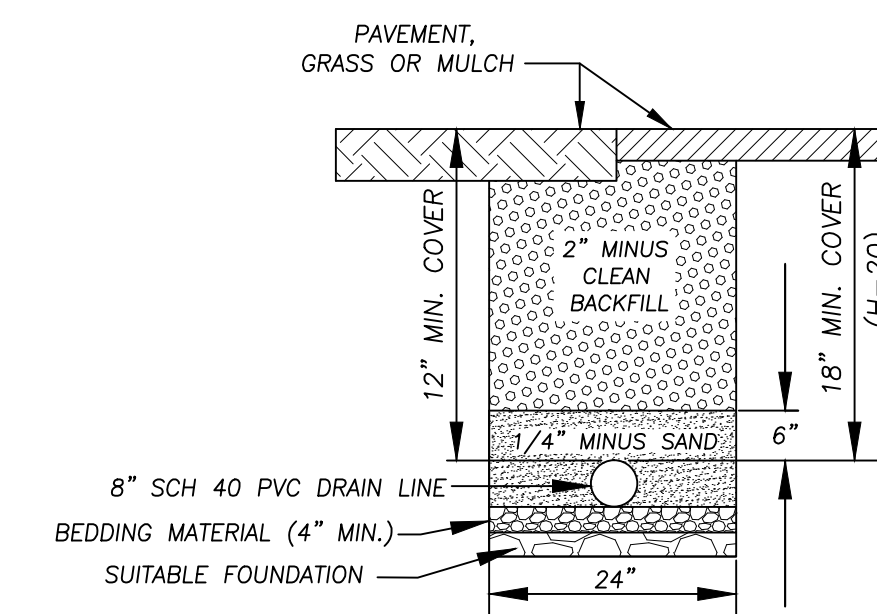


NOTES

- REFER TO MANUFACTURER FOR RECOMMENDED INSTALLATION GUIDELINES.

DRAIN LINE TRENCH

(NOT TO SCALE)



NOTES

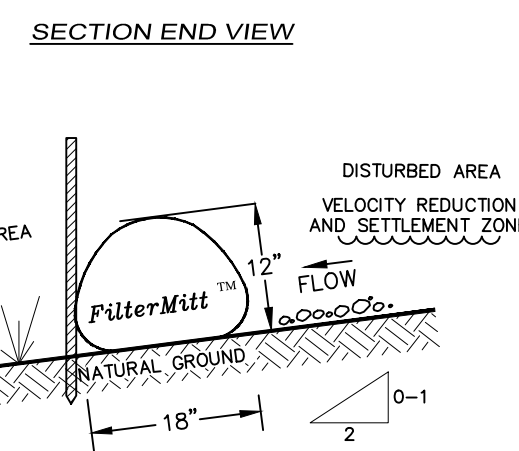
- ALL A & B SOIL HORIZONS SHALL BE ENTIRELY REMOVED BELOW AND AROUND THE PIPE.
- NO STONES GREATER THAN 2" IN PIPE TRENCH FOR BACKFILLING.

EROSION CONTROL BARRIER

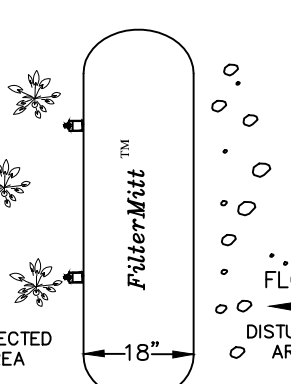
(NOT TO SCALE)

FILTERMITT OR EQUIVALENT

ECB#1



SECTION TOP VIEW



FilterMitt™ COMPONENTS:
OUTSIDE CASING: 100% ORGANIC HESSIAN.
FILLER INGREDIENT: FiberRoot Mulch™
• A BLEND OF COARSE AND FINE COMPOST AND SHREDDED WOOD.
• PARTICLE SIZES: 100% PASSING A 3" SCREEN; 90-100% PASSING A 1" SCREEN; 70-100% PASSING A 0.75" SCREEN; 30-75% PASSING A 0.25" SCREEN.
• WEIGHT: APPROX. 850 LBS./CU.YD. (AVG. 30 LBS./L.F.)

FilterMitt™ INSTALLATION:

- WITH THE NEWEST TECHNOLOGY AND EQUIPMENT, SECTIONS CAN BE CONSTRUCTED ON SITE IN LENGTHS FROM 1' TO 100'.
- SECTIONS CAN ALSO BE DELIVERED TO THE SITE IN LENGTHS FROM 1' TO 8'.
- THE FLEXIBILITY OF FilterMitt™ ALLOWS IT TO CONFORM TO ANY CONTOUR OR TERRAIN WHILE HOLDING A SLIGHTLY OVAL SHAPE AT 12" HIGH BY 18" WIDE.
- WHERE SECTION ENDS MEET, THERE SHALL BE AN OVERLAP OF 6" OR GREATER. BOTH SIDES SHALL BE ANCHORED (OAK STAKES, TREES, ETC.) TO STABILIZE THE UNION.

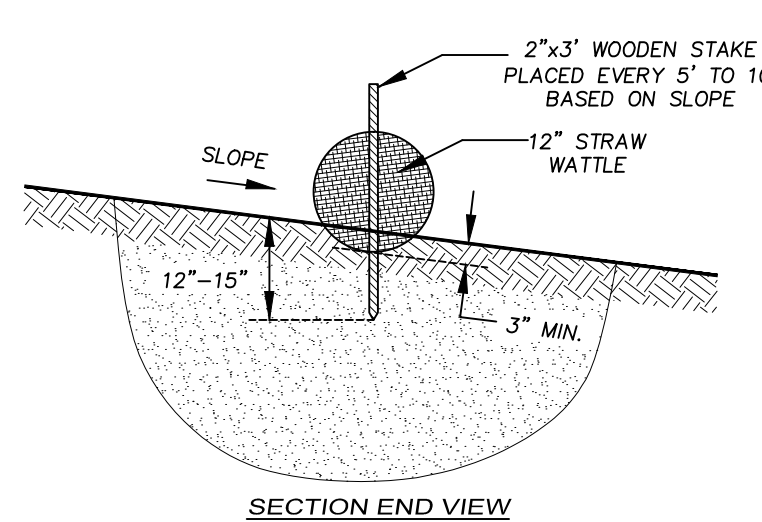
FOR MORE INFORMATION VISIT: www.groundscopestexpress.com
OR CONTACT AT: Groundscapes Express, Inc. P.O. BOX 737 WRENTHAM, MA 02093 (508) 384-7140

