

14-425  
JAMES J. GRASBERGER 135  
UNION STREET ASHLAND,  
MA 01721 BOOK 26301  
PAGE 549

14-423  
ARTHUR C. YOUNG &  
GERALD W. BUNKER  
6 TELLER DRIVE  
ASHLAND, MA 01721  
L.C. CERT. 151099



### ZONING DATA

	REQUIRED:	EXISTING:	PROVIDED:
<b>ZONE: INDUSTRIAL DISTRICT- 1</b>			
PHOTOVOLTAIC INSTALLATION OVERLAY DISTRICT			
FLOODPLAIN OVERLAY DISTRICT			
<b>BUILDING SETBACKS:</b>			
MINIMUM FRONT YARD	40'	8.4'(CANOPY)	15.0'(BUILDING- HOMER AVE.) 22.8' (CANOPY- UNION ST.)
MINIMUM SIDE YARD	30'	32.2'(BUILDING)	17.0' (CANOPY) 23.6' (BUILDING)
MINIMUM REAR YARD	30'	104.9'(BUILDING)	92.0'(BUILDING)
<b>BUILDING REQUIREMENTS:</b>			
MINIMUM LOT AREA	30,000 SF	30,645 SF	30,645 SF
MINIMUM LOT FRONTAGE	150'	167.5'	167.5'
MINIMUM DEPTH	-	224'	224'
MAXIMUM BUILDING COVERAGE	-	13.0%	17.7%

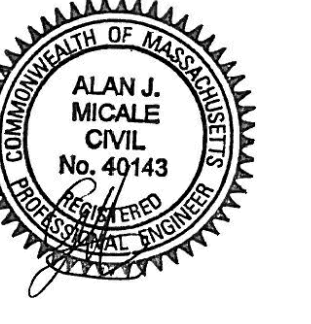
ZONING INFORMATION WAS TAKEN FROM: ZONING BY-LAW TOWN OF ASHLAND MASSACHUSETTS, DATE: NOVEMBER 19, 2013 AMENDED THROUGH MAY 7, 2015.

### SITE DATA

	REQUIRED:	EXISTING:	PROVIDED:
<b>BUILDING AREA</b>			
IMPERVIOUS AREA	N/A	2,353 SF	2,940 SF
<b>PARKING REQUIREMENTS:</b>			
RETAIL BUSINESS :			
1 SPACE PER 180 SQUARE FEET OF LEASABLE FLOOR SPACE			
STORAGE, MECHANICAL & COMMON AREA: 1,714 SF			
LEASABLE FLOOR AREA: 2,696 SF			
PARKING REQUIRED: 2,696/180 = 15			
<b>TOTAL PARKING REQUIRED:</b>			
* COUNTING 8 PARKING AT DISPENSING ISLANDS	15 SPACES	4 SPACES	*19 SPACES

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REV.	PER.	DATE	DESCRIPTION
1	AJM	05/03/16	REVISED PER TOWN ENGINEER COMMENTS
2	AJM	06/09/16	REVISED PER TOWN ENGINEER COMMENTS

**AYOUB ENGINEERING**  
ENGINEERS & ARCHITECTS

ADDRESS:  
414 BENEFIT STREET  
PAWTUCKET, RHODE ISLAND 02861  
401-728-5533

**SEASON'S CORNER MARKET**  
125 UNION STREET ASHLAND, MA

PREPARED FOR  
**COLBEA ENTERPRISES, LLC**  
2050 PLAINFIELD PIKE CRANSTON, RI

SHEET DESCRIPTION  
**SITE IMPROVEMENT PLAN**

REFERENCES:  
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM PLAN ENTITLED:  
"ALTA/ACSM LAND TITLE SURVEY", SCALE: 1"=20'  
DATE: MAY 12, 2010, PREPARED BY: FIRST AMERICAN PROFESSIONAL LAND SERVICES, 621 24 TH AVENUE S.W., NORMAN, OKLAHOMA 73069  
"EXISTING CONDITIONS PLAN COLBEA ENTERPRISES ASHLAND, MA" BY HOLDEN ENGINEERING & SURVEYING, INC. DATE: APRIL 27, 2015 SCALE: 1"=20'

