

SEASON'S CORNER MARKET

SITE IMPROVEMENT PLANS

125 UNION STREET
ASHLAND, MA

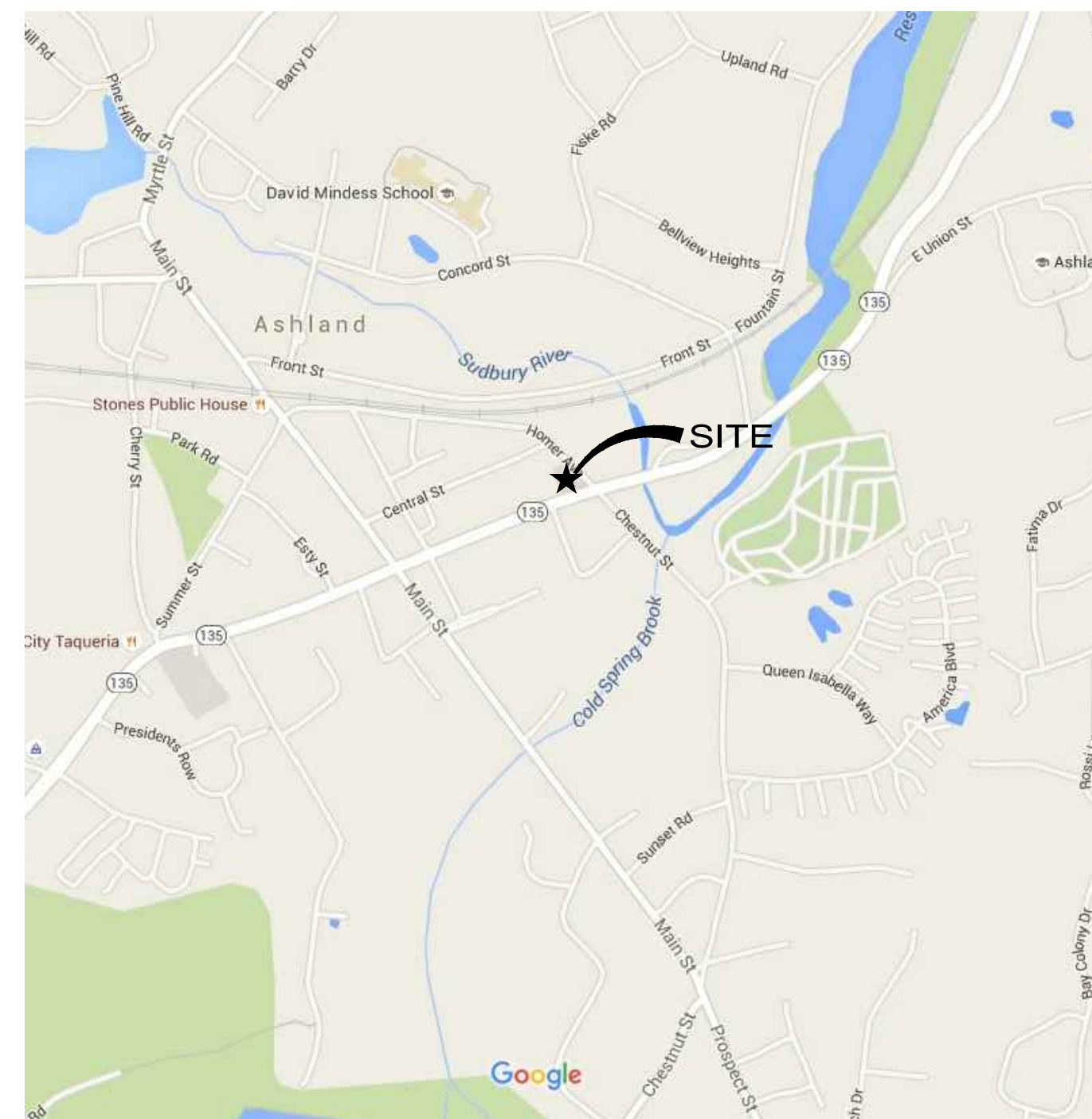
PREPARED FOR:

COLBEA ENTERPRISES, LLC

2050 PLAINFIELD PIKE
CRANSTON, RI

INDEX OF DRAWINGS

SHEET	TITLE
GENERAL	COVER
CIVIL	
1	EXISTING CONDITIONS PLAN
D-1	SITE DEMOLITION PLAN
C-1	SITE IMPROVEMENT PLAN
C-2	SITE GRADING PLAN
C-3	SITE UTILITY PLAN
L-1	SITE LANDSCAPE PLAN
ER-1	SOIL EROSION & SEDIMENT CONTROL PLAN
1	LIGHTING PROPOSAL
Q-1	DRIVE-THRU QUEUE PLAN
Q-2	DISPENSER QUEUE PLAN
Q-3	TANKER PATH PLAN
SG-1	EXISTING SIGNAGE PLAN
SG-2	PROPOSED SIGNAGE PLAN
SD-1	SITE DETAIL SHEET
SD-2	SITE DETAIL SHEET
SD-3	SITE DETAIL SHEET
SD-4	SITE DETAIL SHEET SC-310 CHAMBER
A1.0	BASEMENT FLOOR PLAN
A1.1	MAIN LEVEL FLOOR PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS



LOCUS MAP

SCALE 1"=1000'

ARCHITECTURAL & CIVIL PREPARED BY:

AYOUB
ENGINEERING

ENGINEERS & ARCHITECTS

414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

SEASON'S CORNER MARKET

125 UNION STREET
ASHLAND, MA

PREPARED FOR:
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE
CRANSTON, RI

PREPARED BY:
AYOUB
ENGINEERING

ENGINEERS & ARCHITECTS

414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

PROJECT NO. 1741.214

REVISED: 06/09/16
DATE: 03/10/16

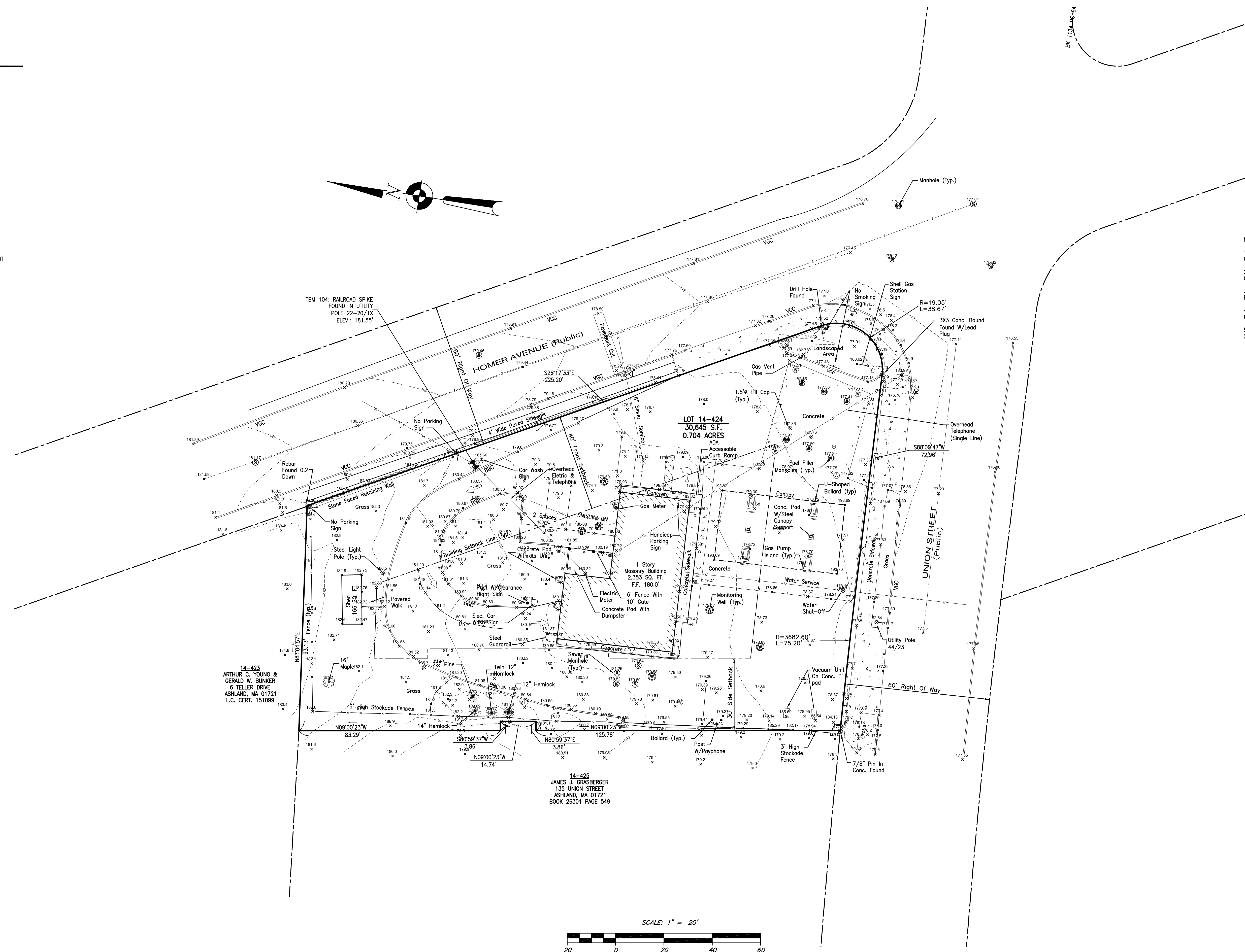
LEGEND

- PROPERTY LINE
- - - ABUTTER LINE
- · - · - SETBACK LINE
- GRANITE CURB
- · - · - BUILDING TIE LINE
- - - BUILDING CANOPY
- BUILDING
- CONCRETE PAD
- STOCKADE FENCE
- SIGN
- FILL CAP
- ⊙ MONITORING WELL
- ⊙ MANHOLE
- ⊙ SEWER MANHOLE
- ☆ STEEL LIGHT POLE
- UTILITY POLE
- ⊙ WATER SHUT-OFF
- ⊙ AIR CONDITIONING UNIT



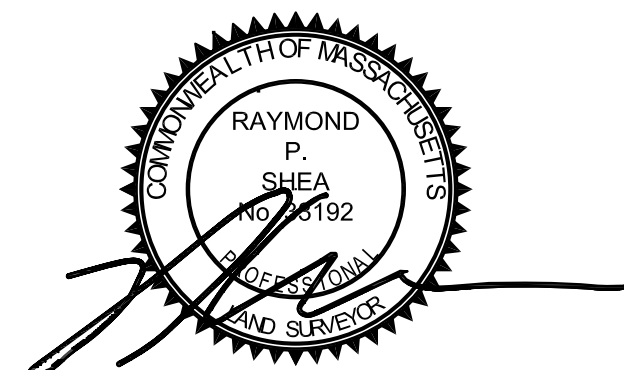
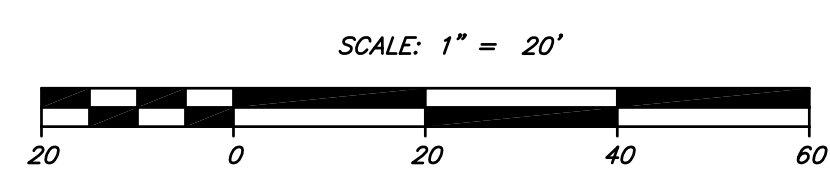
LOCATION MAP
NOT TO SCALE

- NOTES:**
1. THE OWNER OF RECORD IS COLBEA ENTERPRISES, LLC 2050 PLAINFIELD PIKE CRANSTON, RHODE ISLAND 02919.
 2. REFERENCE THE SUBJECT PROPERTY AS LOT 424 ON MAP 14 OF THE TOWN OF ASHLAND ASSESSORS MAPS
 3. DEED REFERENCE FOR THE SUBJECT PARCELS IS BOOK 56716 PAGE 392 AS RECORDED AT THE MIDDLESEX SOUTH REGISTRY OF DEEDS.
 4. THE TOTAL AREA OF SUBJECT PROPERTIES IS 30,645 SQUARE FEET OR 0.704 ACRES.
 5. VERTICAL DATUM BASED ON NAVD 88 DATUM BY GPS OBSERVATION ON MARCH 20, 2015.



14-423
ARTHUR C. YOUNG &
GERALD W. BUNKER
6 TELLER DRIVE
ASHLAND, MA 01721
L.C. CERT. 151099

14-425
JAMES J. GRASBERGER
135 UNION STREET
ASHLAND, MA 01721
BOOK 26301 PAGE 549



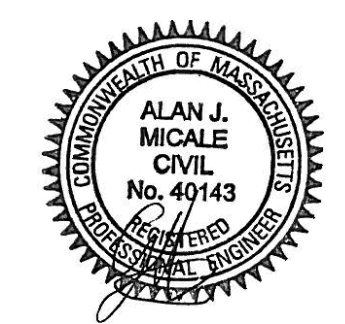
HOLDEN ENGINEERING & SURVEYING, Inc.

56 Old Sacoak Road - Unit #4
PO Box 480 Concord, N.H. 03302
(603) 225-6449
9 Constitution Drive
Bedford, N.H. 03110
(603) 472-2078

**EXISTING CONDITIONS PLAN
COLBEA ENTERPRISES
ASHLAND, MA**

Date:	Revisions Description	Dr. By	Chk. By	Book	Page	Date:
						04/27/2015
						Scale: 1"=20'
						Dr. By: MK Ck. By: DJ
						Job No. 1420515
						Sheet no 1 of 1

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIRMED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



REV	PER	DATE	DESCRIPTION
1	AJM	05/03/16	REVISED PER TOWN ENGINEER COMMENTS

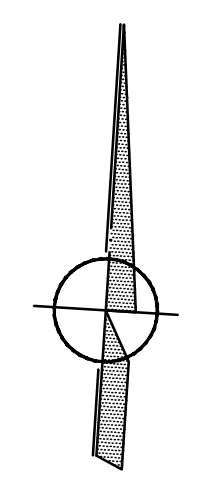
AYOUB ENGINEERING
ENGINEERS & ARCHITECTS
ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