EROSION CONTROL BARRIER

(NOT TO SCALE)

STRAW WATTLE OR EQUIVALENT

ECB#2

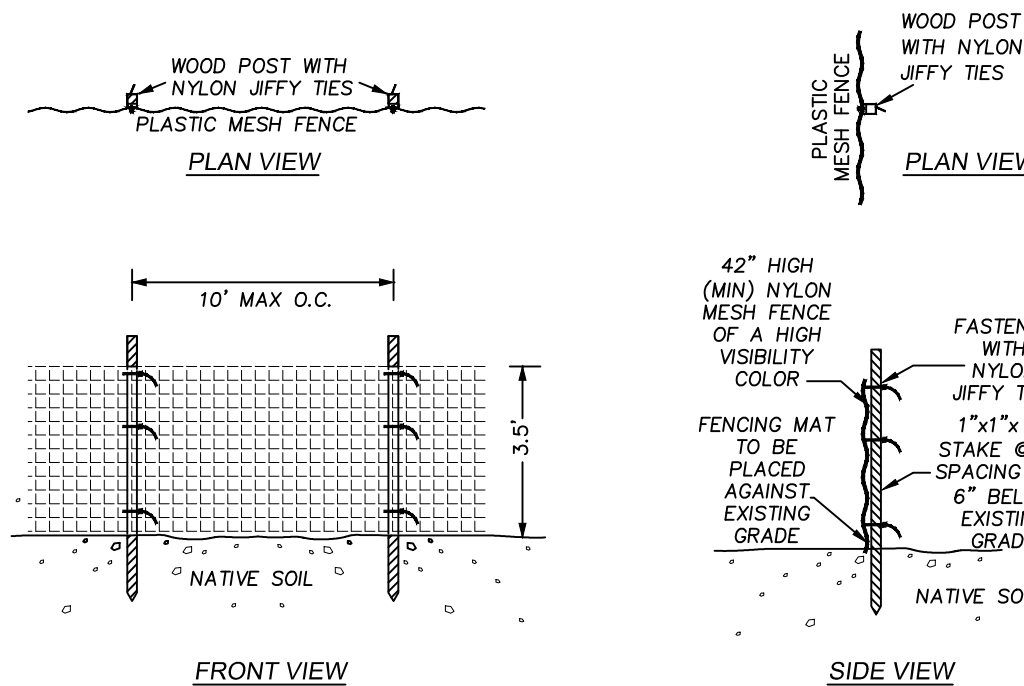


STRAW WATTLE NOTES

- FENCING SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND AROUND ALL SENSITIVE AREAS NOT TO BE DISTURBED.
- THE EROSION CONTROL MEASURES SHALL BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION.
- A SMALL AMOUNT OF BARRIER SHALL BE STOCKPILED ON-SITE FOR EMERGENCY USE.

CONSTRUCTION FENCING

(NOT TO SCALE)

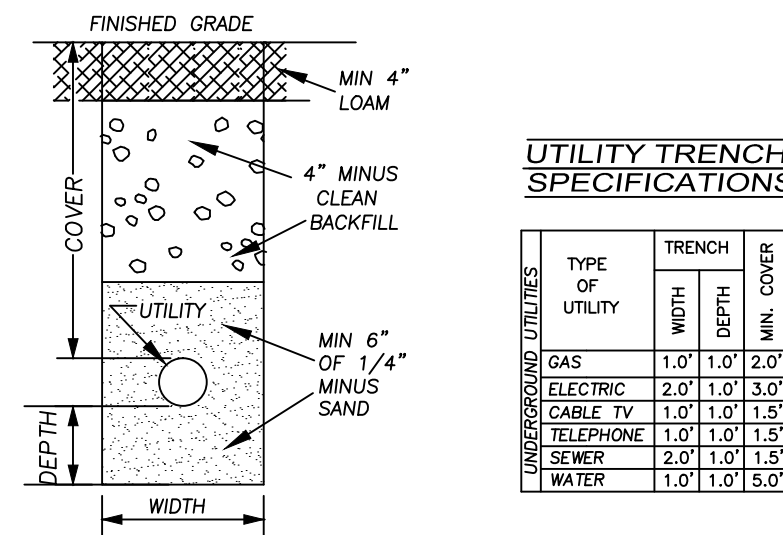


FENCING NOTES

- FENCING SHALL BE INSTALLED AROUND ALL SENSITIVE AREAS NOT TO BE DISTURBED PRIOR TO CONSTRUCTION.
- DISTURBANCE WILL BE LIMITED TO ONLY THOSE AREAS NECESSARY FOR DEVELOPMENT.
- FENCING SHALL BE INSTALLED TO PRESERVE AS MUCH NATURAL VEGETATION AS POSSIBLE.
- CONTROL MEASURES SHALL BE TAKEN TO PROPERLY MAINTAIN THE FENCING THROUGHOUT SITE CONSTRUCTION PERIOD.
- REPAIR/REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- CONSTRUCTION FENCING TO BE REMOVED AFTER COMPLETION OF SITE WORK.

PRIVATE UNDERGROUND UTILITIES TRENCH

(NOT TO SCALE)



UTILITY TRENCH SPECIFICATIONS

TYPE OF UTILITY	TRENCH WIDTH	TRENCH DEPTH	MIN. COVER
GAS	1.0' 1.0'	2.0'	2.0'
ELECTRIC	2.0' 1.0'	3.0'	3.0'
CABLE TV	1.0' 1.0'	1.5'	1.5'
TELEPHONE	1.0' 1.0'	1.5'	1.5'
SEWER	2.0' 1.0'	1.5'	1.5'
WATER	1.0' 1.0'	5.0'	5.0'

NOTES

- ALL ELEVATIONS SHOWN HEREON REFER TO N.A.V.D. OF 1988.
- ALL CONSTRUCTION METHODS AND INSPECTIONS SHALL COMPLY WITH THIS PLAN AND ANY ADDITIONAL REQUIREMENTS ISSUED BY THE LOCAL, STATE OR FEDERAL APPROVING AUTHORITIES. THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE COMPLIANCE WITH THE DESIGN PLAN AND ANY ADDITIONAL REQUIREMENTS ISSUED BY THE LOCAL, STATE OR FEDERAL APPROVING AUTHORITIES.
- ALL WORK CONCERNING THE UTILITIES SHALL COMPLY WITH BOTH PRIVATE AND PUBLIC UTILITY AGENCIES.
- THIS PLAN IS INTENDED FOR PERMITTING PURPOSES ONLY.