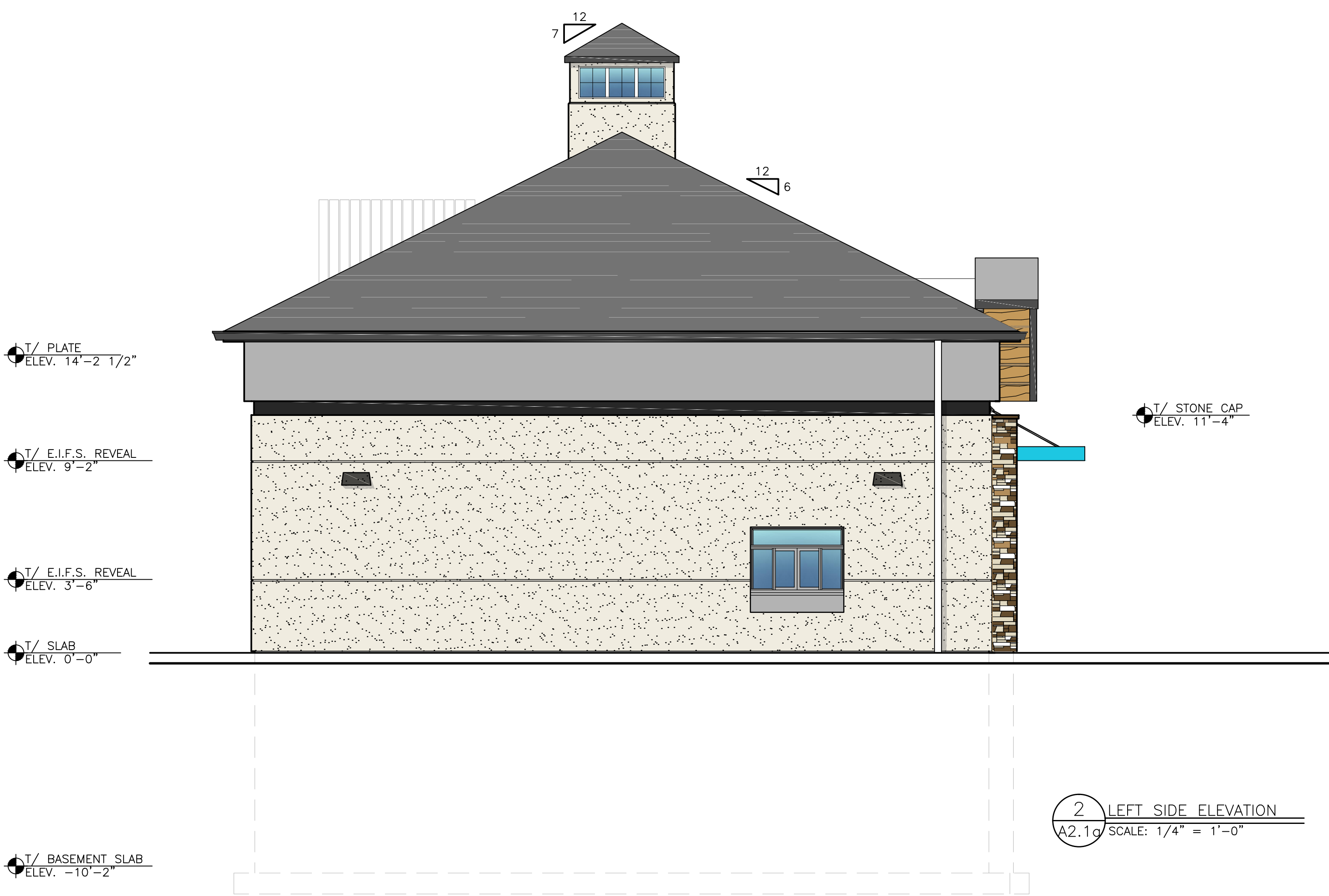


PROJECT NO. 1741.214  
SCALE: 1"=20'  
DRAWN BY: PA  
DATE: 03/10/16

SHEET NO.  
**C-1**



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REV	PER	DATE	DESCRIPTION

AYOUB

ENGINEERING

ENGINEERS & ARCHITECTS

CORPORATE OFFICE:

414 BENEFIT STREET  
PAWTUCKET, RHODE ISLAND 02861  
401-728-5533

SEASON'S CORNER MARKET

125 UNION STREET, ASHLAND, MA

PREPARED FOR

COLBEA ENTERPRISES, LLC

CRANSTON, RI, 2050 PLAINFIELD PIKE

SHEET DESCRIPTION

EXTERIOR RENDERED ELEVATIONS

PROJECT NO.	1741.213	SHEET NO.	A2.1a
SCALE:	AS NOTED		
DRAWN BY:	HAL		
DATE:	03/10/2016		