SEASON'S CORNER MARKET
125 UNION STREET ASHLAND, MA

PREPARED FOR
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE CRANSTON, RI

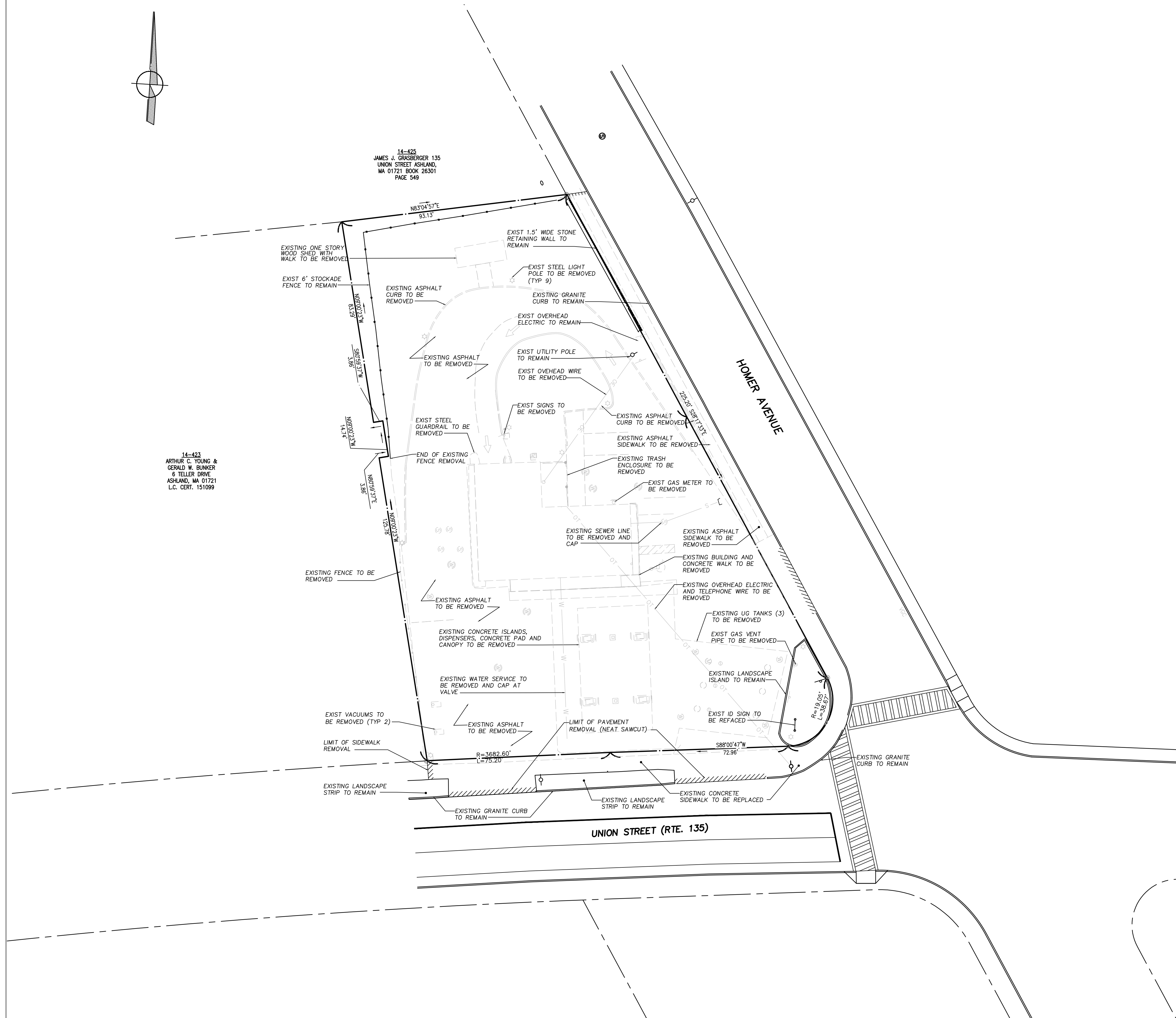
SHEET DESCRIPTION
SITE DEMOLITION PLAN

PROJECT NO.	1741.214	SHEET NO.	D-1
SCALE:	1"=20'		
DRAWN BY:	PA		
DATE:	03/10/16		



14-425
JAMES J. GRASBERGER 135
UNION STREET ASHLAND,
MA 01721 BOOK 26301
PAGE 549

14-423
ARTHUR C. YOUNG &
GERALD W. BUNKER
6 TELLER DRIVE
ASHLAND, MA 01721
L.C. CERT. 151099

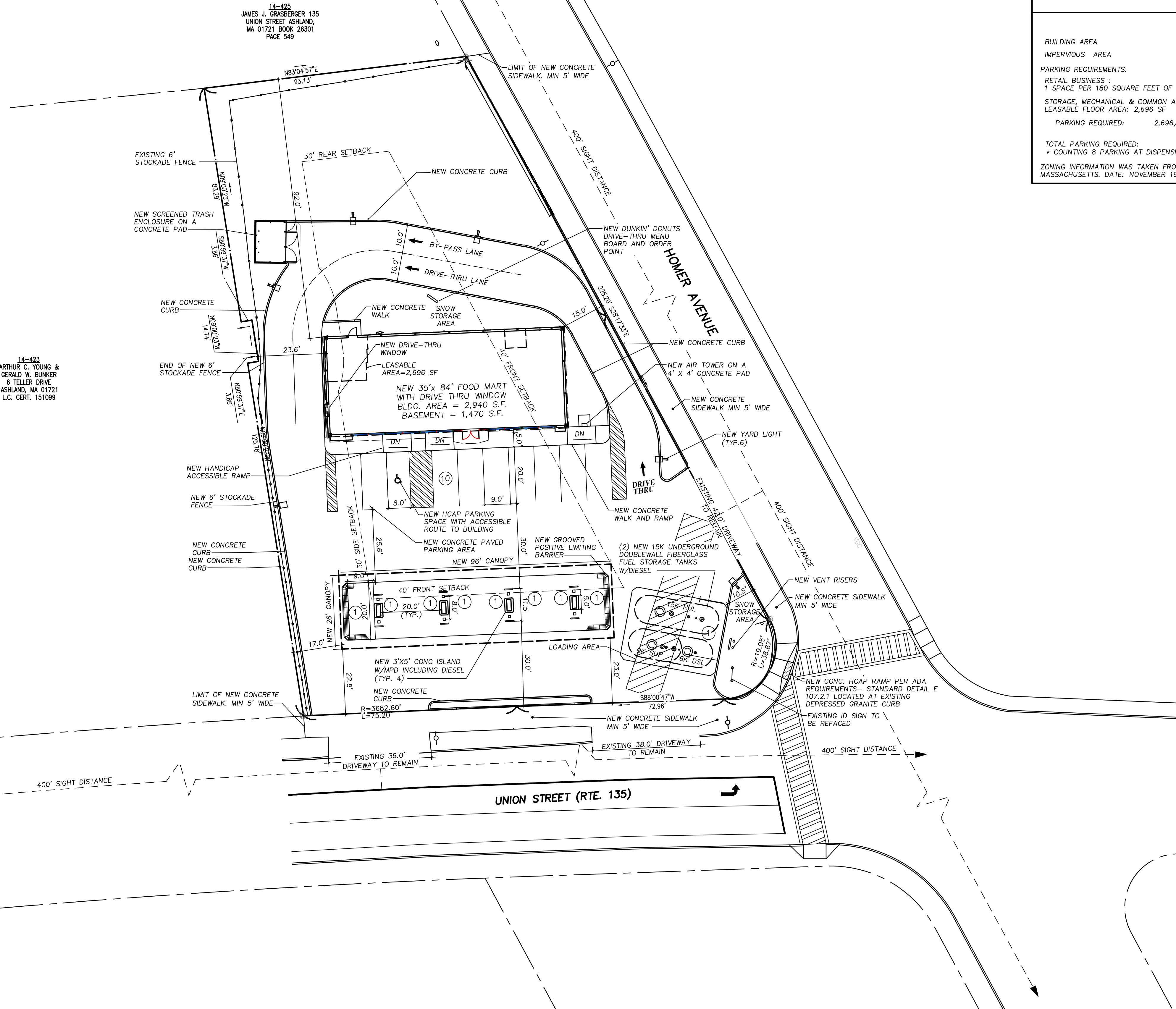
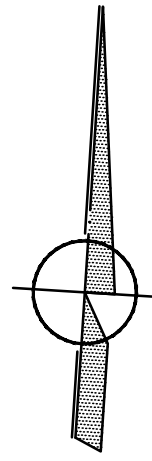


REFERENCES:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM PLAN ENTITLED:
"ALTA/ACSM LAND TITLE SURVEY", SCALE: 1"=20'
DATE: MAY 12, 2010, PREPARED BY: FIRST AMERICAN PROFESSIONAL LAND SERVICES, 621 24 TH AVENUE S.W., NORMAN, OKLAHOMA 73069

"EXISTING CONDITIONS PLAN COLBEA ENTERPRISES ASHLAND, MA"
BY HOLDEN ENGINEERING & SURVEYING, INC. DATE: APRIL 27, 2015 SCALE: 1"=20'



F:\1741 ASHLAND, MA\2014 COLBEA REBUILD\CONSTRUCTION DOCUMENTS\CIVIL\1741MP2.DWG



14-423
ARTHUR C. YOUNG &
GERALD W. BUNKER
6 TELLER DRIVE
ASHLAND, MA 01721
L.C. CERT. 151099

14-425
JAMES J. GRASBERGER 135
UNION STREET ASHLAND,
MA 01721 BOOK 26301
PAGE 549

ZONING DATA			
	REQUIRED:	EXISTING:	PROVIDED:
ZONE: INDUSTRIAL DISTRICT- 1 PHOTOVOLTAIC INSTALLATION OVERLAY DISTRICT FLOODPLAIN OVERLAY DISTRICT			
BUILDING SETBACKS:	MINIMUM FRONT YARD	40'	8.4'(CANOPY) 15.0'(BUILDING- HOMER AVE.) 22.8' (CANOPY- UNION ST.)
	MINIMUM SIDE YARD	30'	32.2'(BUILDING) 17.0' (CANOPY) 23.6' (BUILDING)
	MINIMUM REAR YARD	30'	104.9'(BUILDING) 92.0'(BUILDING)
BUILDING REQUIREMENTS:	MINIMUM LOT AREA	30,000 SF	30,645 SF
	MINIMUM LOT FRONTAGE	150'	167.5'
	MINIMUM DEPTH	-	224'
	MAXIMUM BUILDING COVERAGE	-	13.0% 17.7%

ZONING INFORMATION WAS TAKEN FROM: ZONING BY-LAW TOWN OF ASHLAND MASSACHUSETTS, DATE: NOVEMBER 19, 2013 AMENDED THROUGH MAY 7, 2015.

SITE DATA			
	REQUIRED:	EXISTING:	PROVIDED:
BUILDING AREA	N/A	2,353 SF	2,940 SF
IMPERVIOUS AREA	-	73.9%	71.5%
PARKING REQUIREMENTS:			
RETAIL BUSINESS :			
1 SPACE PER 180 SQUARE FEET OF LEASABLE FLOOR SPACE			
STORAGE, MECHANICAL & COMMON AREA: 1,714 SF			
LEASABLE FLOOR AREA: 2,696 SF			
PARKING REQUIRED: 2,696/180 = 15			
TOTAL PARKING REQUIRED:	15 SPACES	4 SPACES	*19 SPACES
* COUNTING 8 PARKING AT DISPENSING ISLANDS			

ZONING INFORMATION WAS TAKEN FROM: ZONING BY-LAWS TOWN OF ASHLAND MASSACHUSETTS, DATE: NOVEMBER 19, 2013 AMENDED THROUGH MAY 7, 2015.

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIXED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



REV.	PER.	DATE	DESCRIPTION
1	AJM	05/03/16	REVISED PER TOWN ENGINEER COMMENTS
2	AJM	06/09/16	REVISED PER TOWN ENGINEER COMMENTS

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS
ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

SEASON'S CORNER MARKET
125 UNION STREET ASHLAND, MA

PREPARED FOR
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE CRANSTON, RI

SHEET DESCRIPTION
SITE IMPROVEMENT PLAN

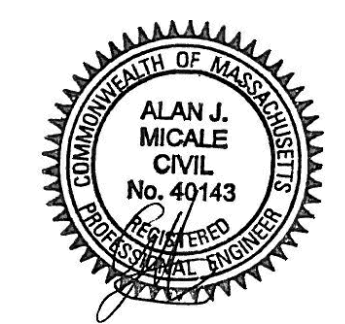
REFERENCES:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM PLAN ENTITLED:
"ALTA/ACSM LAND TITLE SURVEY", SCALE: 1"=20'
DATE: MAY 12, 2010, PREPARED BY: FIRST AMERICAN PROFESSIONAL LAND SERVICES, 621 24 TH AVENUE S.W., NORMAN, OKLAHOMA 73069

"EXISTING CONDITIONS PLAN COLBEA ENTERPRISES ASHLAND, MA" BY HOLDEN ENGINEERING & SURVEYING, INC. DATE: APRIL 27, 2015 SCALE: 1"=20'



PROJECT NO.	1741.214	SHEET NO.	C-1
SCALE:	1"=20'		
DRAWN BY:	PA		
DATE:	03/10/16		

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIRMED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

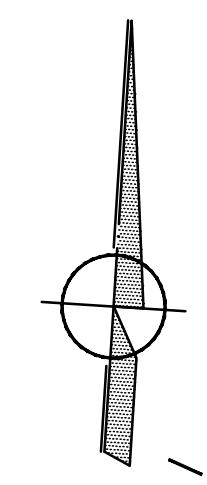


REV	PER	DATE	DESCRIPTION
1	AJM	05/03/16	REVISED PER TOWN ENGINEER COMMENTS
2	AJM	06/09/16	REVISED PER TOWN ENGINEER COMMENTS

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS
ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

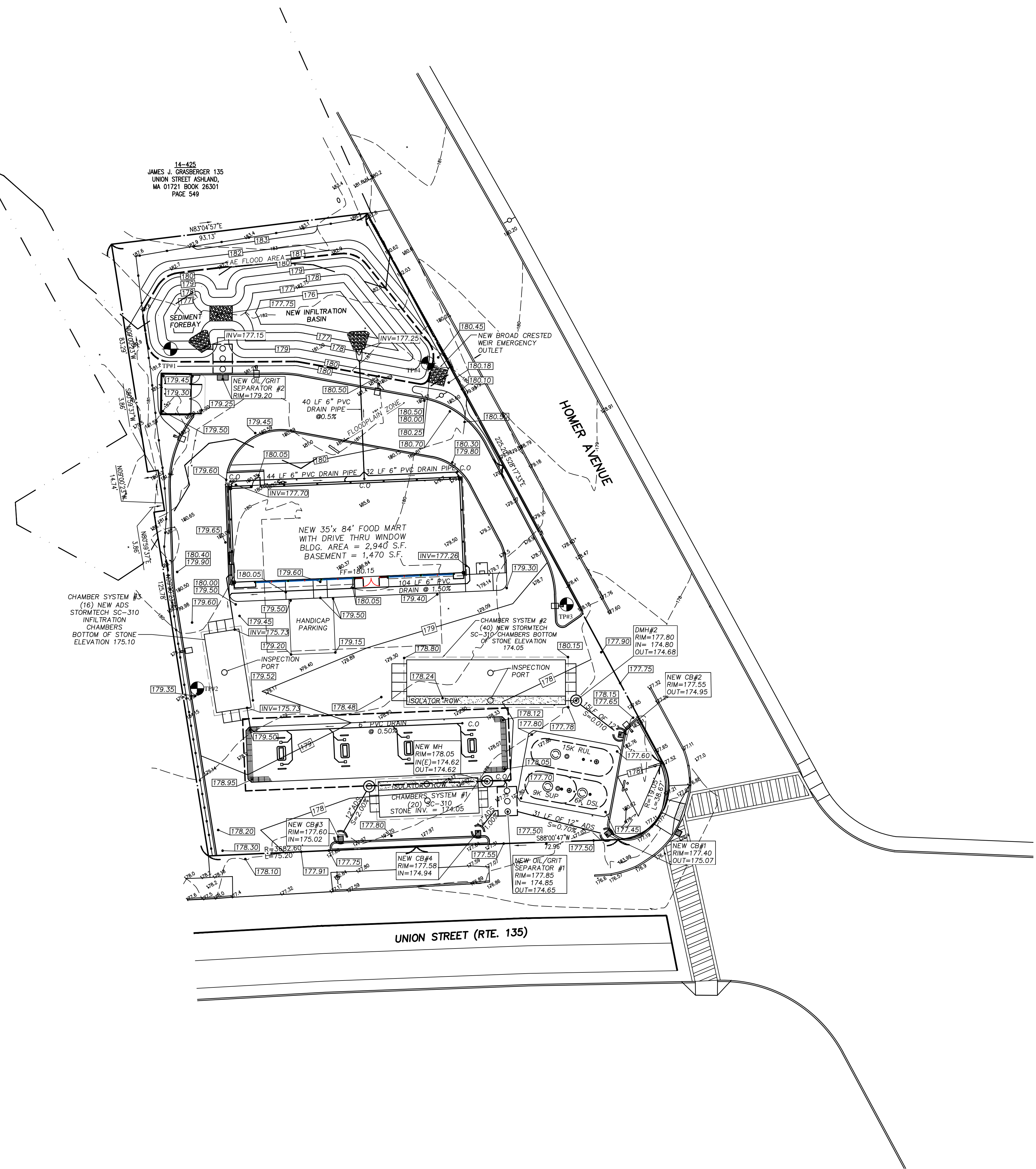
SEASON'S CORNER MARKET
125 UNION STREET ASHLAND, RI
PREPARED FOR
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE CRANSTON, RI
SHEET DESCRIPTION
SITE GRADING PLAN

PROJECT NO.	1741.214	SHEET NO.	C-2
SCALE:	1"=20'		
DRAWN BY:	PA		
DATE:	03/10/16		



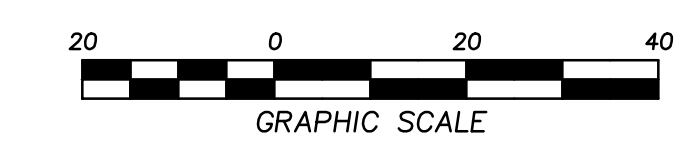
14-425
JAMES J. GRASBERGER 135
UNION STREET ASHLAND,
MA 01721 BOX 26301
PAGE 549

14-423
ARTHUR C. YOUNG &
GERALD W. BUNKER
6 TELLER DRIVE
ASHLAND, MA 01721
L.C. CERT. 151099



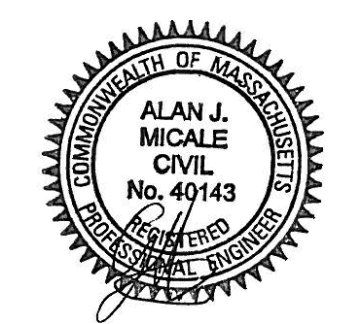
NOTES:
SEASONAL HIGH WATER TABLE AT THE LOCATION OF CHAMBER SYSTEM #1 SHALL BE CONFIRMED PRIOR TO INSTALLING THE CHAMBER SYSTEM.

REFERENCES:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM PLAN ENTITLED:
"ALTA/ACSM LAND TITLE SURVEY", SCALE: 1"=20'
DATE: MAY 12, 2010, PREPARED BY: FIRST AMERICAN PROFESSIONAL LAND SERVICES, 621 24 TH AVENUE S.W., NORMAN, OKLAHOMA 73069
"EXISTING CONDITIONS PLAN COLBEA ENTERPRISES ASHLAND, MA" BY HOLDEN ENGINEERING & SURVEYING, INC. DATE: APRIL 27, 2015 SCALE: 1"=20'



F:\1741 ASHLAND, MA\2014 COLBEA REBUILD\CONSTRUCTION DOCUMENTS\CIVIL\1741MP2.DWG

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIRMED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



GENERAL NOTES:

UTILITY NOTES:

1. NEW WATERLINE TO BE 1 1/2" INCH TYPE K COPPER SERVICE. COORDINATE INSTALLATION TO EXISTING MAIN WITH LOCAL WATER DEPARTMENT. IF NEW SERVICE IS REQUIRED WATER SERVICE SHALL BE INSTALLED PER LOCAL WATER DEPT.
2. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING SANITARY SEWER WITHIN MANHOLE AND CONNECT NEW SEWER TO EXISTING MANHOLE USING APPROVED METHODS.
3. CONTRACTOR SHALL SAWCUT AND REPAVE AS REQUIRED PER PLAN TO FACILITATE UTILITY INSTALLATION AND CONSTRUCTION OF NEW CURBS.
4. INSTALLATION OF GAS SERVICE AND METER SHALL BE APPROVED BY AND COORDINATED WITH TOWN AND LOCAL GAS COMPANY.
5. INSTALLATION OF NEW ELECTRIC/CABLE/TELEPHONE SERVICES SHALL BE APPROVED BY AND COORDINATED WITH TOWN AND LOCAL UTILITY COMPANIES.

GENERAL CONSTRUCTION NOTES:

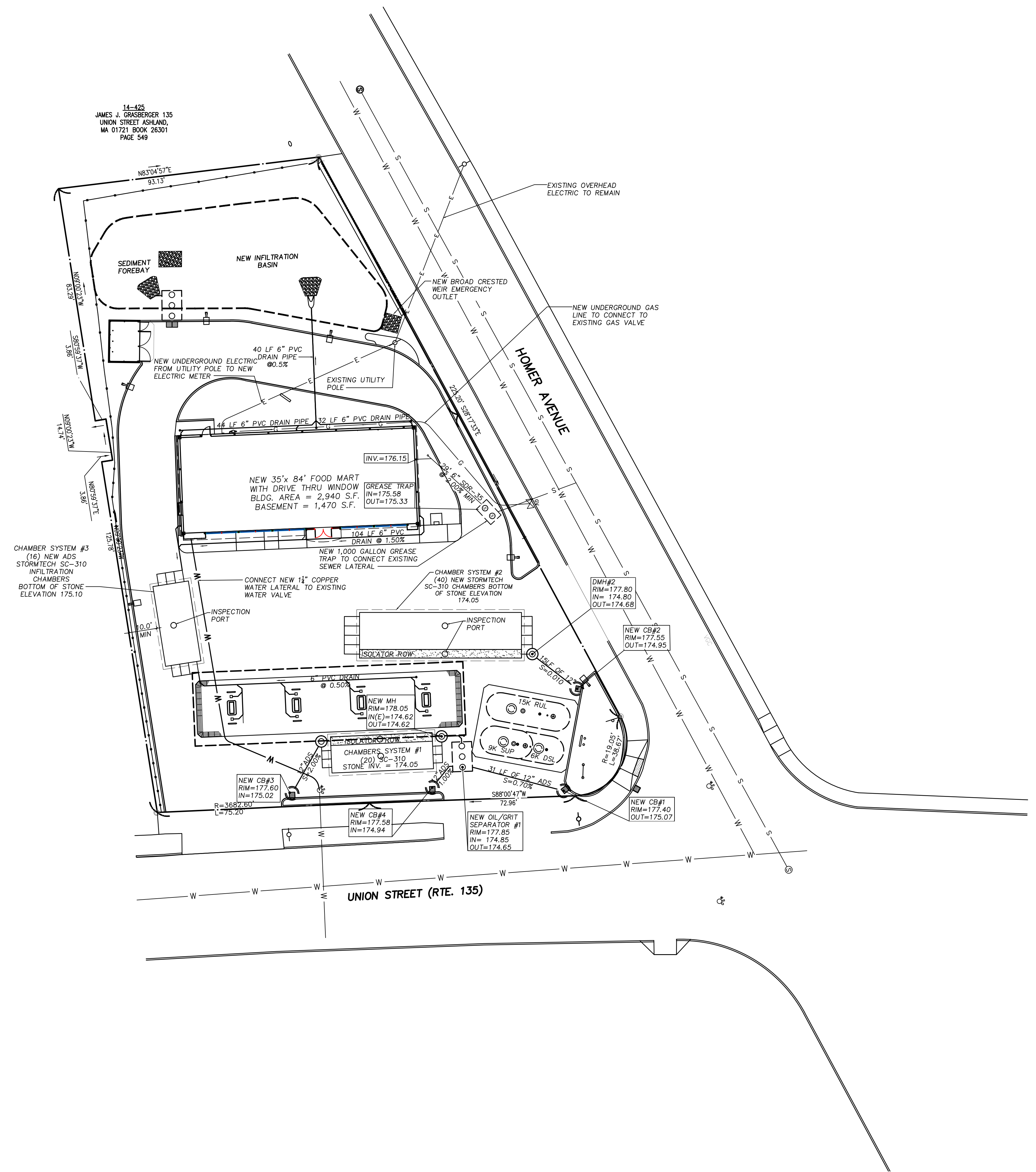
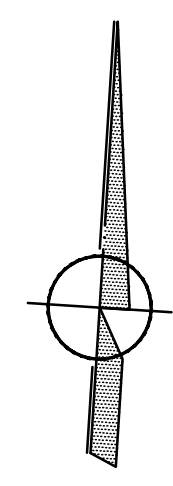
1. THE MATERIALS AND CONSTRUCTION OF ALL PROPOSED UTILITIES SHALL CONFORM TO THE TOWN D.P.W. STANDARDS AND SPECIFICATIONS AND ALL APPLICABLE D.P.W. STANDARDS AND SPECIFICATIONS, LATEST EDITION.
2. THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROX. AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. UNDERGROUND UTILITIES SHOWN ARE FROM FIELD OBSERVATION AND THE BEST AVAILABLE RECORD INFORMATION AND ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND PIPES OR STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES RELATIVE TO THE LOCATION AND ELEVATION OF ALL EXISTING LINES.
3. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 1-800-922-4455, 72 HOURS PRIOR TO ANY EXCAVATION AND/OR SUBSURFACE TESTING TO INFORM THE UTILITY COMPANIES OF ANY EXCAVATION.