**"No. 73 OLIVE STREET
DETAIL SHEET #2"**

LAND IN
ASHLAND, MASS.

ASSESSOR'S REFERENCE: MAP 23, PARCEL 231

ZONING CLASSIFICATION: RA

OWNER/APPLICANT: SURESH RAJAKUMAR & BHUVANA KRISHNAN
12 BURNING TREE ROAD
NATICK, MA 01760

SCALE: NTS DATE: 25 MARCH 2016

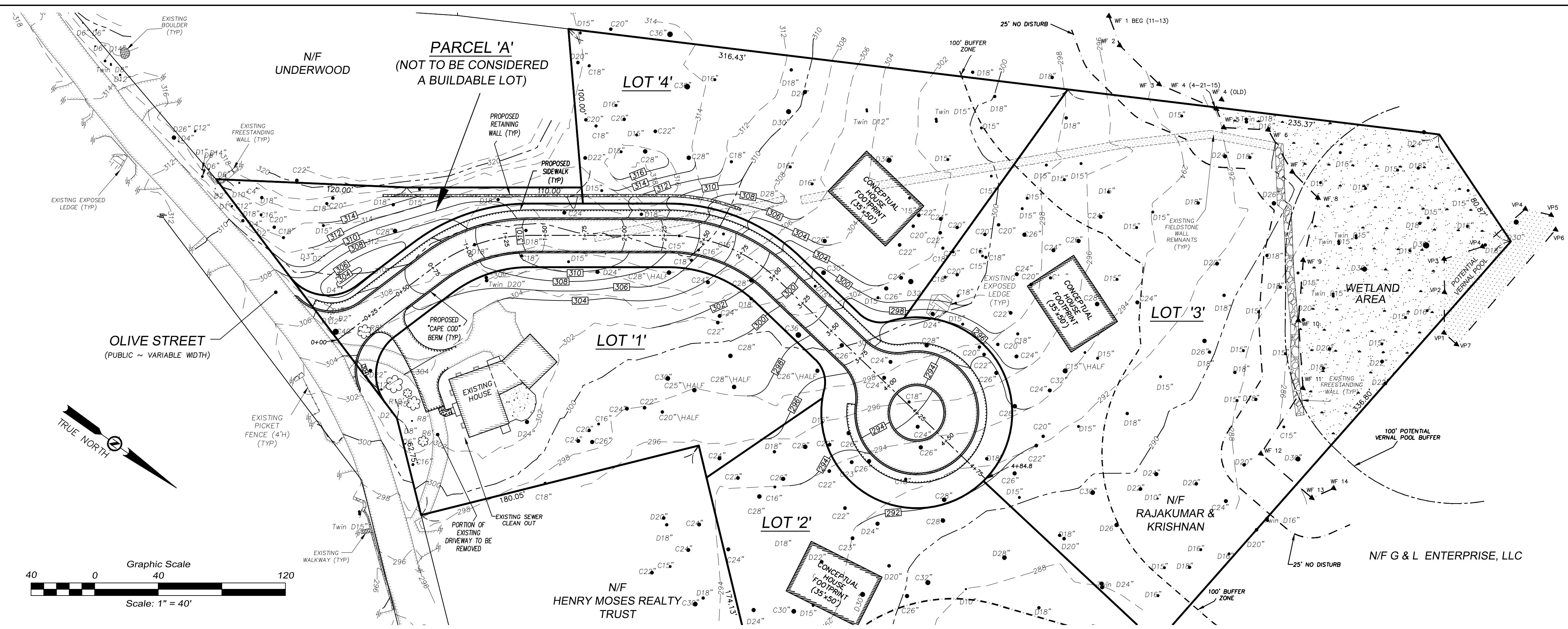
PREPARED BY: THE JILLSON COMPANY, INC.
P.O. BOX 2135
FRAMINGHAM, MA. 01703-2135
(508)-485-0500
www.JILLSONCOMPANY.com

REV	DATE	DESCRIPTION

APPROVED BY THE
ASHLAND PLANNING BOARD

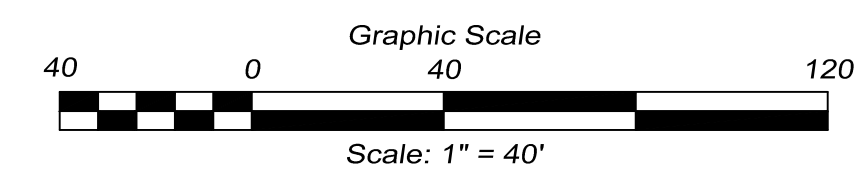
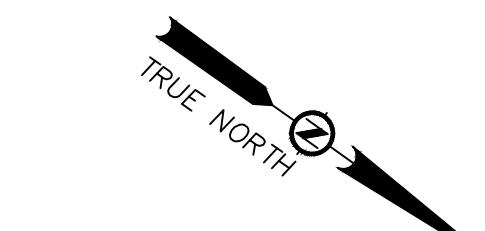
DATE:

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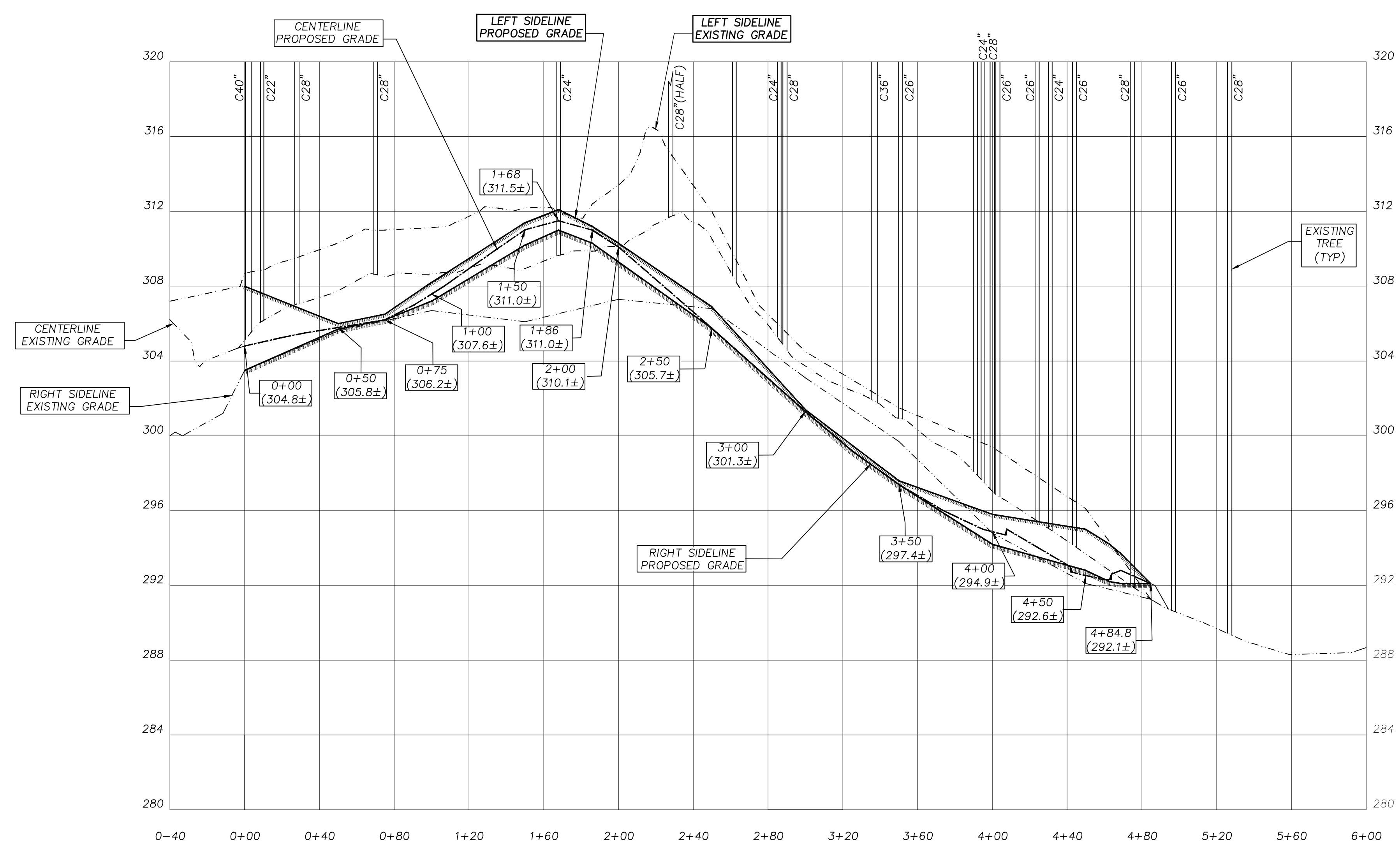


NOTES

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- THE PLANIMETRIC AND TOPOGRAPHIC FEATURES SHOWN HEREON ARE BASED ON FIELD INSTRUMENT SURVEYS PERFORMED BETWEEN AUGUST 2013 AND OCTOBER 2015 BY THE JILLSON COMPANY.
- THE BORDERING VEGETATED WETLAND AND TOP OF BANK FLAGS SHOWN HEREON ARE BASED ON A WETLAND DELINEATION PERFORMED IN SEPTEMBER 2013 & APRIL 2015 BY DAVID W. BURKE, WETLAND SPECIALIST. FOR ADDITIONAL INFORMATION REFER TO THE ANRAD FILING FROM APRIL 2015.
- THIS PLAN IS INTENDED FOR PERMITTING PURPOSES ONLY.



TOTAL PROJECT AREA
232,818± S.F. OR 5.34 ACRES



LEGEND

- ▲ WF WETLAND FLAG
- ▲ VP POTENTIAL VERNAL POOL FLAG
- ▲ TB TOP OF BANK FLAG
- C12" EXISTING TREE (TYPE & DIAMETER)
- - - -298 EXISTING 2' CONTOUR
- - - -300 EXISTING 10' CONTOUR
- 300 PROPOSED CONTOUR

**"No. 73 OLIVE STREET
GRADING PROFILE"**
LAND IN
ASHLAND, MASS.
ASSESSOR'S REFERENCE: MAP 23, PARCEL 231
ZONING CLASSIFICATION: RA
OWNER/APPLICANT: SURESH RAJAKUMAR &
BHUVANA KRISHNAN
12 BURNING TREE ROAD
NATICK, MA 01760
SCALE: 1"=40' DATE: 25 MARCH 2016
PREPARED BY: THE JILLSON COMPANY, INC.
P.O. BOX 2135
FRAMINGHAM, MA. 01703-2135
(508)-485-0500
www.JILLSONCOMPANY.com

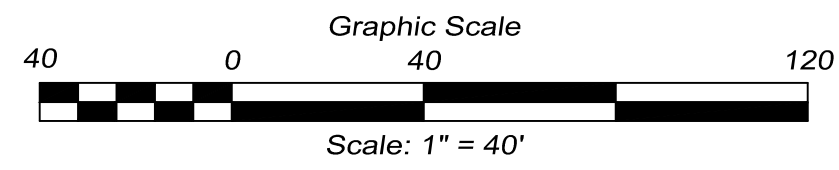
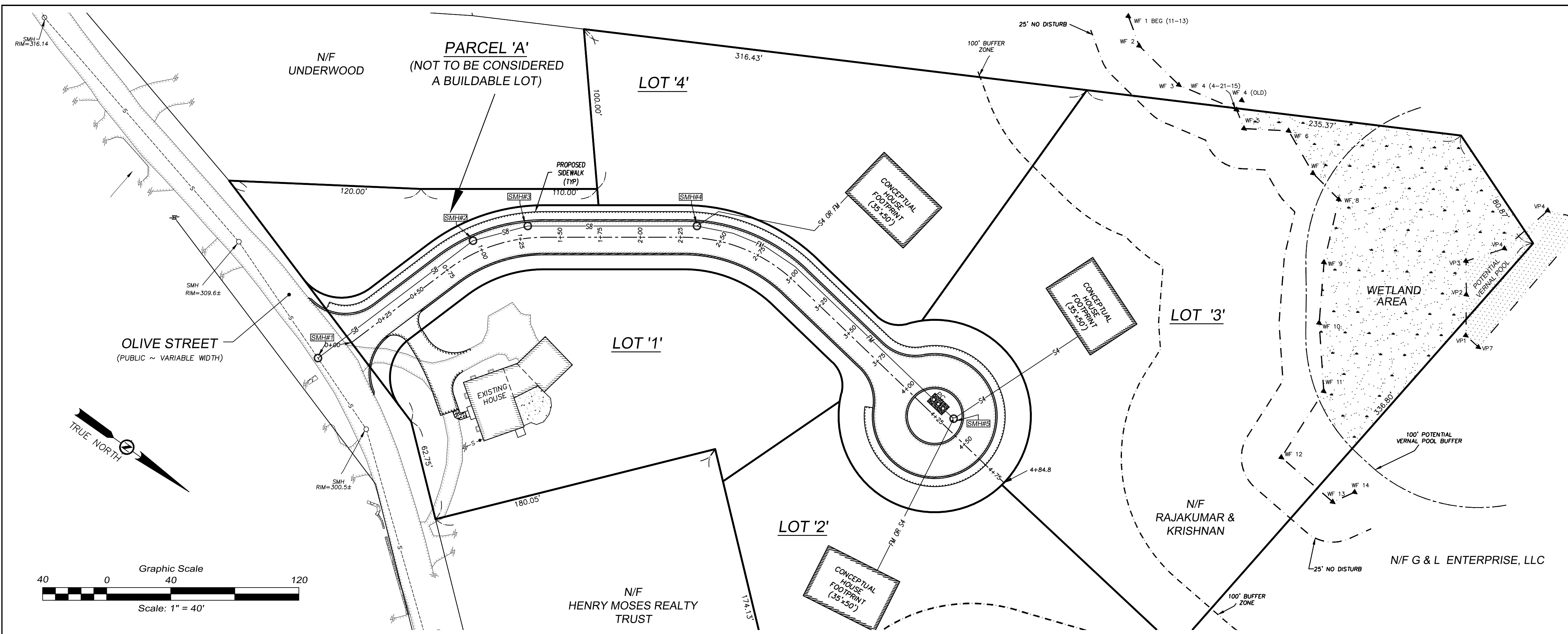
REVISIONS	
REV	DESCRIPTION