REV	PER	DATE	DESCRIPTION
1	AJM	05/03/16	REVISED PER TOWN ENGINEER COMMENTS
2	AJM	06/09/16	REVISED PER TOWN ENGINEER COMMENTS

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS
ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

SEASON'S CORNER MARKET
125 UNION STREET ASHLAND, MA
PREPARED FOR
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE CRANSTON, RI
SHEET DESCRIPTION
SITE UTILITY PLAN

PROJECT NO.	1741.214	SHEET NO.	C-3
SCALE:	1"=20'		
DRAWN BY:	PA		
DATE:	03/10/16		



REFERENCES:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM PLAN ENTITLED:
"ALTA/ACSM LAND TITLE SURVEY", SCALE: 1"=20'
DATE: MAY 12, 2010, PREPARED BY: FIRST AMERICAN PROFESSIONAL LAND SERVICES, 621 24 TH AVENUE S.W., NORMAN, OKLAHOMA 73069
"EXISTING CONDITIONS PLAN COLBEA ENTERPRISES ASHLAND, MA" BY HOLDEN ENGINEERING & SURVEYING, INC. DATE: APRIL 27, 2015 SCALE: 1"=20'



F:\1741 ASHLAND, MA\2014 COLBEA REBUILD\CONSTRUCTION DOCUMENTS\CIVIL\1741MP2.DWG

14-423
ARTHUR C. YOUNG &
GERALD W. BUNKER
6 TELLER DRIVE
ASHLAND, MA 01721
L.C. CERT. 151099

14-425
JAMES J. GRASBERGER 135
UNION STREET ASHLAND,
MA 01721 BOOK 26301
PAGE 549

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIRMED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



Richard C. Ayoub

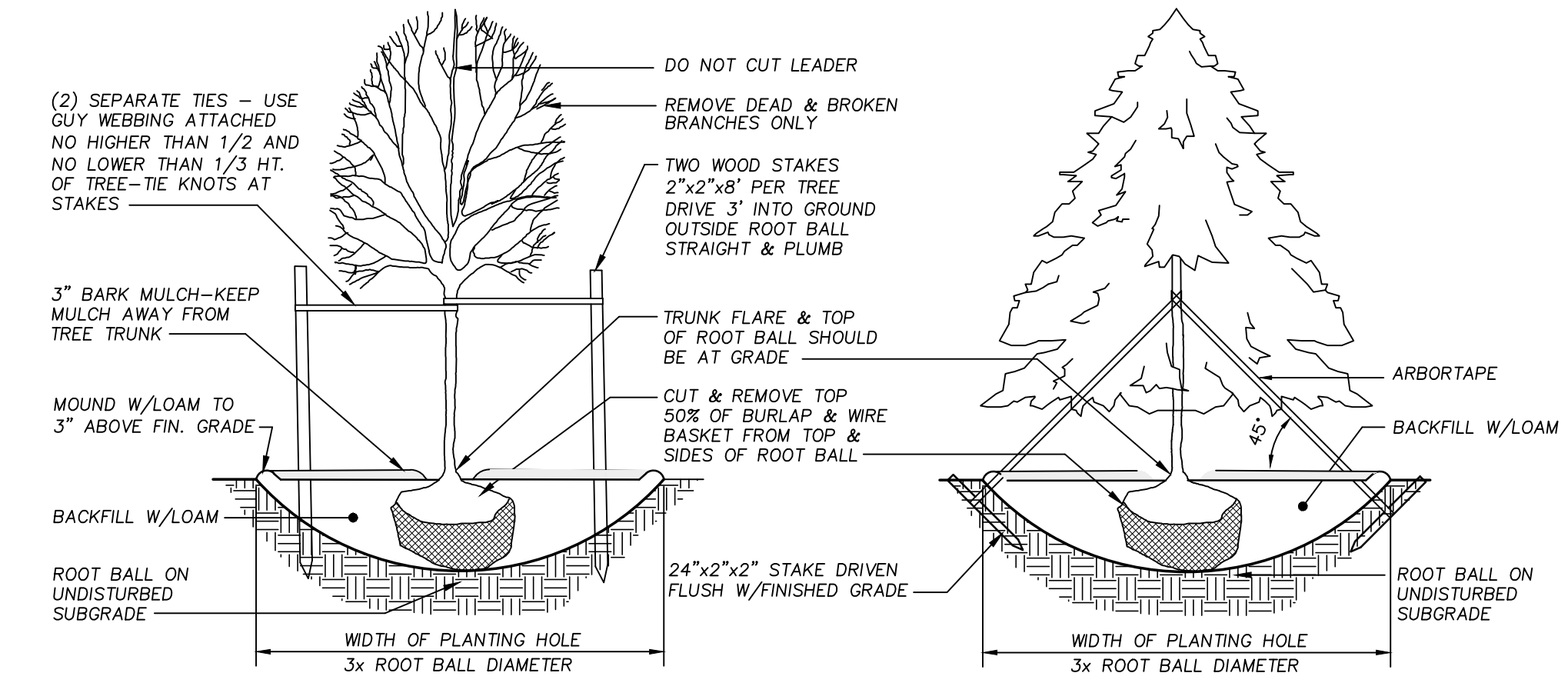
KEY	BOTANICAL NAME	COMMON NAME	QUAN.	SIZE	ROOT
PMM	PINUS MUGO MUGO	DWARF MUGO PINE	11	2'-2 1/2' HT.	2 GAL.
TC	TAXUS CUSPIDATA DENSIFORMIS	DENSE YEW	21	2'-2 1/2' HT.	B + B
PJM	RHODODENDRON PJM	PJM	9	2'-2 1/2' HT.	2 GAL.
RC	RHODODENDRON CUNNINGHAM WHITE	RHODODENDRON	4	2'-2 1/2' HT.	2 GAL.
IC	ILEX CRENATA 'COMPACTA'	COMPACT JAPANESE HOLLY	10	2'-2 1/2' HT.	2 GAL.
AZD	AZALEA DELAWARE VALLEY WHITE	AZALEA	10	2'-2 1/2' HT.	2 GAL.
AZ	AZALEA HINOCRIMSON	AZALEA	19	1 1/2'-2' HT.	1 GAL.
VD	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3	3'-4' HT.	B + B
PF	PIERIS FLORIBUNDA	MOUNTAIN ANDROMEDA	5	2'-2 1/2' HT.	2 GAL.
TP	THUJA (STANDISHII x PUCATA) 'GREEN GIANT'	GREEN GIANT ARBORVITAE	4	5'-6' HT.	B + B
JC	JUNIPERUS CHINENSIS PFITZERIANA COMPACTA	COMPACT PFITZER GREEN JUNIPER	14	1 1/2'-2' HT.	2 GAL.
HM	HEMEROCALLIS SP. 'HAPPY RETURNS'	DAYLILY	30	1'-1 1/2' HT.	BULBS
AR	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	3	3"-3 1/2" CAL.	B + B
SA	SEDUM TELEPHIUM 'AUTUMN JOY'	STONECROP	6	12"	1 GAL.

GENERAL LANDSCAPE NOTES:

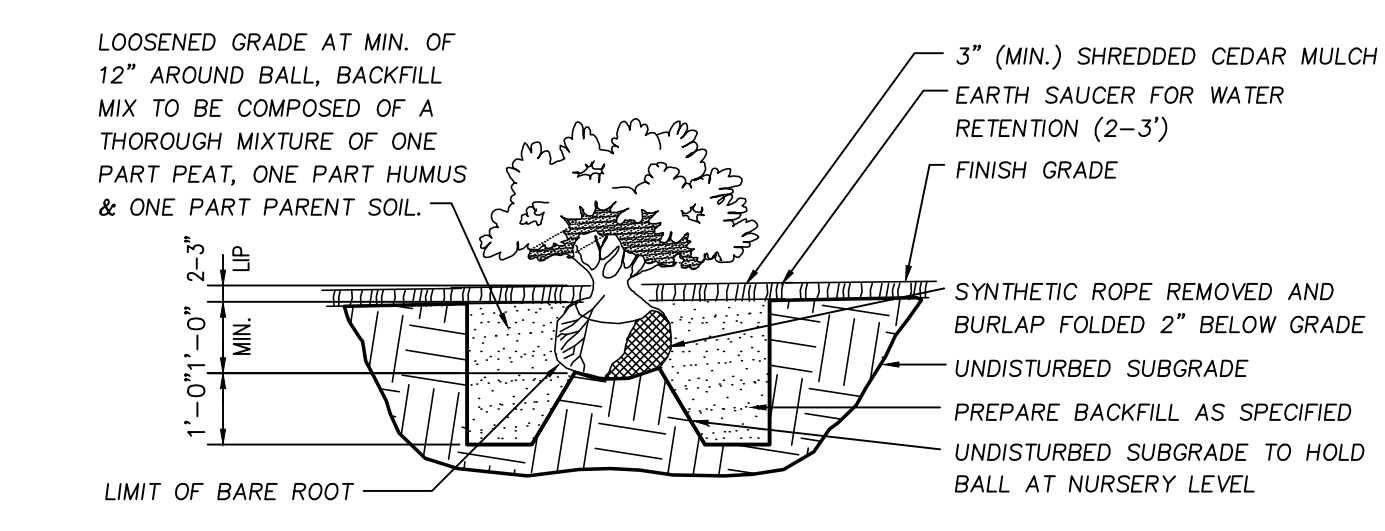
- ALL PLANT MATERIALS ARE TO BE FIRST QUALITY NURSERY STOCK, FREE FROM DISEASE OR OBJECTIONABLE DISFIGUREMENTS, AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE.
- ALL NEW TREES ARE TO BE STAKED WITH TWO 8 FT. HARDWOOD STAKES, GUYED PER DETAIL.
- AREAS SHOWN MULCHED ARE TO BE MULCHED WITH A MINIMUM 3 INCH DEPTH OF SHREDDED HARDWOOD BARK.
- ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR TWO (2) YEARS TO BE IN HEALTHY AND VIGOROUS CONDITION. IT IS UNDERSTOOD THAT THE OWNER WILL PROVIDE ADEQUATE AND TIMELY CARE DURING THE GUARANTEE PERIOD.
- ALL PLANTING PITS ARE TO RECEIVE 3 AGRIFORM TABS (3-YEAR FERTILIZER) AT TIME OF PLANTING.
- PLANTS ARRANGED IN CONTINUOUS GROUPING ARE TO BE SET IN MULCHED BEDS. MULCH WILL BE A MIN. 3 INCH DEPTH OF SHREDDED HARDWOOD BARK.
- ANY TREES OR SHRUBS DISTURBED FOR NEW WORK ARE TO BE PROTECTED AND OR REPLACED.
- ALL EXISTING TREES AND SHRUBS INDICATED ON DRAWING ARE TO REMAIN UNLESS NOTED.

BASIN SEED MIX 1 LB./1,000 S.F.

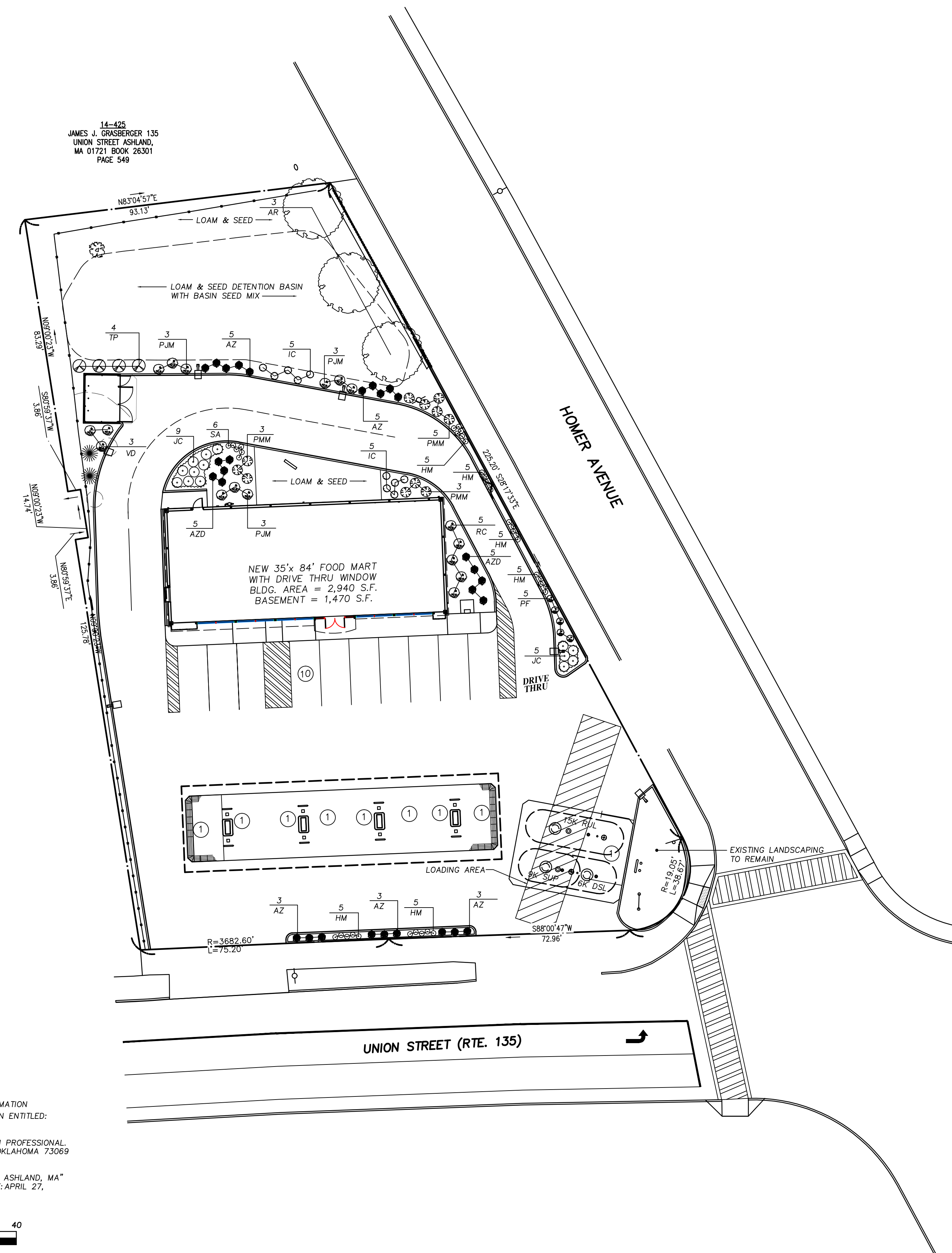
BOTANICAL NAME	COMMON NAME
FESTUCA ARUNDINACEA	TALL FESCUE
FESTUCA RUBRA	CREeping RED FESCUE
AGROSTIS PALUSTRIS	CREeping BENTGRASS
BUCHLOE DACTYLOIDES	BUFFALO GRASS
CYNODON DACTYLON	BERMUDA GRASS
AGROSTIS ALBA	REDTOP
POA PRATENSIS	KENTUCKY BLUEGRASS



TREE PLANTING DETAILS



SHRUB PLANTING DETAIL



14-425
JAMES J. GRASSBERGER 135
UNION STREET ASHLAND,
MA 01721 BOOK 26301
PAGE 549

14-423
ARTHUR C. YOUNG &
GERALD W. BUNKER
6 TELLER DRIVE
ASHLAND, MA 01721
L.C. CERT. 151099

REFERENCES:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM PLAN ENTITLED:
"ALTA/ACSM LAND TITLE SURVEY", SCALE: 1"=20'
DATE: MAY 12, 2010, PREPARED BY: FIRST AMERICAN PROFESSIONAL LAND SERVICES, 621 24 TH AVENUE S.W., NORMAN, OKLAHOMA 73069

"EXISTING CONDITIONS PLAN COLBEA ENTERPRISES ASHLAND, MA" BY HOLDEN ENGINEERING & SURVEYING, INC. DATE: APRIL 27, 2015 SCALE: 1"=20'



REV.	PER.	DATE	DESCRIPTION
1	AJM	06/09/16	REVISED PER TOWN ENGINEER COMMENTS

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS

ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

SEASON'S CORNER MARKET
125 UNION STREET ASHLAND, MA

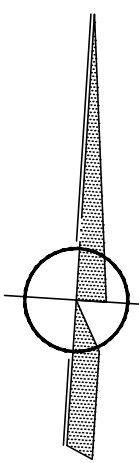
PREPARED FOR
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE, CRANSTON, RI

SHEET DESCRIPTION
SITE LANDSCAPE PLAN

PROJECT NO.	1741.214	SHEET NO.	L-1
SCALE:	AS NOTED		
DRAWN BY:	RCD		
DATE:	03/10/16		

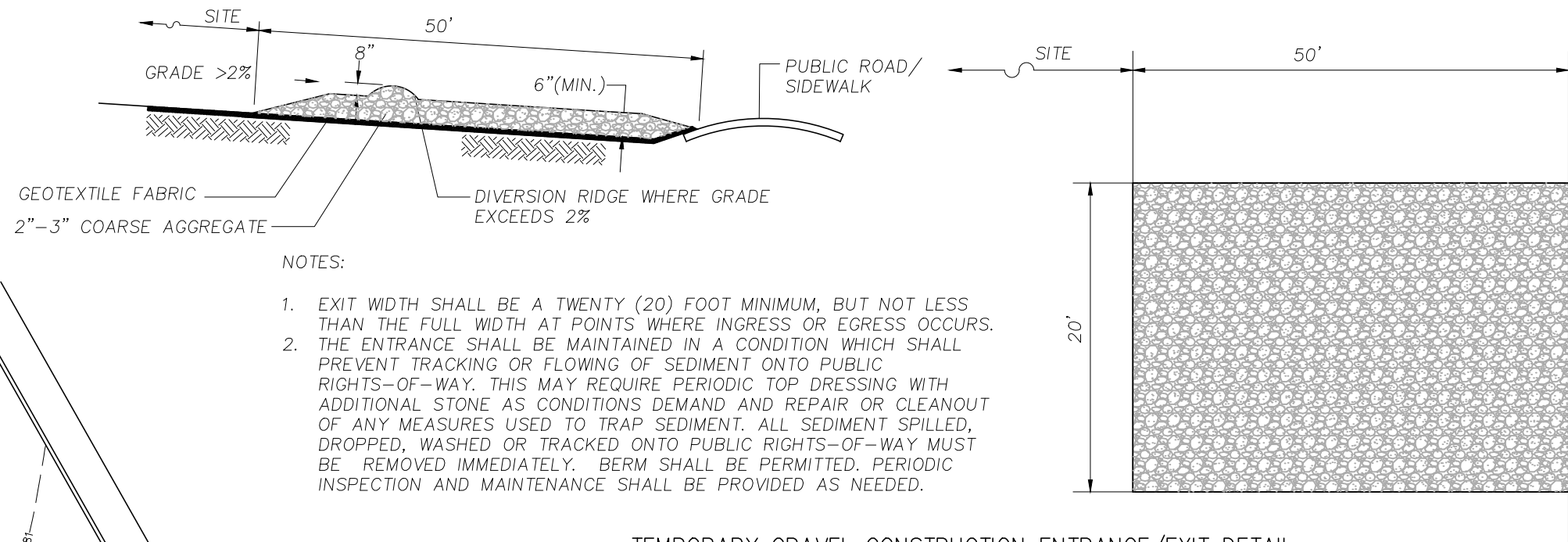
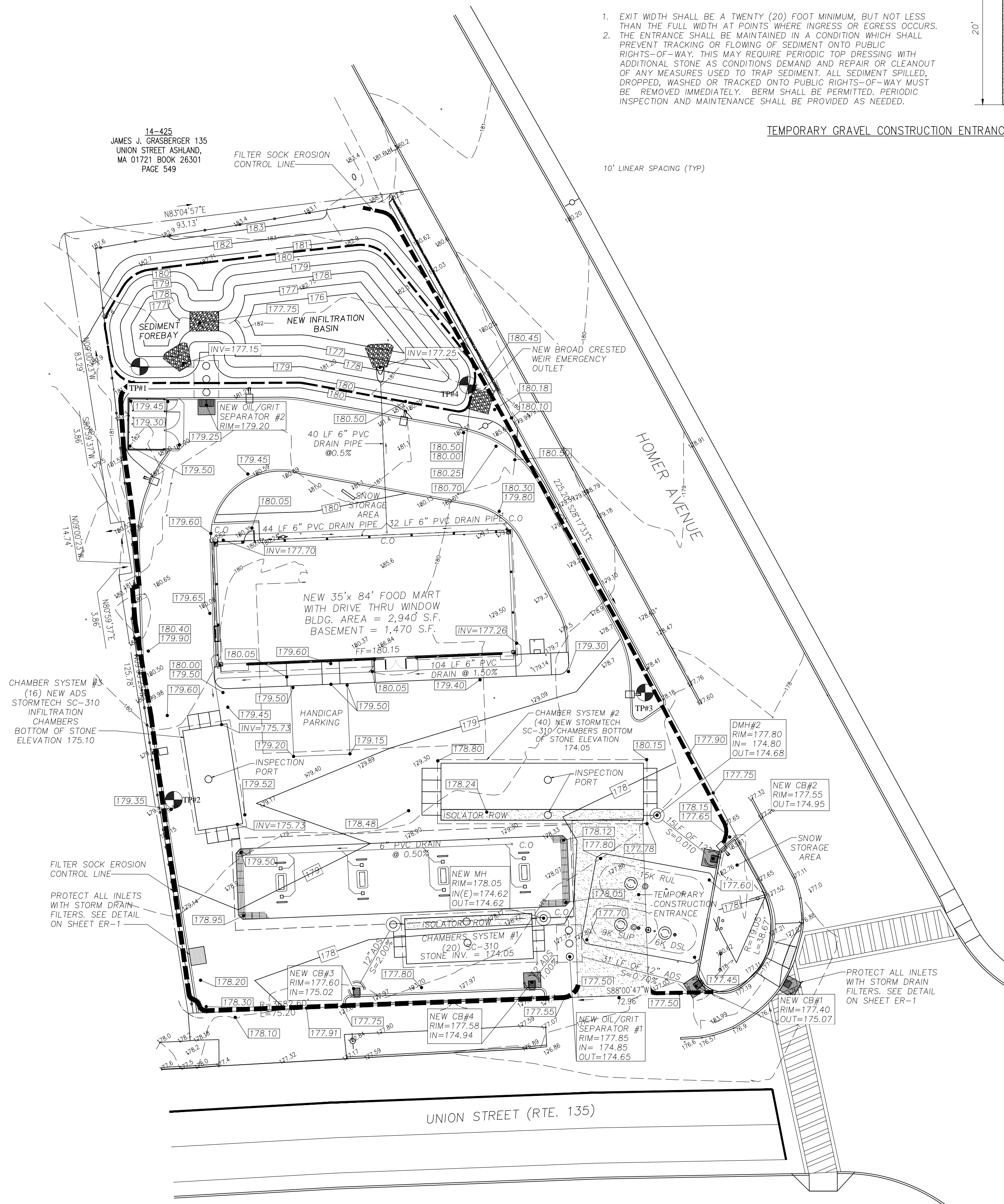
F:\1741 ASHLAND, MA\2014 COLBEA REBUILD\CONSTRUCTION DOCUMENTS\CIVIL\1741MP2.DWG

F:\1741 ASHLAND, MA 2014 COLBEA REBUILD\CONSTRUCTION DOCUMENTS\CIVIL\1741 MP2.DWG



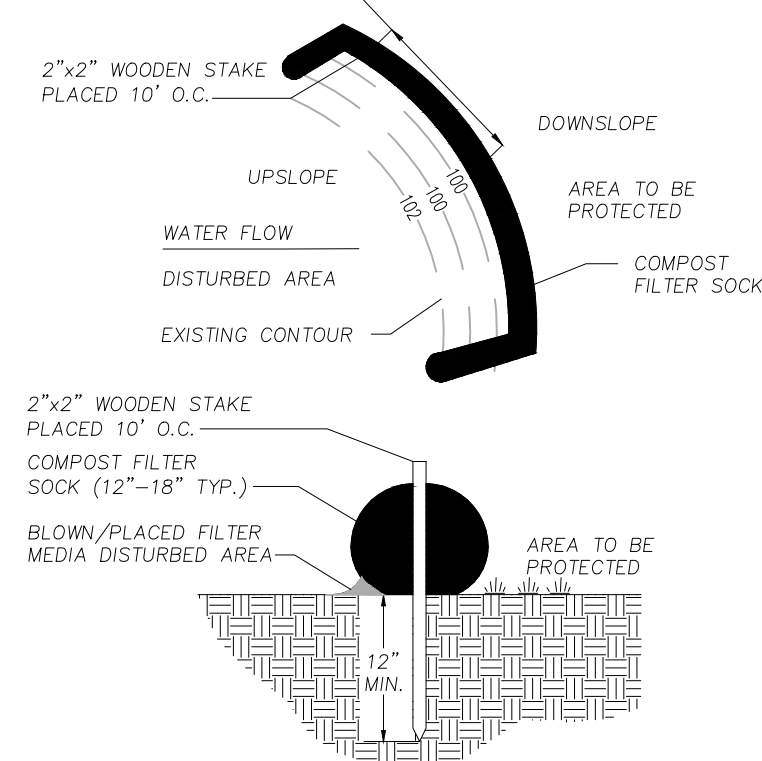
14-423
ARTHUR C. YOUNG &
GERALD W. BUNKER
6 TELLER DRIVE
ASHLAND, MA 01721
L.C. CERT. 151099

14-425
JAMES J. GRASBERGER 135
UNION STREET ASHLAND,
MA 01721 BOOK 26301
PAGE 549



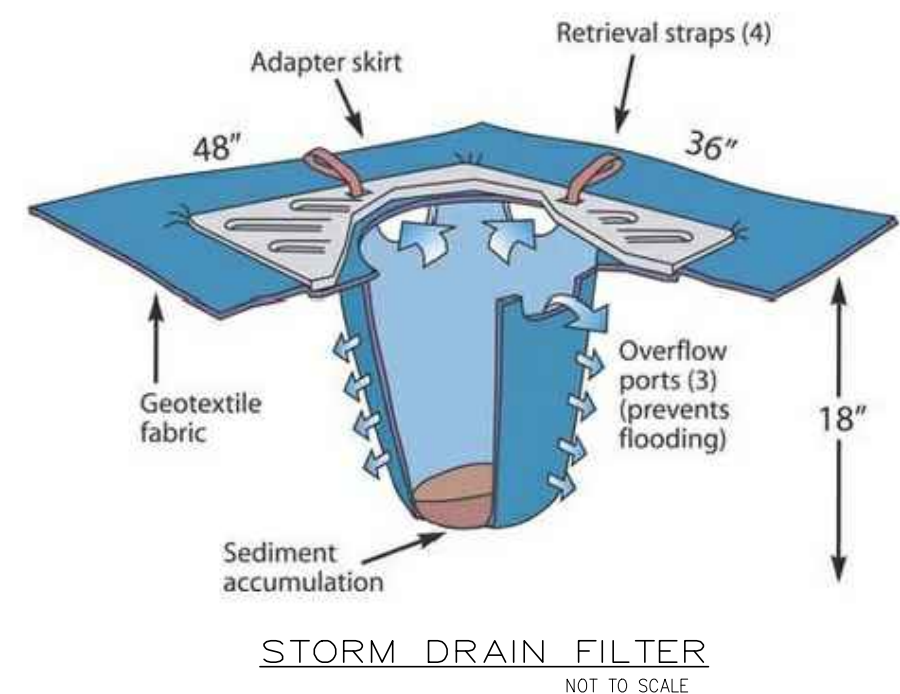
- NOTES:
- EXIT WIDTH SHALL BE A TWENTY (20) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT DETAIL



- NOTES:
- ALL MATERIAL TO MEET EPA COMPOSITE FILTER SOCK SPECIFICATION.
 - SILT SOCK COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 - SILT SOCKS DEPICTED ARE FOR USE ON MINIMAL SLOPES. GREATER SLOPES MAY REQUIRE LARGER SILT SOCKS PER ENGINEER.
 - COMPOSITE MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

COMPOST FILTER SOCK DETAIL



STORM DRAIN FILTER

EROSION CONTROL & SOIL STABILIZATION PROGRAM

- TEMPORARY STABILIZATION**
- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME.
 - ALL DISTURBED SLOPES, SHALL BE SEEDED AND PROTECTED.
 - THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH THE LOCAL & STATE D.O.T STANDARDS.
 - THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
 - THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING PERMANENT SEEDING MIXTURES:

MIXTURE	POUNDS PER 1000 S.F.
RED FESCUE	1.75
COLONIAL BENTGRASS, 'EXETER'	.11
PERENNIAL RYEGRASS	.11
BIROFOOT TREFOIL, 'EMPIRE'	.35

RECOMMENDED PLANTING DATES: 5/1-6/15 & 8/15-9/30

- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVER SUCH AS MAT OR FIBER LINING (BURDAS, ETC. FIBERGLASS NETTING, EXHAUSTOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3 TONS/ACRE MAXIMUM.
- ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN A PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
- ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
- STOOPLES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS, SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND SHALL ALSO BE SEEDED AND/OR STABILIZED.
- ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHALL BE GIVEN TO "CRIMPING" BY USE OF A MULCH ANCHORING TOOL TO PUNCH MULCH DOWN INTO THE SOIL OR "TACKING" WITH A LIQUID TACKIFIER SUCH AS EMULSIFIED ASPHALT TO TACK DOWN MULCH APPLICATIONS AS REQUIRED FOR STABILITY.
- THE DRAINAGE SYSTEM SHALL RECEIVE ONE FINAL CLEANING PRIOR TO ACCEPTANCE OF THE OVERALL PROJECT BY THE OWNER. SEDIMENTS SHALL BE DISPOSED OF IN A PROPER MANNER.

ORDER OF PROCEDURE

- IMMEDIATELY UPON COMPLETION OF THE CLEARING OPERATION AND PRIOR TO ANY ROUGH GRADING, TEMPORARY HAY BALES AND SILT FENCES SHALL BE PLACED OUTSIDE THE LIMITS OF CONSTRUCTION PER PLANS.
- ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROL.
- IF WORK PROGRESS IS SUSPENDED FOR 30 DAYS, IMPLEMENT TEMPORARY CONTROLS.
- TEMPORARY HAY BALES AND SILT FENCES ALONG AND AT THE ENDS OF ROADWAYS MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
- INLET PROTECTIONS MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.
- ESTIMATED TIME OF CONSTRUCTION, 6 MONTHS.

POST CONSTRUCTION PHASE

- ONCE CONSTRUCTION IS COMPLETE, POST DEVELOPMENT STORM WATER CONTROLS ARE TO BE OPERATED AND MAINTAINED IN COMPLIANCE WITH THE FOLLOWING PERMANENT MAINTENANCE PROCEDURES:
- CATCH BASINS SHALL BE INSPECTED AND CLEANED ON A QUARTERLY BASIS OR AFTER LARGE RAINFALL EVENT.
 - ALL CATCH BASINS SHALL BE TREATED WITH MOSQUITO LARVICIDE AS REQUIRED TO PREVENT THE FORMATION OF MOSQUITO BREEDING GROUNDS.
 - IN CASE OF OIL SPILL, CLEAN UP SHALL BE PERFORMED IMMEDIATELY.
 - ALL PAVED AREAS ON-SITE ARE TO BE SWEEPED ONCE A MONTH DURING THE LATE SPRING, SUMMER AND EARLY FALL SEASONS AT A MINIMUM OR AS REQUIRED TO PREVENT SEDIMENT ACCUMULATION.
 - ALL LANDSCAPED AREAS ARE TO BE MAINTAINED. IN GRASSED AREAS BARE SOIL SHOULD BE RESEED WITH GRASS. ALL SOIL AROUND THE PLANTS SHOULD BE MULCHED WITH A MINIMUM OF 4".
 - THE COORDINATION OF PARKING LOT SWEEPING WILL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR.
 - SEDIMENT ACCUMULATION FROM THE PARKING LOT SWEEPING SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND WILL BE RESPONSIBILITY OF THE OWNER/OPERATOR.
 - SNOW SHALL BE STORED AS NOTED ON PLANS, AND SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF, IF REQUIRED, AFTER LARGE SNOWSTORM EVENTS.
 - THE OWNER/OPERATOR WILL BE THE RESPONSIBLE PARTY FOR POST CONSTRUCTION STORMWATER SYSTEM OPERATION AND MAINTENANCE. THE OWNER/OPERATOR IS REQUIRED TO MAINTAIN A RECORD KEEPING LOG OF ALL REQUIRED AND PROPOSED MAINTENANCE.

EROSION/SEDIMENT CONTROL BARRIER NOTES

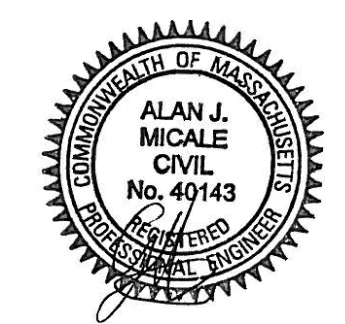
- BALES SHOULD BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE BARRIER.
- ALL BALES SHOULD BE EITHER WIRE-BOUND OR STRING-TIED. BALES SHOULD BE INSTALLED SO THAT BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES TO PREVENT DETERIORATION OF THE BINDINGS.
- THE BARRIER SHOULD BE ENTRENCHED AND BACKFILLED. A TRENCH SHOULD BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STAKED AND CHINKED, THE EXCAVATED SOIL SHOULD CONFORM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHOULD BE BUILT UP TO 4 INCHES AGAINST THE UPHILL SIDE OF THE BALES. EACH BALE SHOULD BE SECURELY ANCHORED BY AT LEAST TWO 1"x3"x36" STAKES DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHOULD BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER. STAKES SHOULD BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES.

REFERENCES:

PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM PLAN ENTITLED:
 "ALTA/ACSM LAND TITLE SURVEY", SCALE: 1"=20'
 DATE: MAY 12, 2010, PREPARED BY FIRST AMERICAN PROFESSIONAL LAND SERVICES, 621 24 TH AVENUE, S.W., NORMAN, OKLAHOMA 73069
 "EXISTING CONDITIONS PLAN COLBEA ENTERPRISES ASHLAND, MA" BY HOLDEN ENGINEERING & SURVEYING, INC. DATE: APRIL 27, 2015 SCALE: 1"=20'



AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DESIGNED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIRED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



REV	PER	DATE	DESCRIPTION
1	AJM	05/03/16	REVISED PER TOWN ENGINEER COMMENTS
2	AJM	06/09/16	REVISED PER TOWN ENGINEER COMMENTS

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS

ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

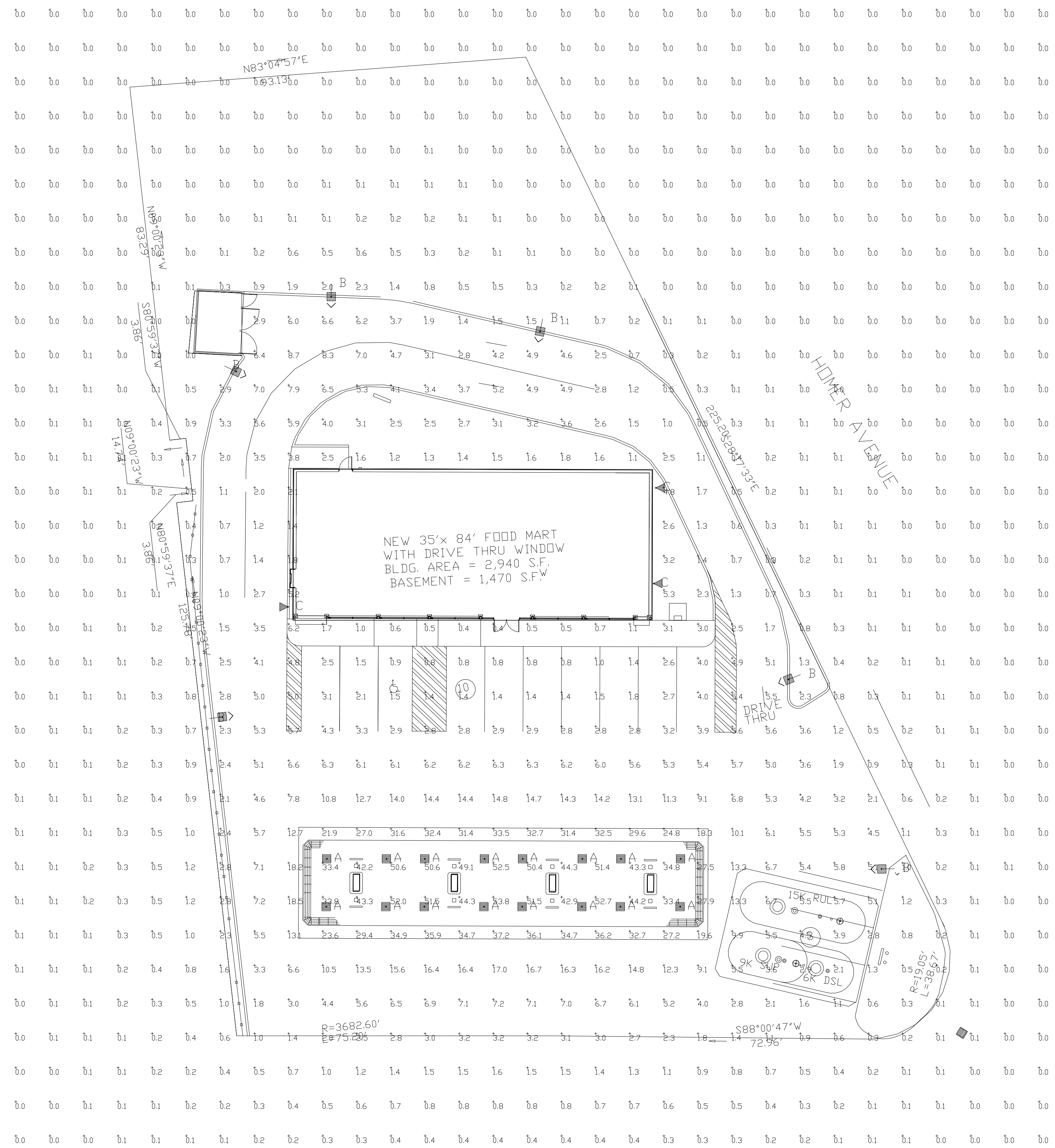
SEASON'S CORNER MARKET
125 UNION STREET ASHLAND, RI