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

APPROVED BY THE
ASHLAND PLANNING BOARD

DATE:

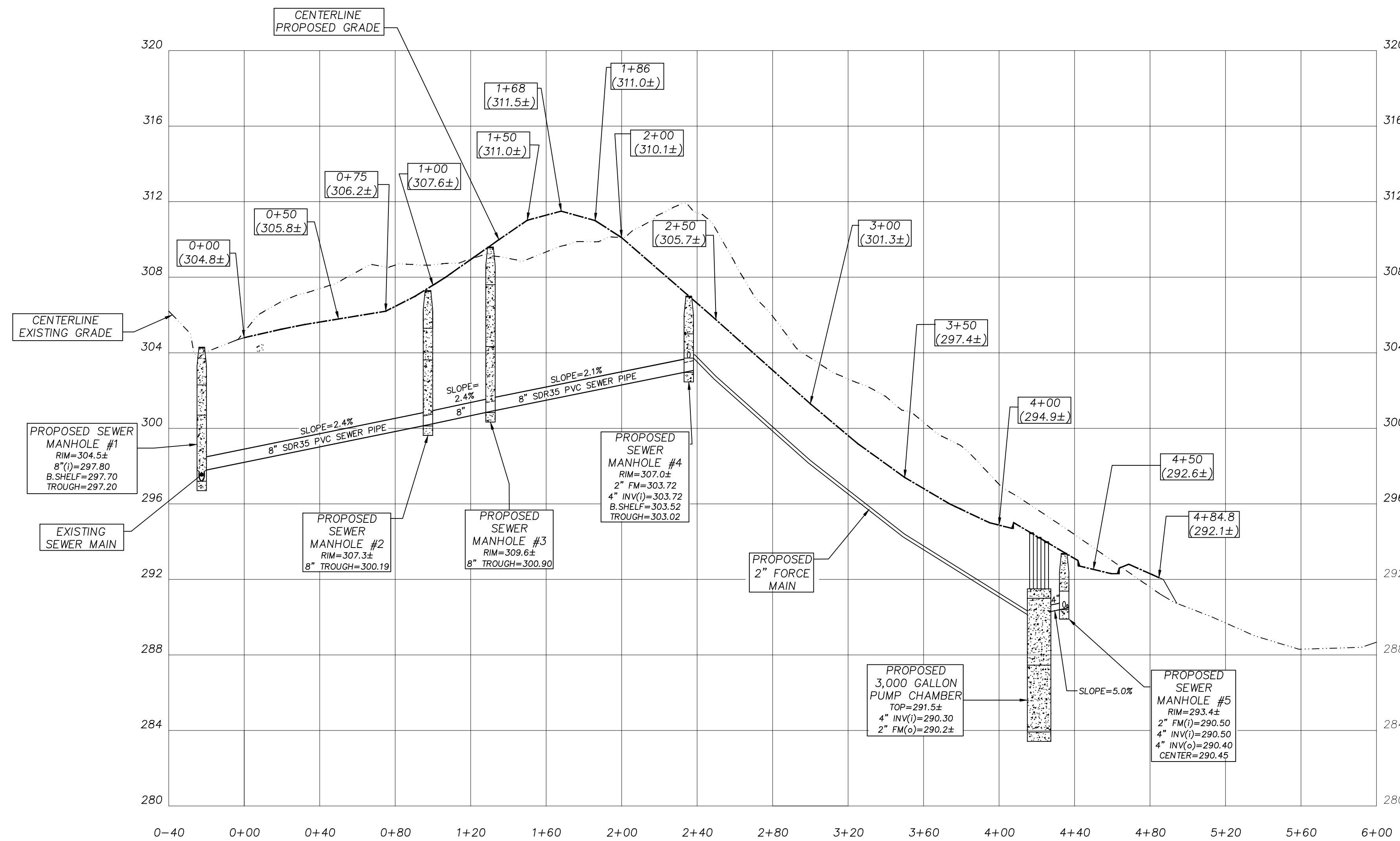
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TOTAL PROJECT AREA
232,818± S.F. OR 5.34 ACRES



LEGEND

- ▲ WF WETLAND FLAG
- ▲ VP POTENTIAL VERNAL POOL FLAG
- ▲ TB TOP OF BANK FLAG
- SMH ○ EXISTING SEWER MANHOLE
- SMH ○ PROPOSED SEWER MANHOLE
- PC PROPOSED PUMP CHAMBER
- S--- EXISTING SEWER PIPE
- S4 PROPOSED 4" SDR35 PVC SEWER PIPE
- S8 PROPOSED 8" SDR35 PVC SEWER PIPE
- FM PROPOSED 2" SEWER FORCEMAIN PIPE

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

**"No. 73 OLIVE STREET
SEWER PROFILE"**
LAND IN
ASHLAND, MASS.

ASSESSOR'S REFERENCE: MAP 23, PARCEL 231
ZONING CLASSIFICATION: RA
OWNER/APPLICANT: SURESH RAJAKUMAR & BHUVANA KRISHNAN
12 BURNING TREE ROAD
NATICK, MA 01760