PREPARED FOR
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE CRANSTON, RI

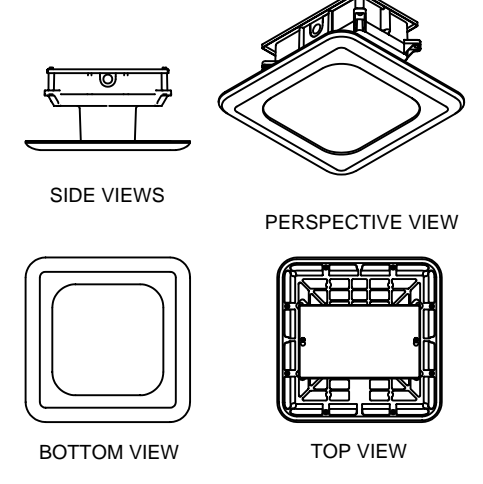
SHEET DESCRIPTION
SOIL EROSION AND SEDIMENT CONTROL PLAN

PROJECT NO. 1741.214
SCALE: 1"=20'
DRAWN BY: PA
DATE: 03/10/16

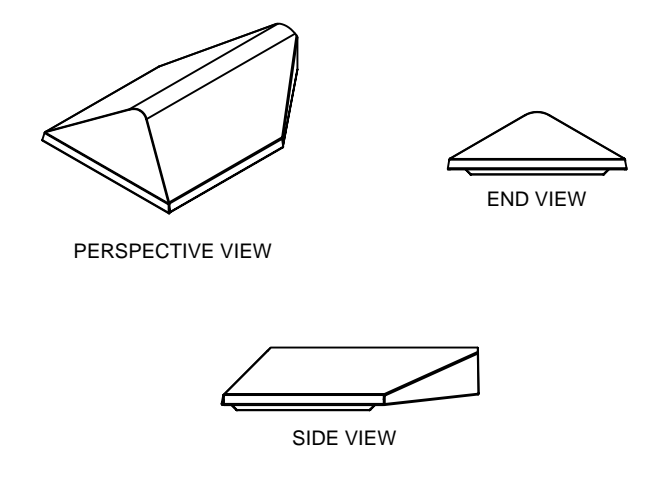
SHEET NO.
ER-1



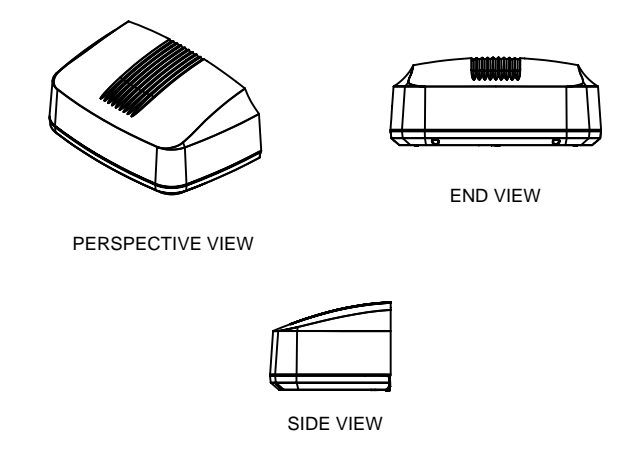
**CRUS-SC-LED
LED CANOPY LIGHT - LEGACY**



**XASU
LED Area Light**



**PWM
LED Wall Mount Light**



Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	16	A	SINGLE	CRUS-SC-LED-LW-CW-UE - 15' MH	1.000	N.A.	10871	87.9
	6	B	SINGLE	XASU-FT-LED-64-HD-CW-HSS-SINGLE ON 14' POLE + 2' BASE	1.000	N.A.	6001	88
	3	C	SINGLE	PWM-S-LED-LW-CW-UE - 10' MH	1.000	N.A.	1440	15.1

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
ALL CALC POINTS	Illuminance	Fc	3.17	53.8	0.0	N.A.	N.A.	
CANOPY	Illuminance	Fc	37.31	53.8	18.3	2.04	2.94	
INSIDE CURB	Illuminance	Fc	5.09	18.5	0.6	8.48	30.83	

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

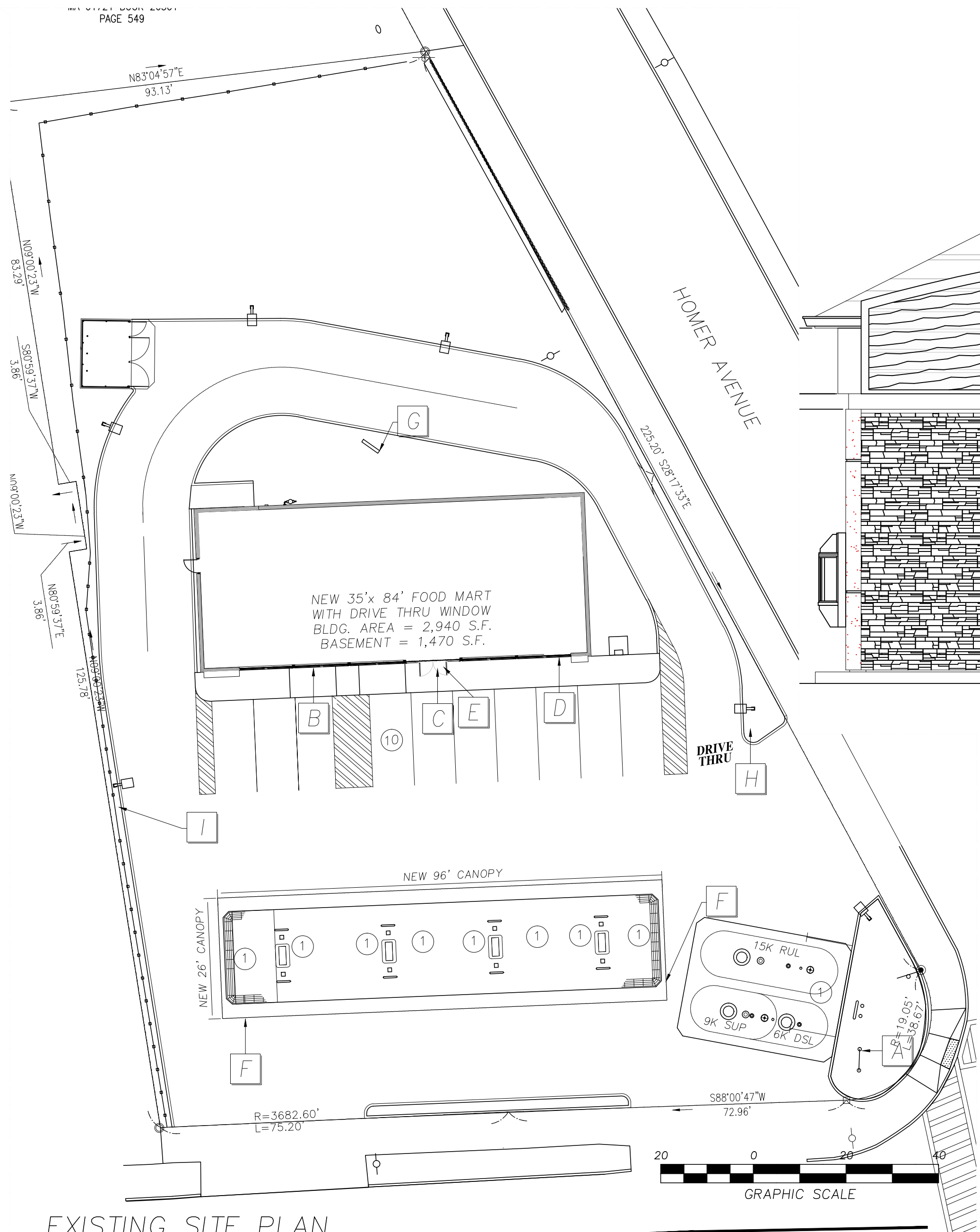
This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Watts
Total Watts = 1979.7

FOOD MART
123 UNION STREET
ASHLAND, MA

DATE: 02-15 REVISION: 3/16 SHEET 1 OF 1

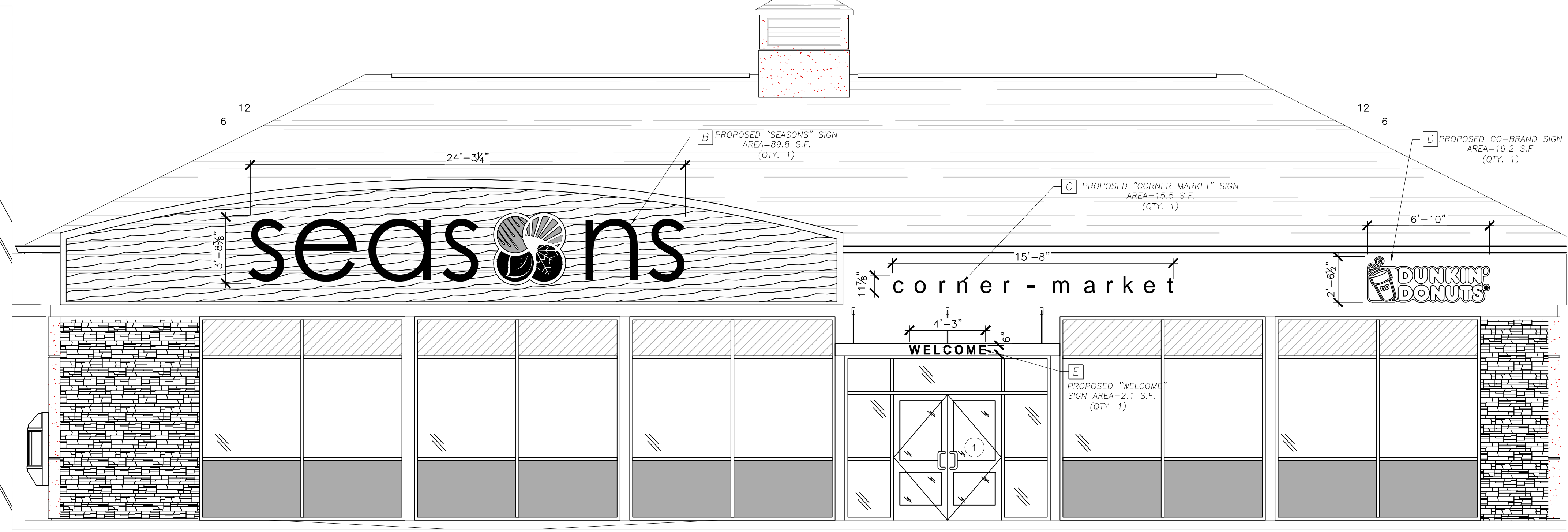
SCALE: 1"=16'



EXISTING SITE PLAN

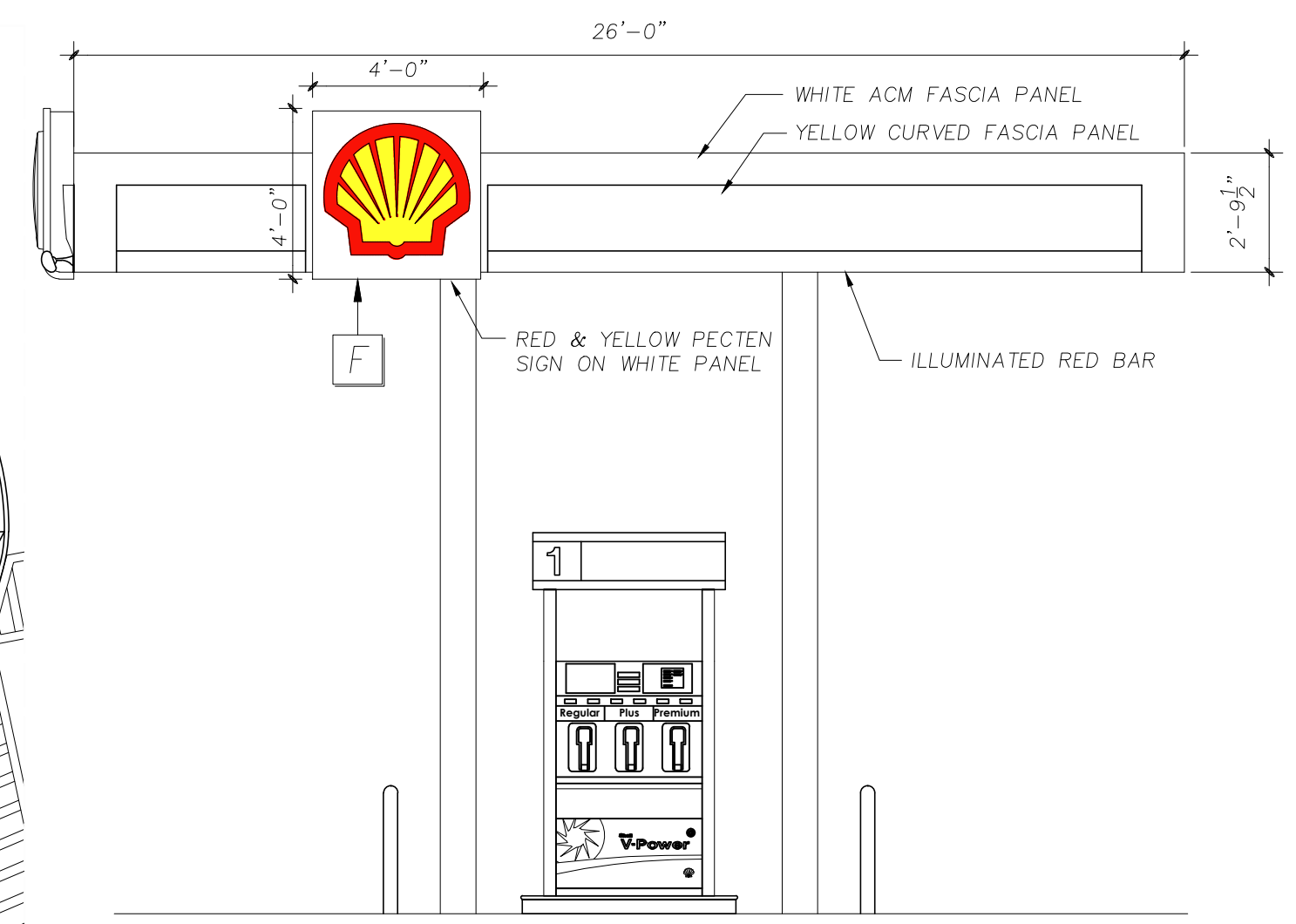
REFERENCES:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM PLAN ENTITLED: "ALTA/ACSM LAND TITLE SURVEY", SCALE: 1"=20' DATE: MAY 12, 2010, PREPARED BY: FIRST AMERICAN PROFESSIONAL, NORMAN, OKLAHOMA 73069 LAND SERVICES, 621 24 TH AVENUE S.W.

SCALE: 1"=20'



PROPOSED BUILDING FRONT ELEVATION

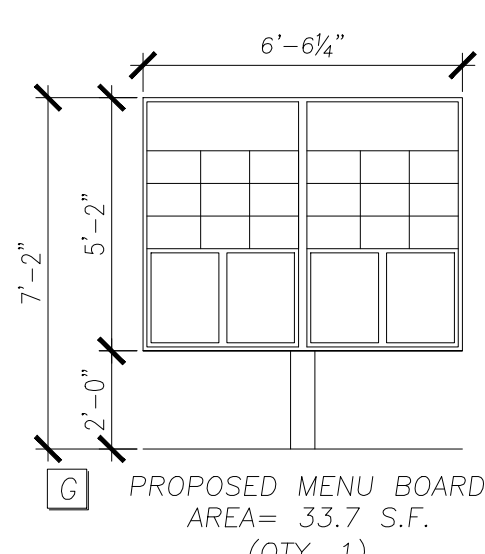
SCALE: 1/4"=1'-0"



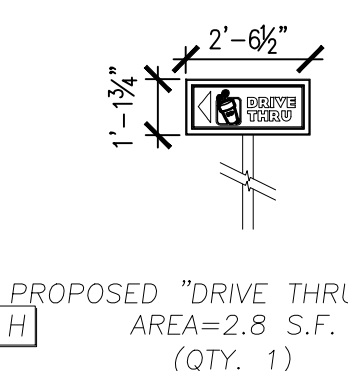
PROPOSED EAST CANOPY ELEVATION

SCALE: 1/4"=1'-0"

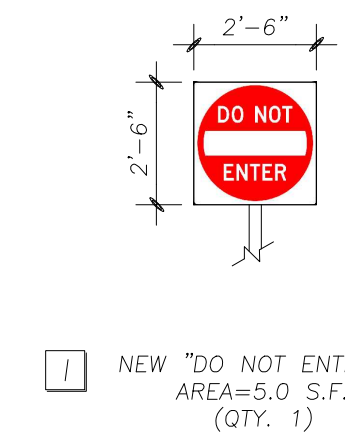
PROPOSED SIGN SCHEDULE								
MARK	DESCRIPTION	SIZE	AREA (SF)	QUAN.	SIZE (SF)	ILLUMINATION TYPE	REMARKS	TYPE
WALL/FREESTANDING SIGNS								
A	I.D. SIGN	12'-7 7/8" X 4'-0 3/8"	51.0	1	51.0	INT	REFACED	GROUND
B	"SEASONS" SIGN	24'-3 1/4" X 3'-0 3/8"	89.8	1	89.8	INT	NEW	WALL
C	"CORNER MARKET" SIGN	15'-8" X 0'-1 1/8"	15.5	1	15.5	INT	NEW	WALL
D	DUNKIN DONUTS SIGN	6'-10" X 2'-6 1/2"	17.4	1	17.4	INT	NEW	WALL
E	WELCOME	4'-3" X 0'-6"	2.1	1	2.1	EXT	NEW	WALL
F	PECTEN SIGN	4'-0" X 4'-0"	16.0	2	32.0	INT	NEW	WALL
G	MENU BOARD SIGN	6'-6 1/2" X 5'-2"	33.7	1	33.7	INT	NEW	GROUND
H	DRIVE-THRU SIGN	2'-6 1/2" X 1'-1 1/2"	2.8	1	2.8	INT	NEW	DIRECTIONAL
I	"DO NOT ENTER" SIGN	2'-6" X 2'-6"	6.3	1	6.3	INT	NEW	DIRECTIONAL
TOTAL PROPOSED SIGNAGE:					250.6 S.F.			