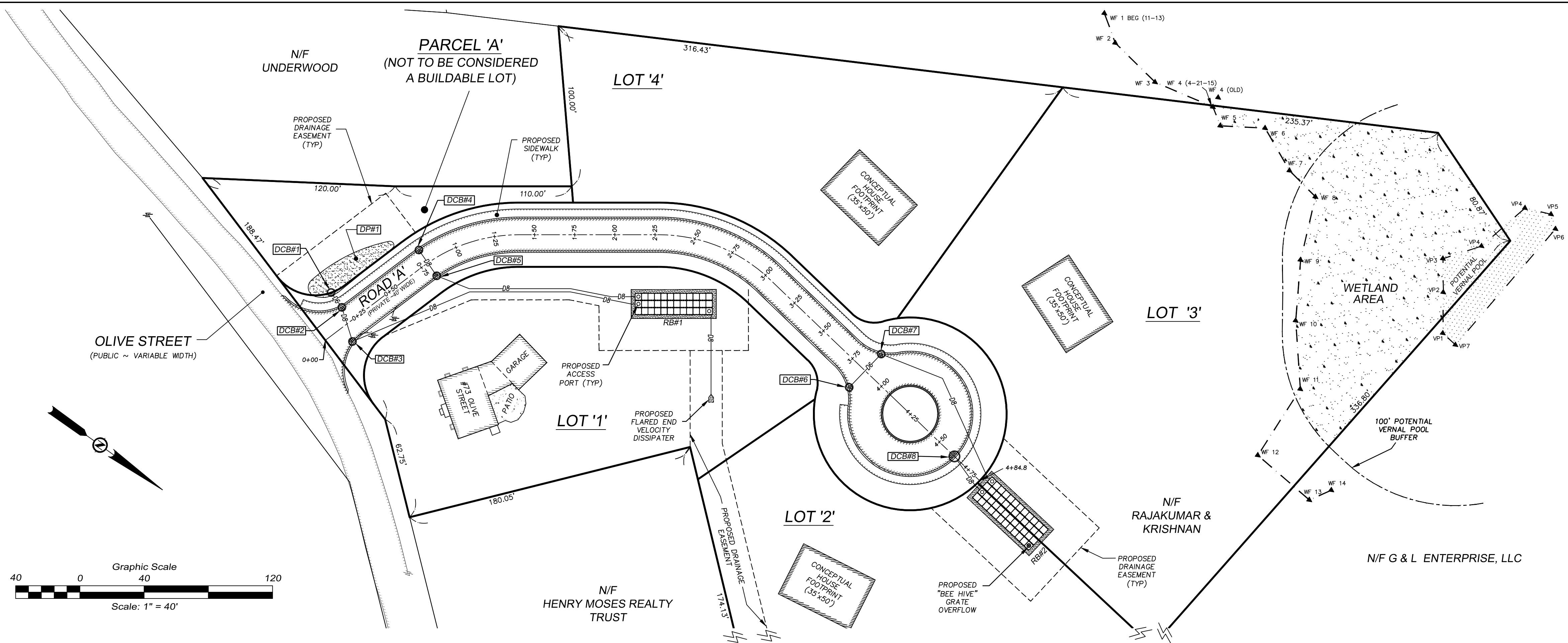
SCALE: 1"=40' DATE: 25 MARCH 2016
PREPARED BY: THE JILLSON COMPANY, INC.
P.O. BOX 2135
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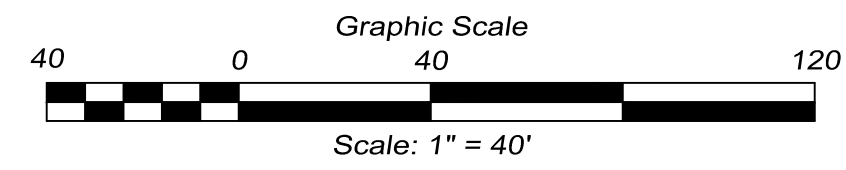
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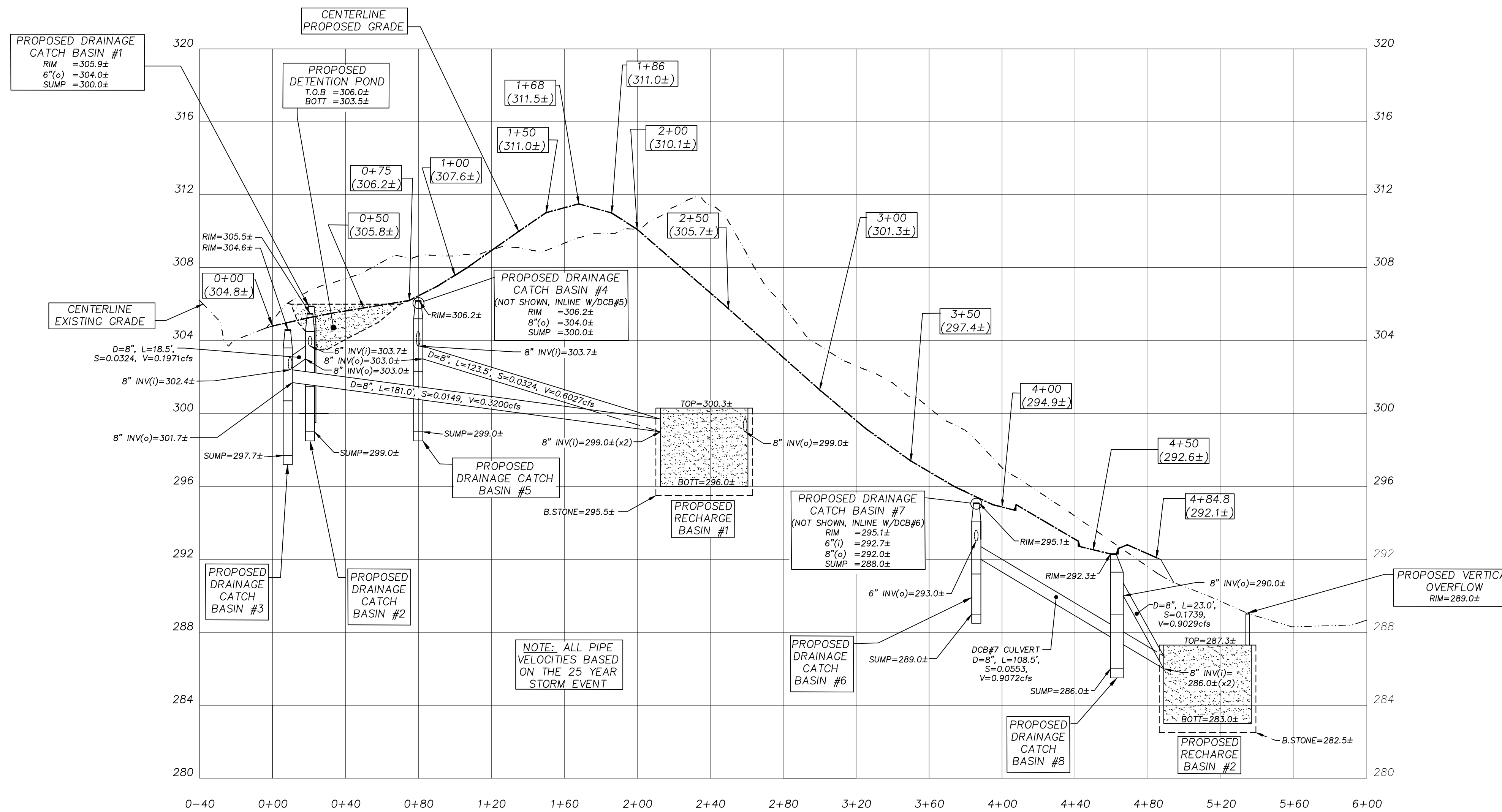
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TOTAL PROJECT AREA
232,818± S.F. OR 5.34 ACRES

LEGEND

- ▲ WF WETLAND FLAG
- ▲ VP POTENTIAL VERNAL POOL FLAG
- ▲ TB TOP OF BANK FLAG
- ⊙ DCB PROPOSED DRAINAGE CATCHBASIN
- D6 PROPOSED 6" SCH40 PVC DRAINAGE PIPE
- D8 PROPOSED 8" SCH40 PVC DRAINAGE PIPE



HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'

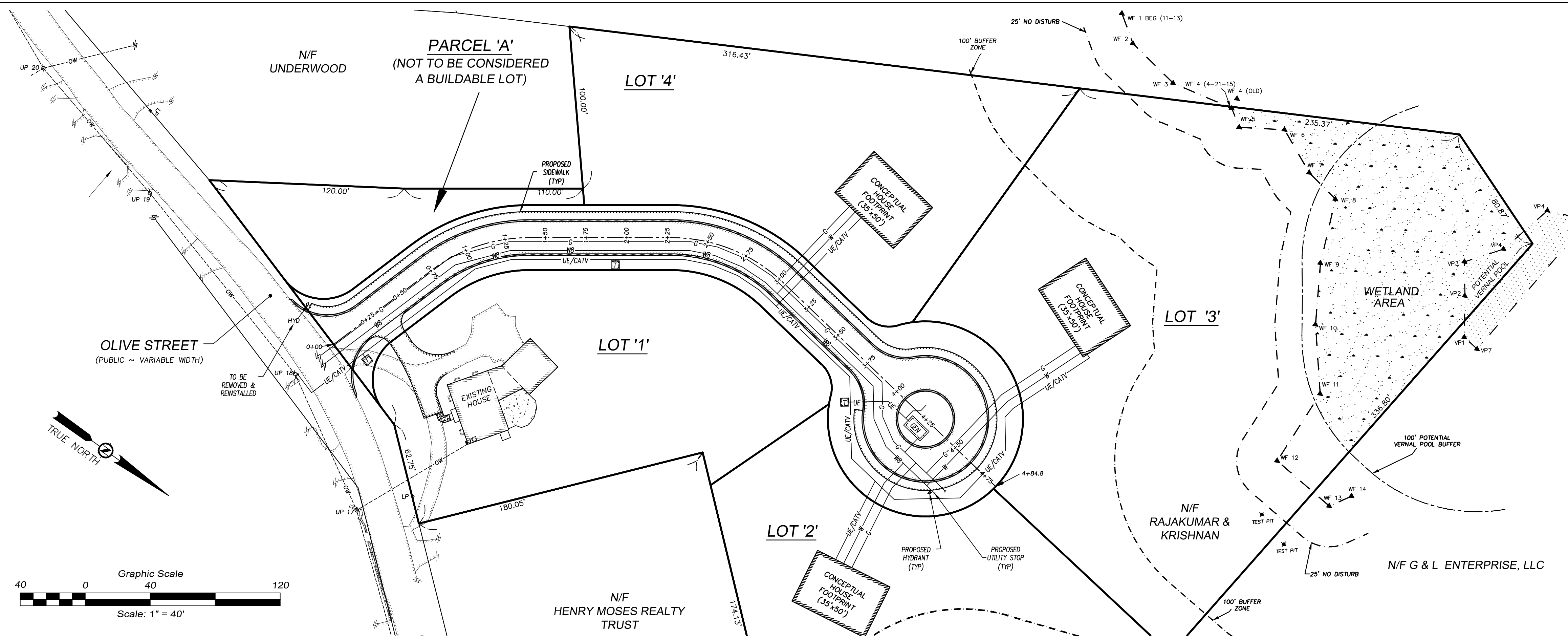
**"No. 73 OLIVE STREET
DRAINAGE PROFILE"**
LAND IN
ASHLAND, MASS.

ASSESSOR'S REFERENCE: MAP 23, PARCEL 231
ZONING CLASSIFICATION: RA
OWNER/APPLICANT: SURESH RAJAKUMAR & BHUVANA KRISHNAN
12 BURNING TREE ROAD
NATICK, MA 01760