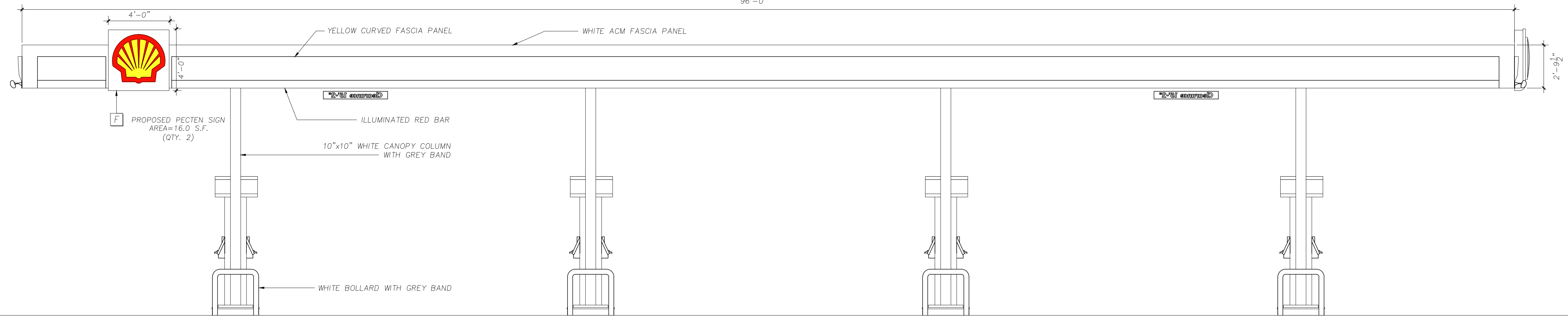
PROPOSED MENU BOARD
AREA= 33.7 S.F.
(QTY. 1)



PROPOSED "DRIVE THRU" SIGN
AREA=2.8 S.F.
(QTY. 1)

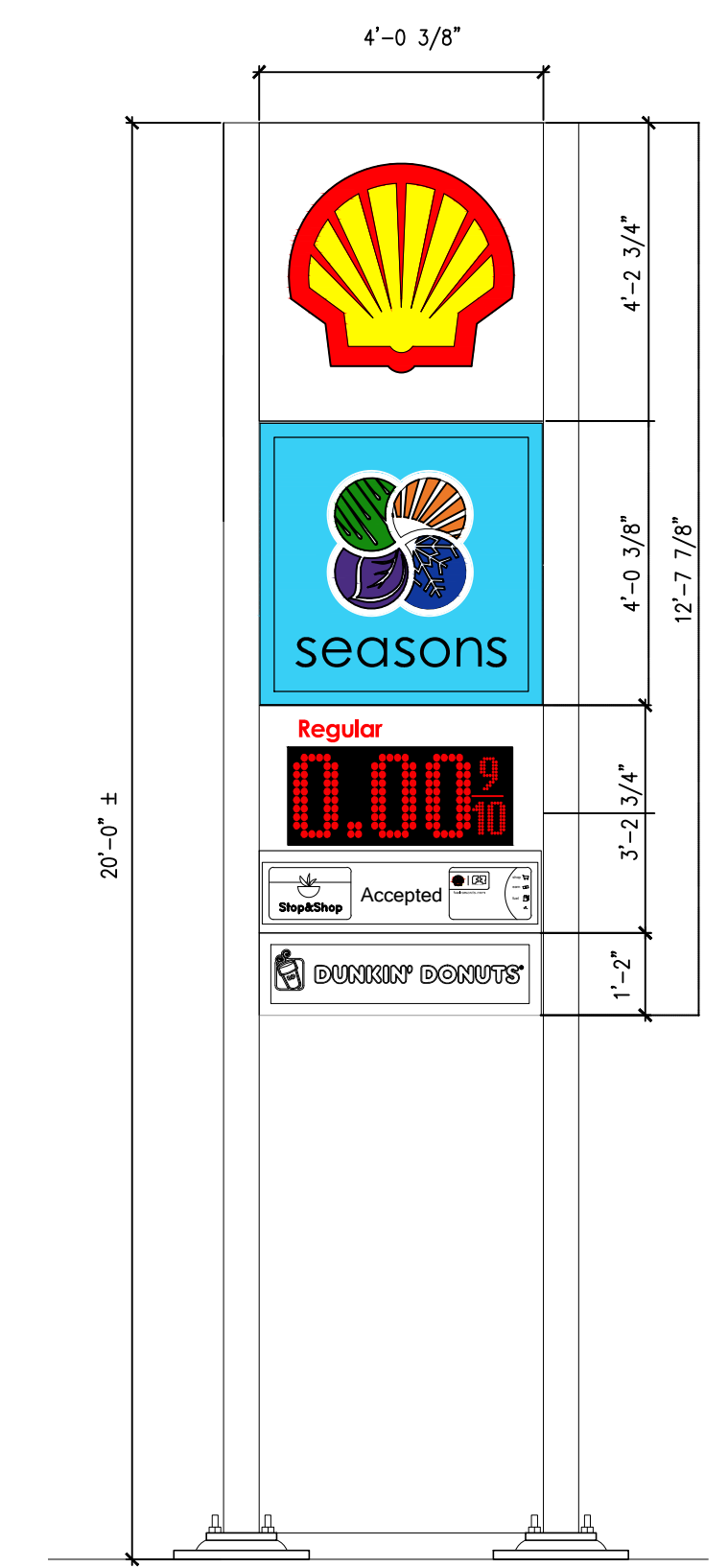


NEW "DO NOT ENTER" SIGN
AREA=5.0 S.F.
(QTY. 1)



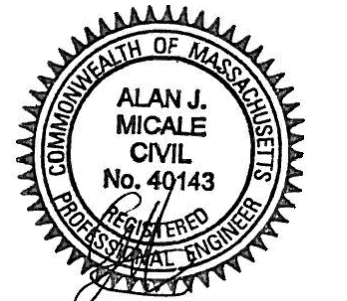
PROPOSED SOUTH CANOPY ELEVATION

SCALE: 1/4"=1'-0"



A REFACED I.D. SIGN
AREA=51.0 S.F.
(QTY. 1)

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DERIVED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIRED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL, OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



REV.	PER.	DATE	DESCRIPTION	BY	PA
1	AM	05/03/16	REVISED PER TOWN ENGINEER COMMENTS		

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS
ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

PREPARED FOR
SEASON'S CORNER MARKET
125 UNION STREET ASHLAND, MA

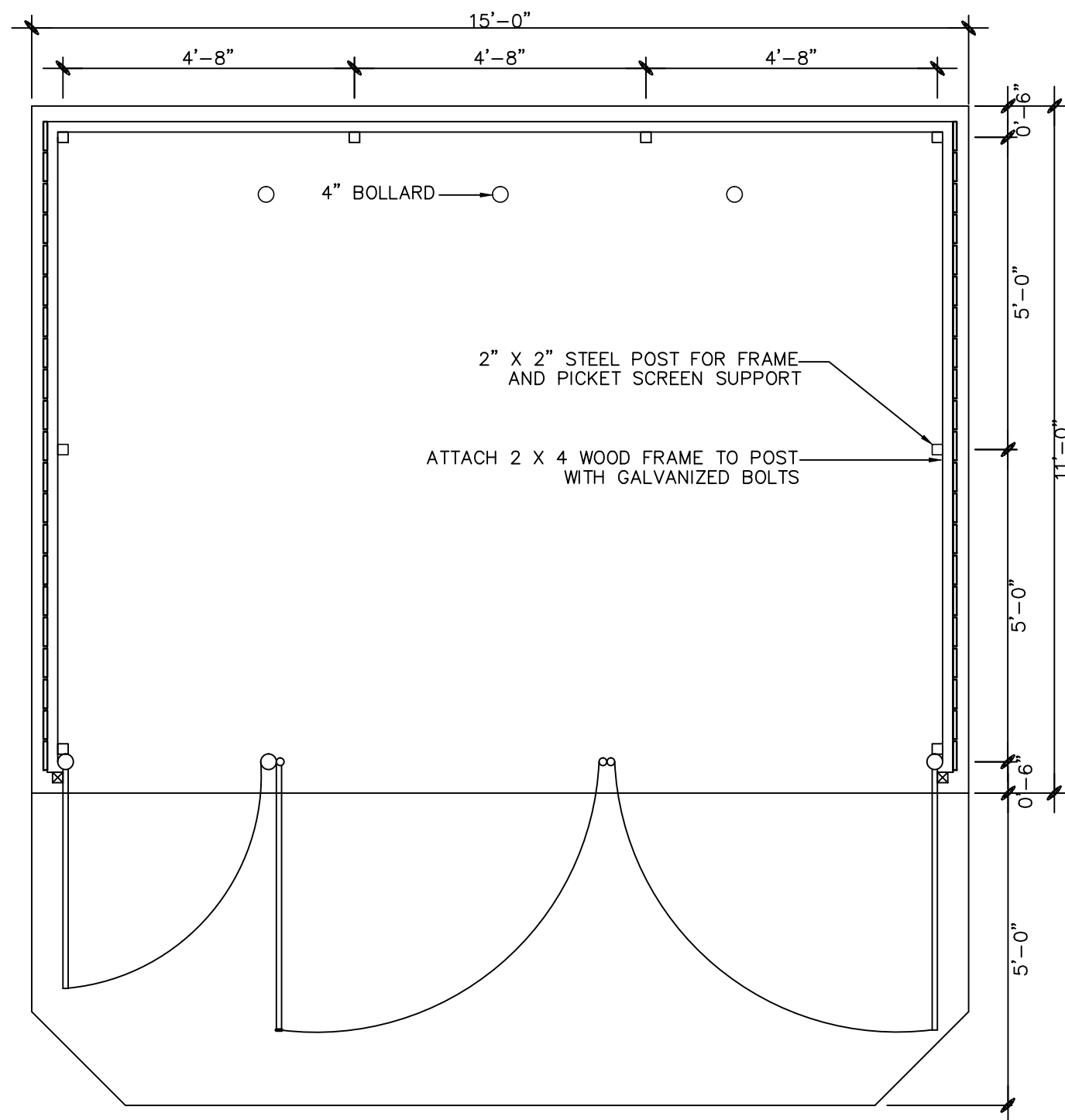
PROJECT ADDRESS
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE CRANSTON, RI

SHEET DESCRIPTION
PROPOSED SIGNAGE PLAN

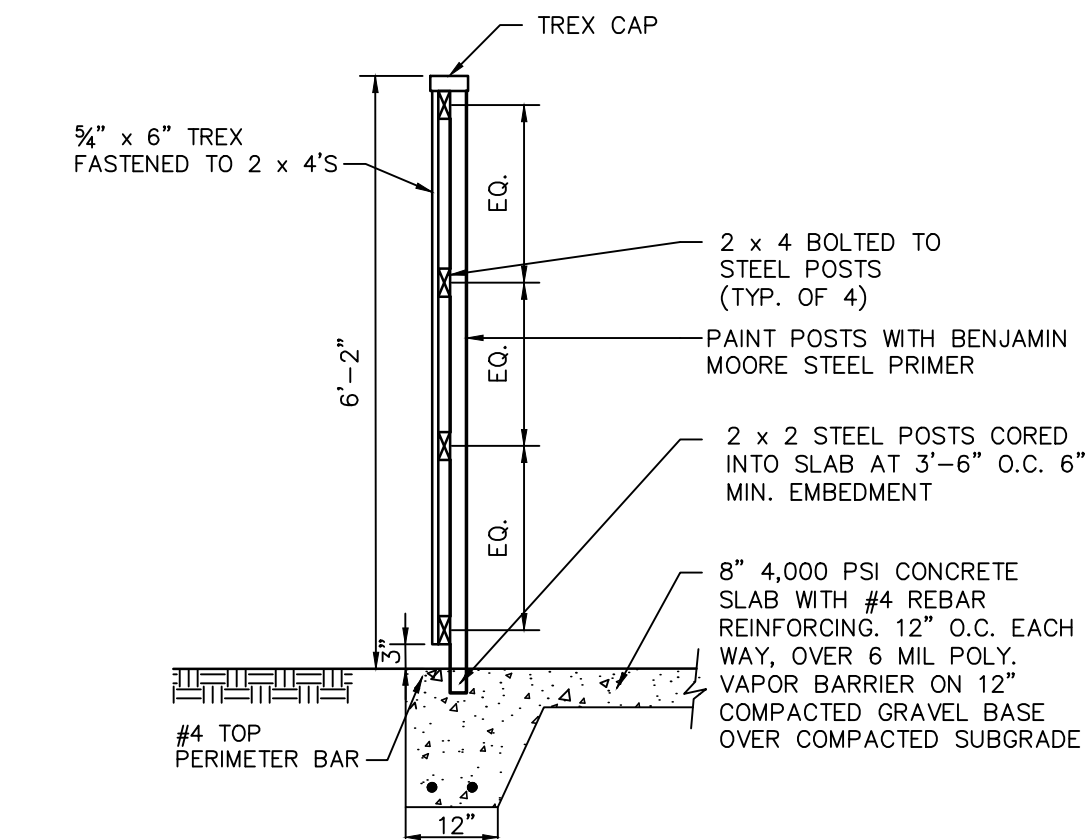
PROJECT NO.	1741.214	SHEET NO.	
SCALE:	AS NOTED		
DRAWN BY:	MA		
DATE:	03/10/16		

SG-2

NOT FOR CONSTRUCTION

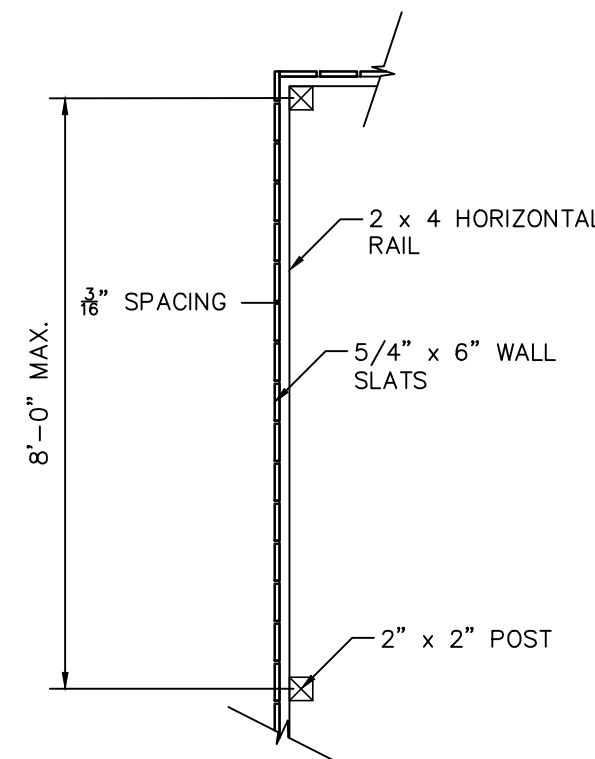


TYPICAL TRASH ENCLOSURE
NOT TO SCALE

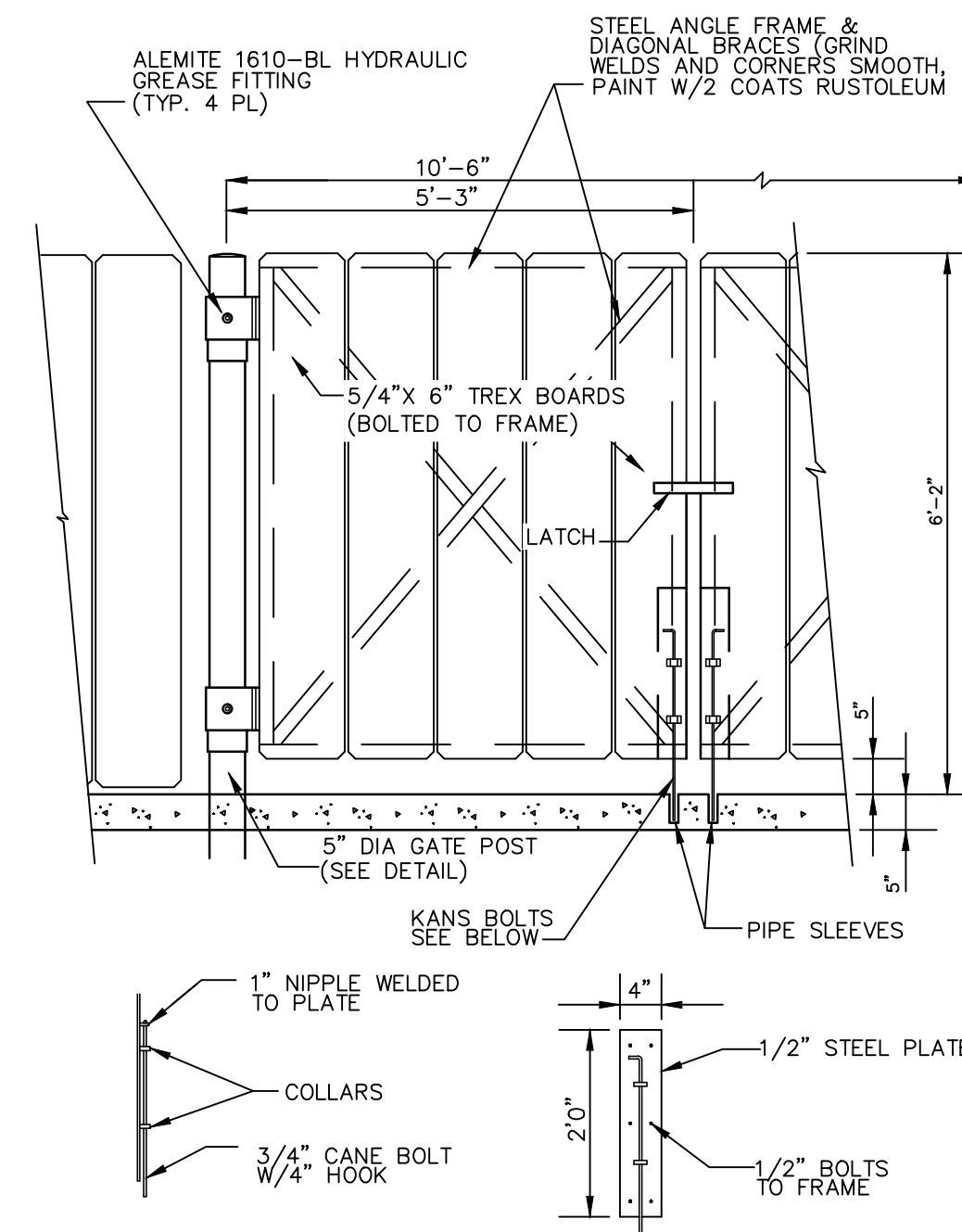


TRASH ENCLOSURE WALL SECTION
Not To Scale

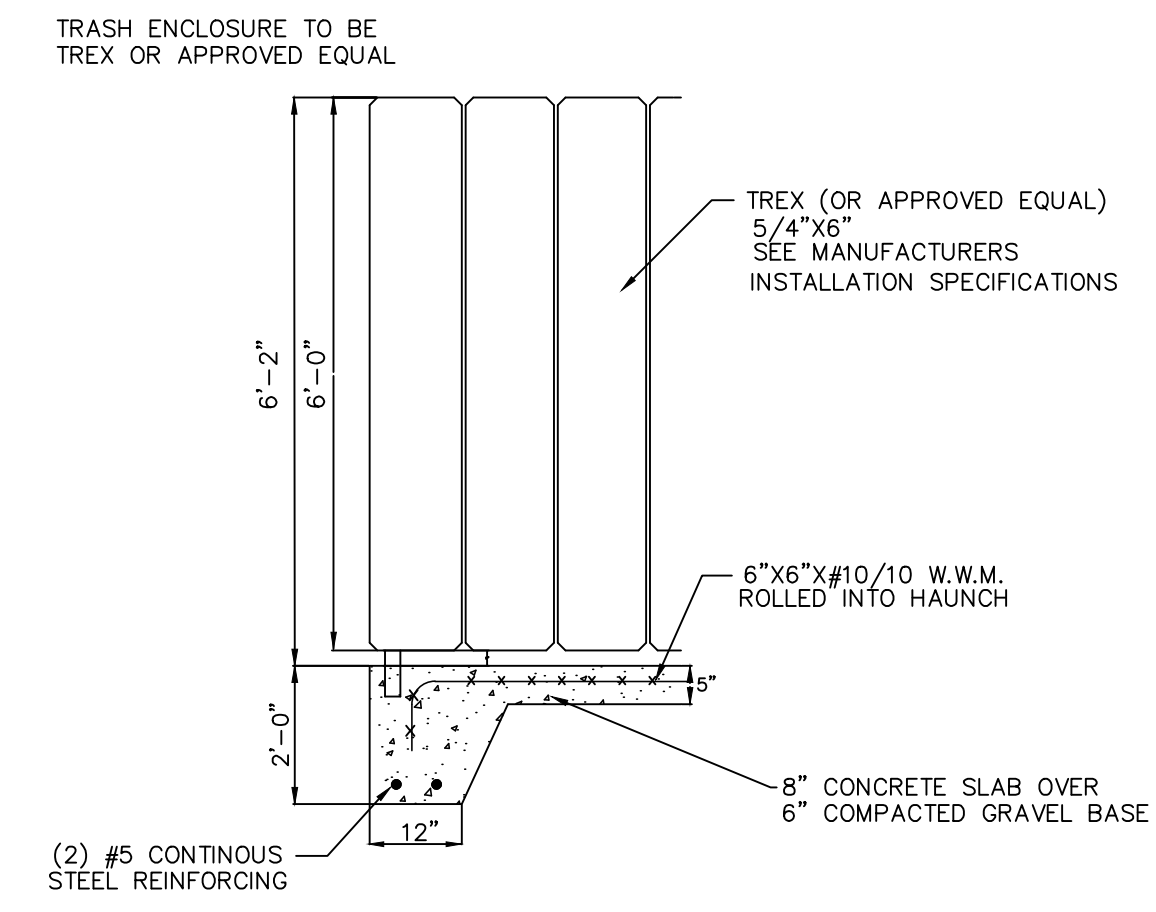
- NOTES:
1. ALL WOOD MEMBERS OF TRASH CORRAL TO BE PRESSURE TREATED.
 2. ALL FASTENERS ARE TO BE GALVANIZED.
 3. FOUNDATION DESIGN TO BE PROVIDED BY CONTRACTOR.