SCALE: 1"=40' DATE: 25 MARCH 2016

PREPARED BY: THE JILLSON COMPANY, INC.
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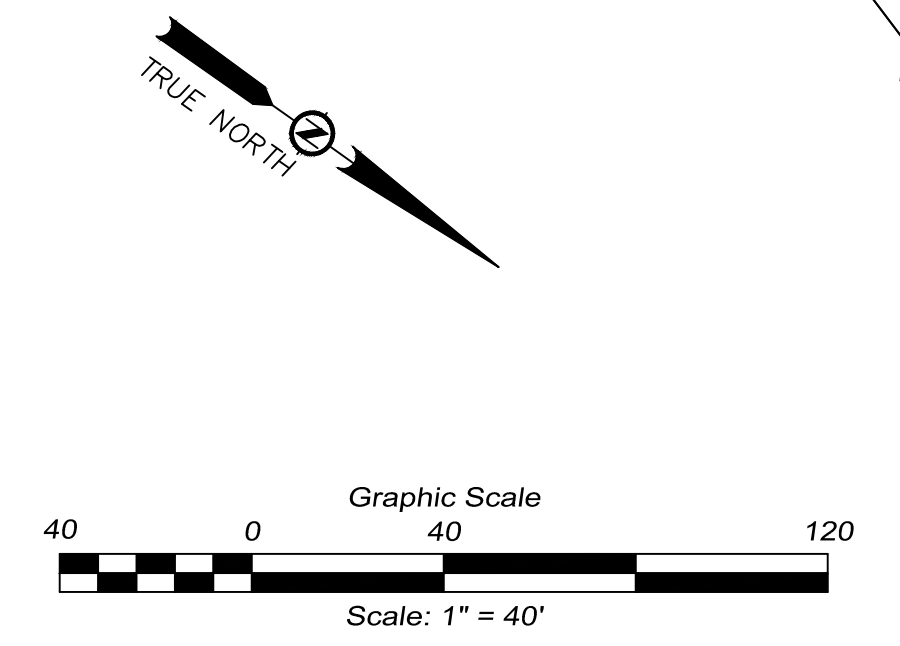
REVISIONS	
REV	DESCRIPTION



APPROVED BY THE
ASHLAND PLANNING BOARD

DATE: _____

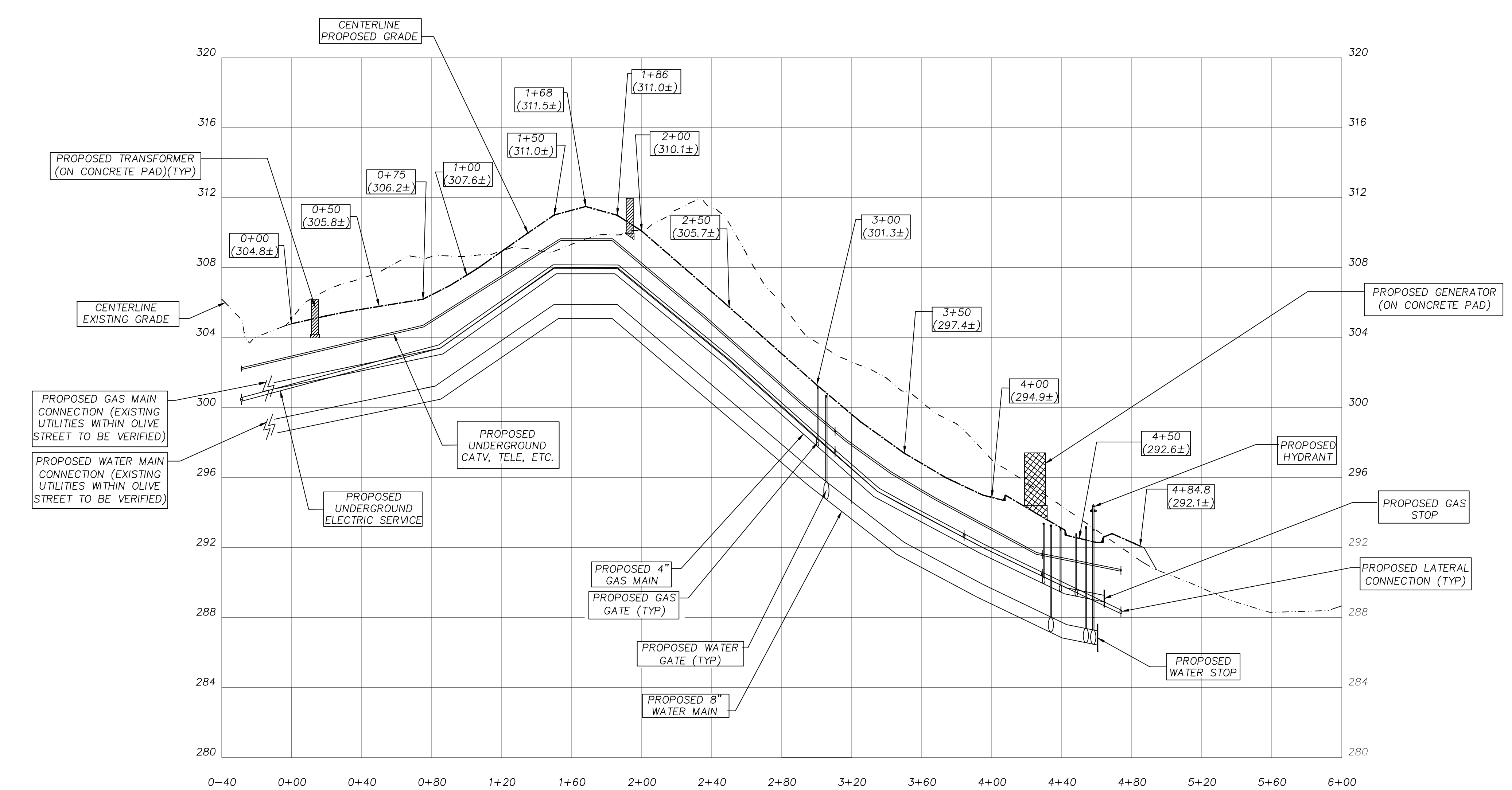
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TOTAL PROJECT AREA
232,818± S.F. OR 5.34 ACRES



LEGEND

- ▲ WF WETLAND FLAG
- ▲ VP POTENTIAL VERNAL POOL FLAG
- ▲ TB TOP OF BANK FLAG
- TEST PIT WETLAND DELINEATION TEST PIT
- HYD ◊ EXISTING HYDRANT
- WG ● EXISTING WATER GATE
- W EXISTING WATER SERVICE
- W PROPOSED WATER SERVICE
- G PROPOSED GAS SERVICE
- UP ○ EXISTING UTILITY POLE
- LP ⊥ EXISTING LIGHT POST
- ⊠ PROPOSED TRANSFORMER
- ⊠ GEN PROPOSED GENERATOR
- OW EXISTING OVERHEAD WIRES
- UE/CATV PROPOSED UNDERGROUND ELECTRIC & CABLE TV

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

**"No. 73 OLIVE STREET
UNDERGROUND UTILITY PROFILE"**

LAND IN
ASHLAND, MASS.

ASSESSOR'S REFERENCE: MAP 23, PARCEL 231
ZONING CLASSIFICATION: RA

OWNER/APPLICANT: SURESH RAJAKUMAR & BHUVANA KRISHNAN
12 BURNING TREE ROAD
NATICK, MA 01760

SCALE: 1"=40' DATE: 25 MARCH 2016
PREPARED BY: THE JILLSON COMPANY, INC.
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REVISIONS	
REV	DESCRIPTION