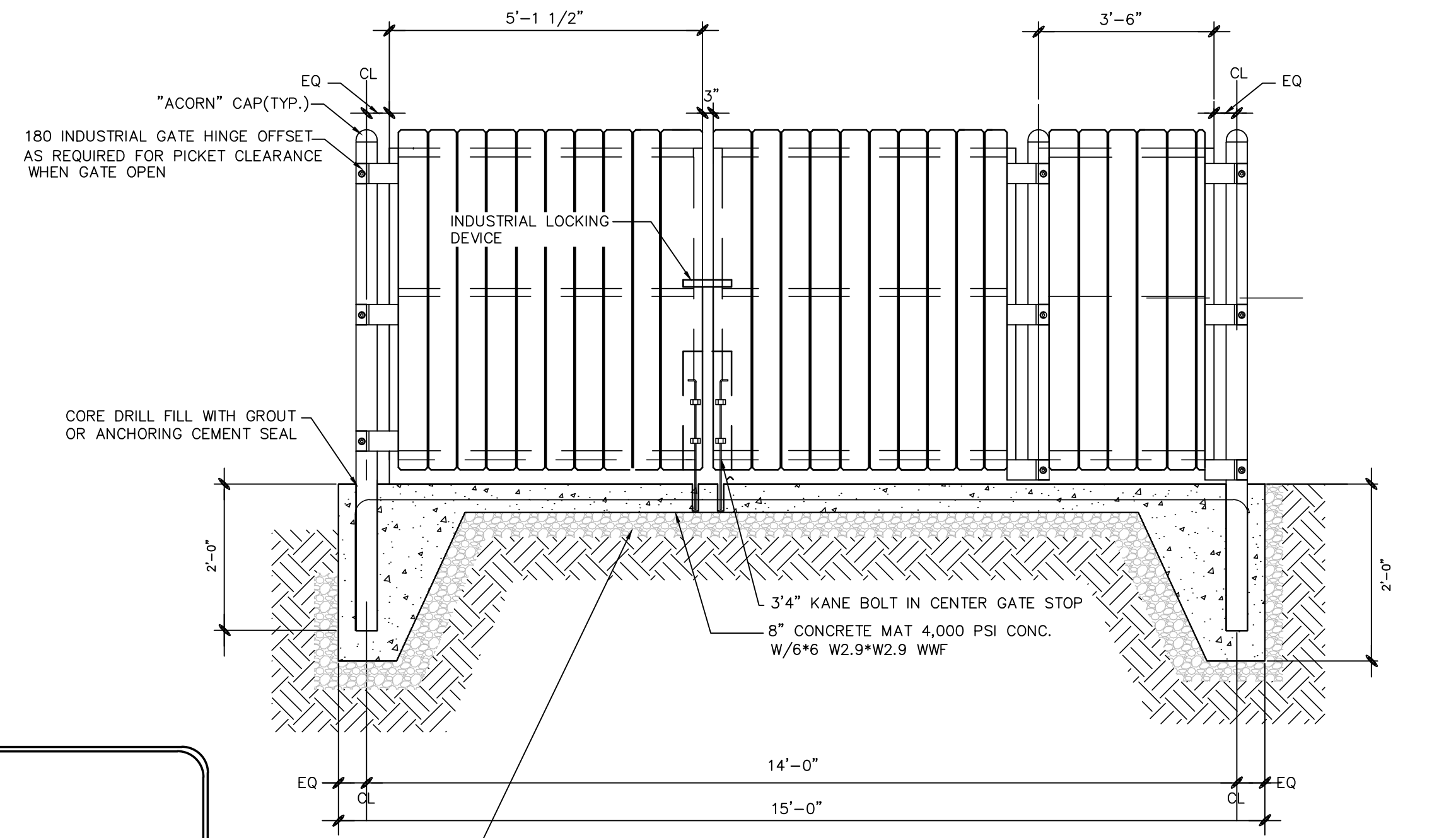
TRASH ENCLOSURE
TYP. PLAN ELEV
Not To Scale



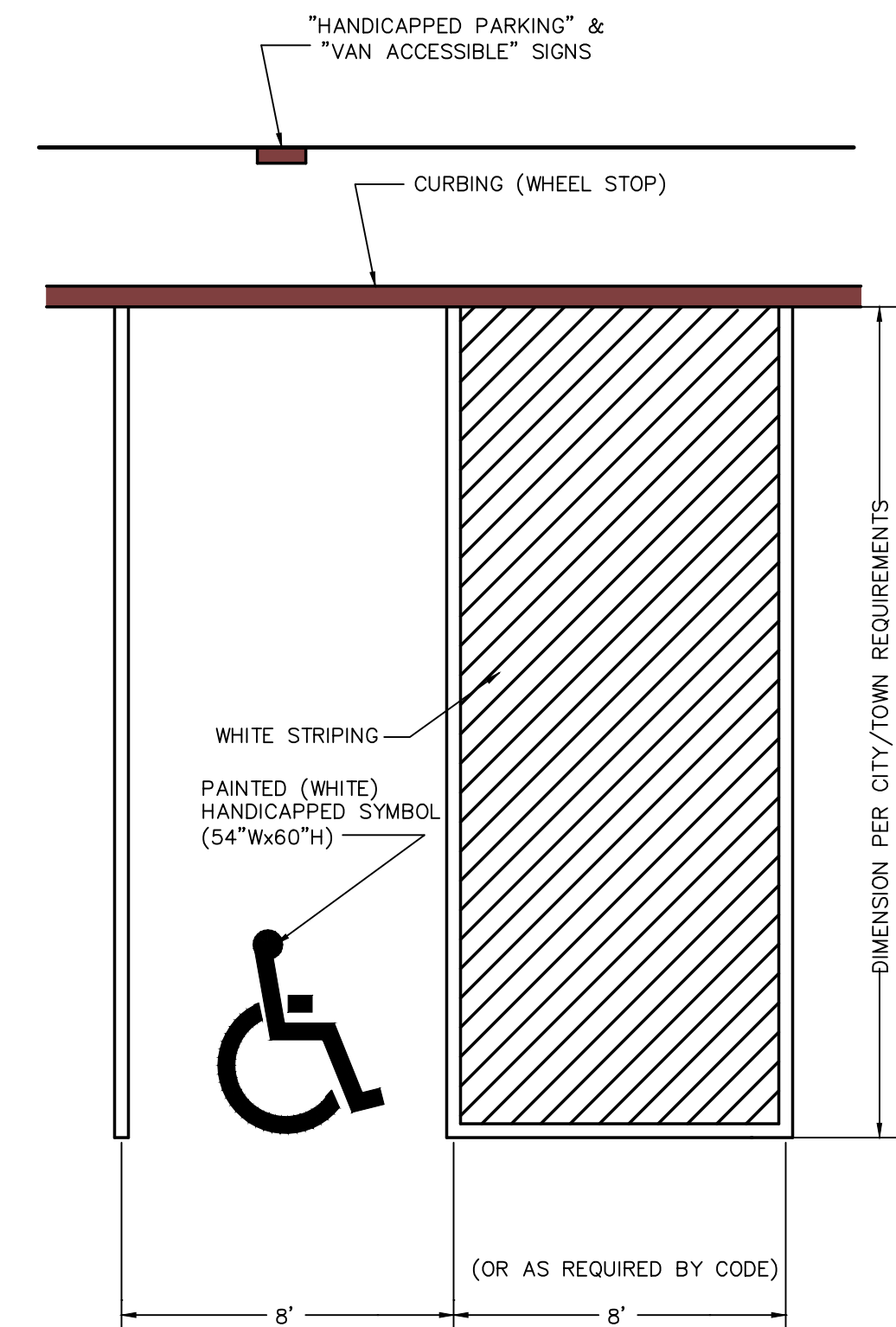
TRASH ENCLOSURE GATE & MOUNTING
Not To Scale



TYPICAL WALL SECTION
NOT TO SCALE



TYPICAL FRONT ELEVATION
NOT TO SCALE

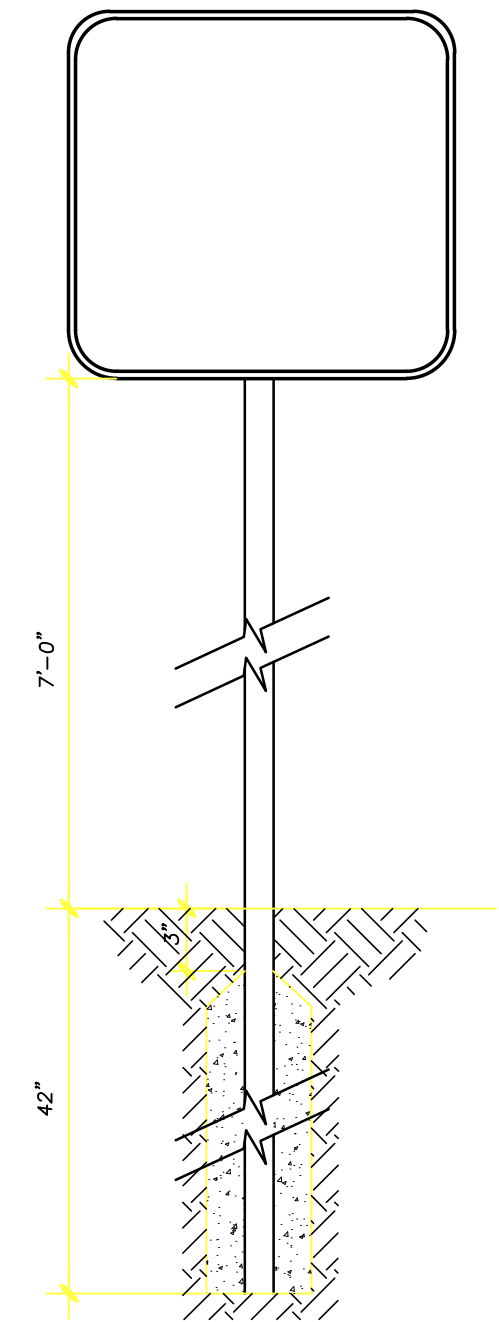


TYPICAL HANDICAP PARKING STALL STRIPING
Not to Scale

ACCESSIBLE PARKING SIGNAGE TO BE MOUNTED ON THE BUILDING



S2 HANDICAP SIGN
Not To Scale



SIGNAGE POST
Not To Scale

- NOTES:
- REFER TO THE SITE PLAN (C-1) FOR SPECIFIC LOCATION AND CONFIGURATION. ADJUST FOR ANGLED PARKING.
 - CONTRACTOR IS TO ENSURE THAT A MAXIMUM SLOPE OF 2.0% BE MAINTAINED IN ALL ADA PARKING AREAS.
 - THE MAXIMUM RUNNING SLOPE ALLOWED FOR ANY PART OF A SIDEWALK OR ACCESSIBLE ROUTE IS 5%.
 - THE MAXIMUM CROSS SLOPE ALLOWED FOR ANY PART OF A SIDEWALK OR ACCESSIBLE ROUTE IS 2%.

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DESIGNED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIXED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



REV	PER	DATE	DESCRIPTION
1	AJM	05/03/16	REVISED PER TOWN ENGINEER COMMENTS

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS

ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

SEASON'S CORNER MARKET
125 UNION STREET ASHLAND, MA

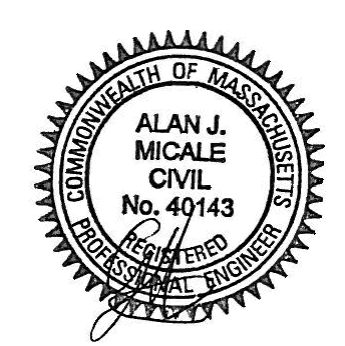
PREPARED FOR
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE CRANSTON, RI

SHEET DESCRIPTION
SITE DETAIL SHEET

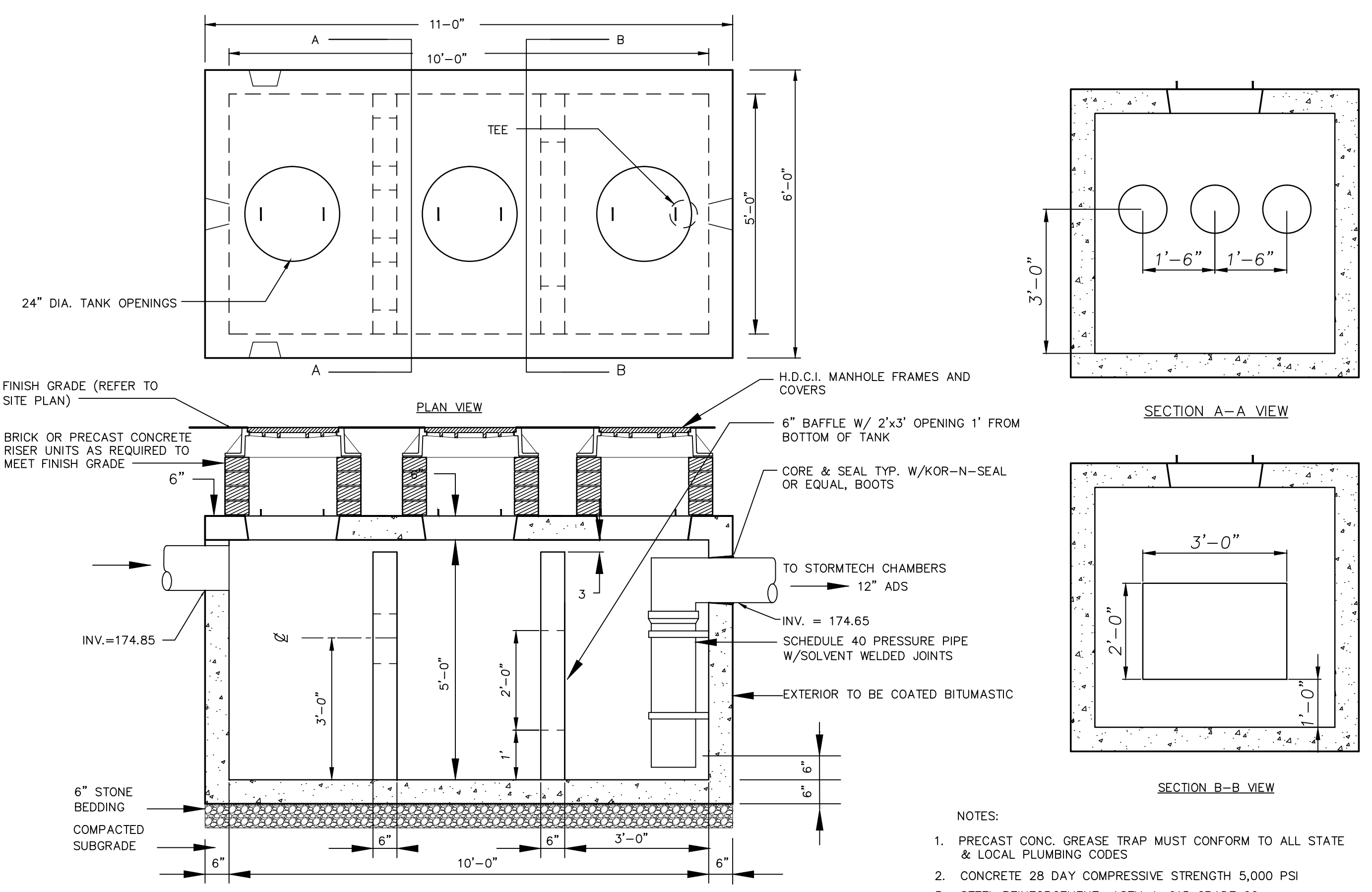
PROJECT NO. 1741.214
SCALE: AS NOTED
DRAWN BY: PA
DATE: 03/10/16

SHEET NO.
SD-2

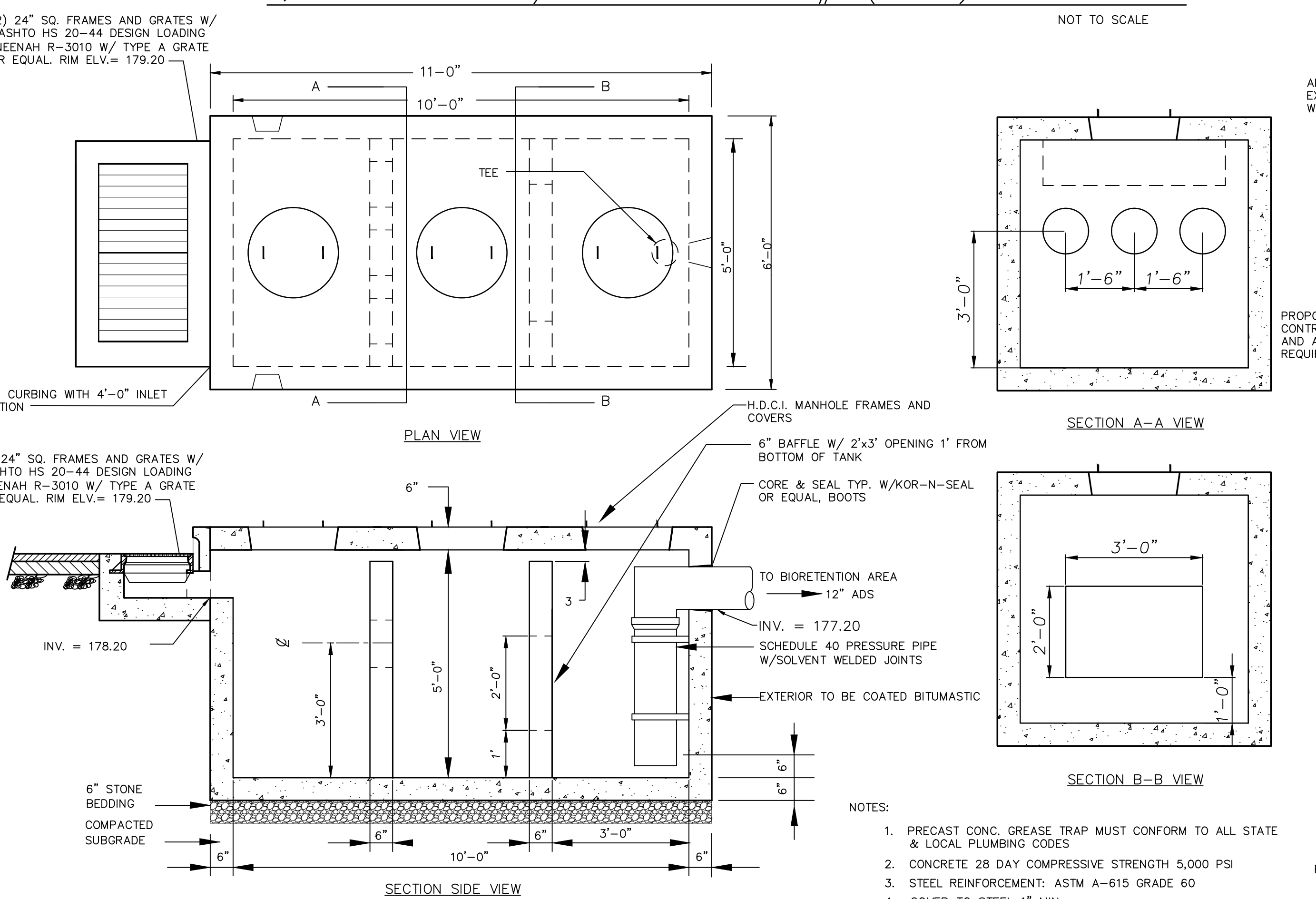
AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIRMED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



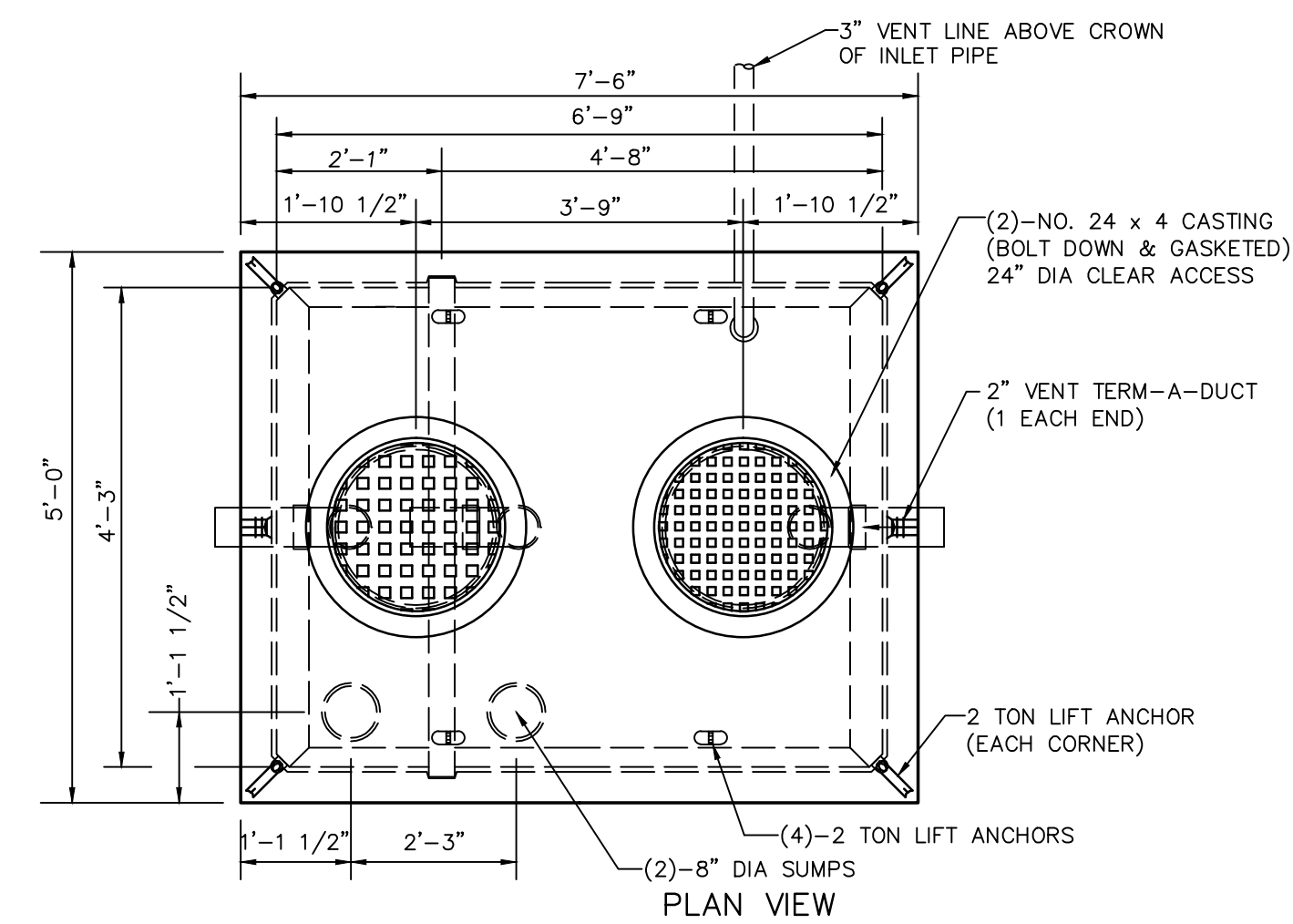
REV	PER	DATE	DESCRIPTION
1	AJM	05/03/16	REVISED PER TOWN ENGINEER COMMENTS
2	AJM	06/09/16	REVISED PER TOWN ENGINEER COMMENTS



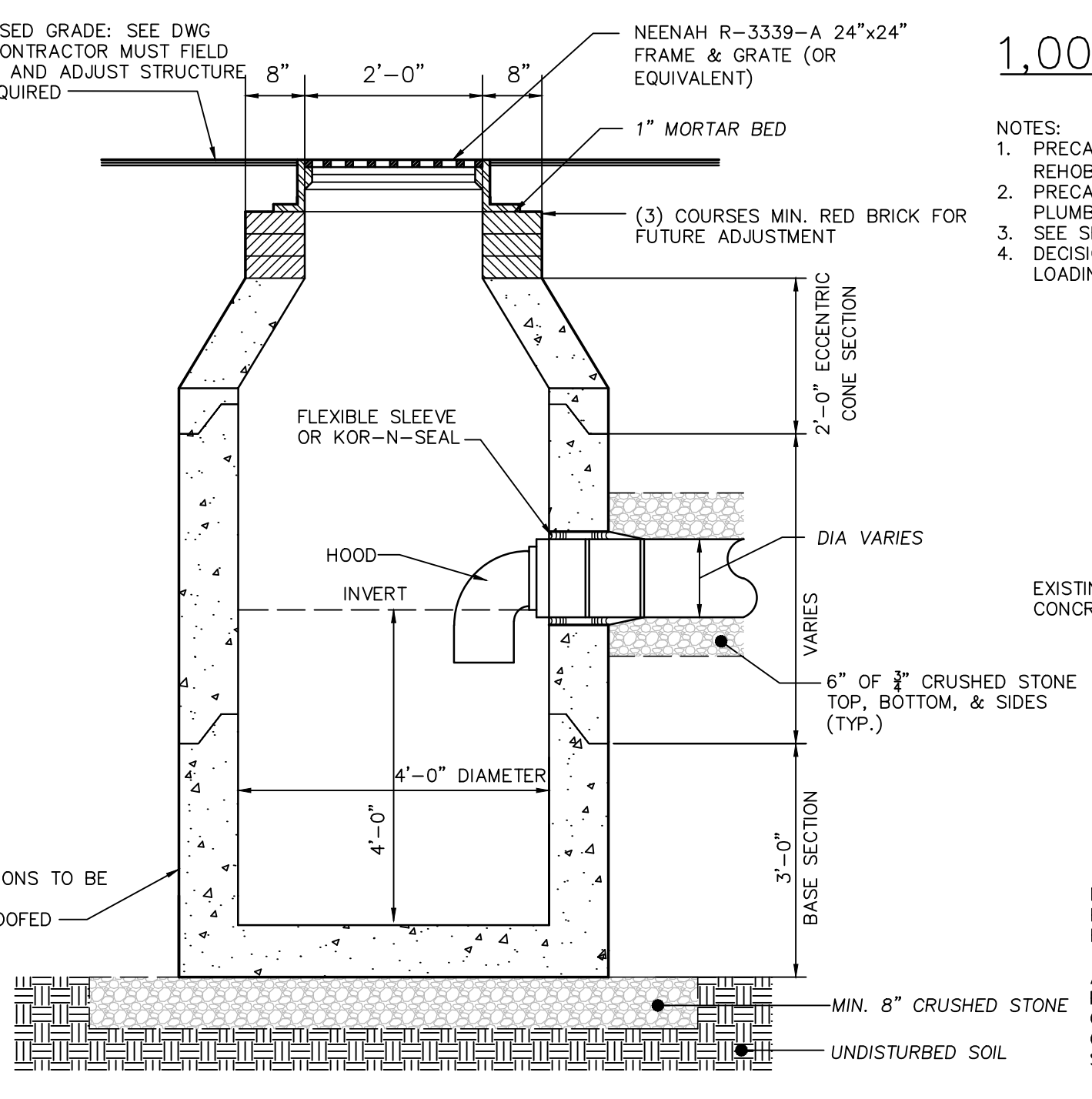
- NOTES:
1. PRECAST CONC. GREASE TRAP MUST CONFORM TO ALL STATE & LOCAL PLUMBING CODES
 2. CONCRETE 28 DAY COMPRESSIVE STRENGTH 5,000 PSI
 3. STEEL REINFORCEMENT: ASTM A-615 GRADE 60
 4. COVER TO STEEL 1" MIN.
 5. VAULTS ARE DESIGNED TO MEET ASTM C858 AND ACI 318 WITH AASHTO HS-20 LOADING



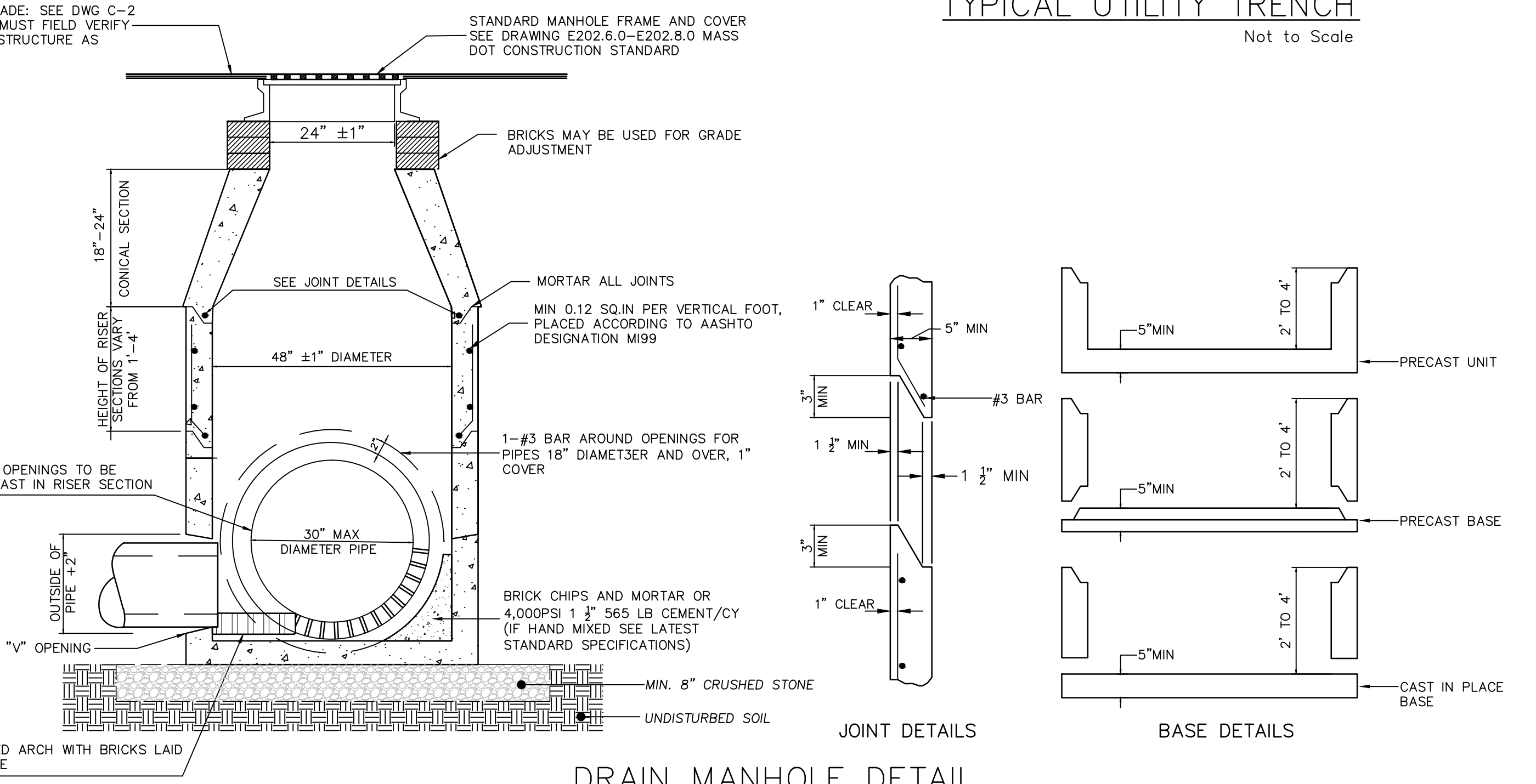
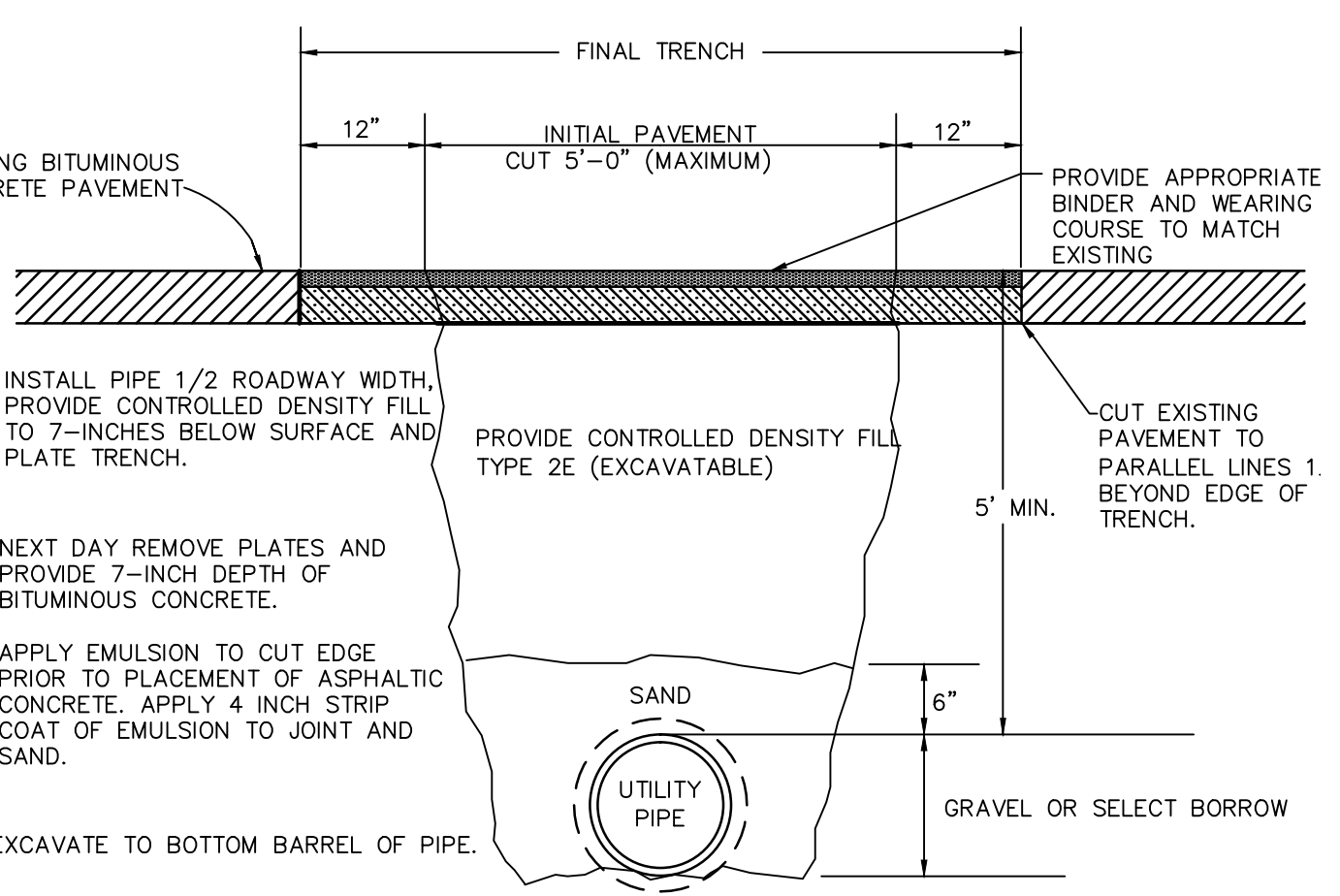
- NOTES:
1. PRECAST CONC. GREASE TRAP MUST CONFORM TO ALL STATE & LOCAL PLUMBING CODES
 2. CONCRETE 28 DAY COMPRESSIVE STRENGTH 5,000 PSI
 3. STEEL REINFORCEMENT: ASTM A-615 GRADE 60
 4. COVER TO STEEL 1" MIN.
 5. VAULTS ARE DESIGNED TO MEET ASTM C858 AND ACI 318 WITH AASHTO HS-20 LOADING



- NOTES:
1. PRECAST CONCRETE GREASE TRAP HEAVY DUTY BY OLDCASTLE PRECAST REHOBOTH, MA (MODEL 576-GA) OR EQUIVALENT
 2. PRECAST CONC. GREASE TRAP MUST CONFORM TO ALL STATE & LOCAL PLUMBING CODES
 3. SEE SHEET C-3 FOR INVERT ELEVATIONS
 4. DECISION IN ACCORDANCE WITH ASTM C 890 FOR AASHTO HS20-44 VEHICLE LOADING



- NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING



- NOTES:
1. SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS

ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

SEASON'S CORNER MARKET
123 UNION STREET ASHLAND, RI

PREPARED FOR
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE CRANSTON, RI

SHEET DESCRIPTION
SITE DETAIL SHEET

PROJECT NO.	1741.214	SHEET NO.	
SCALE:	AS NOTED		
DRAWN BY:	PA		
DATE:	03/10/16		

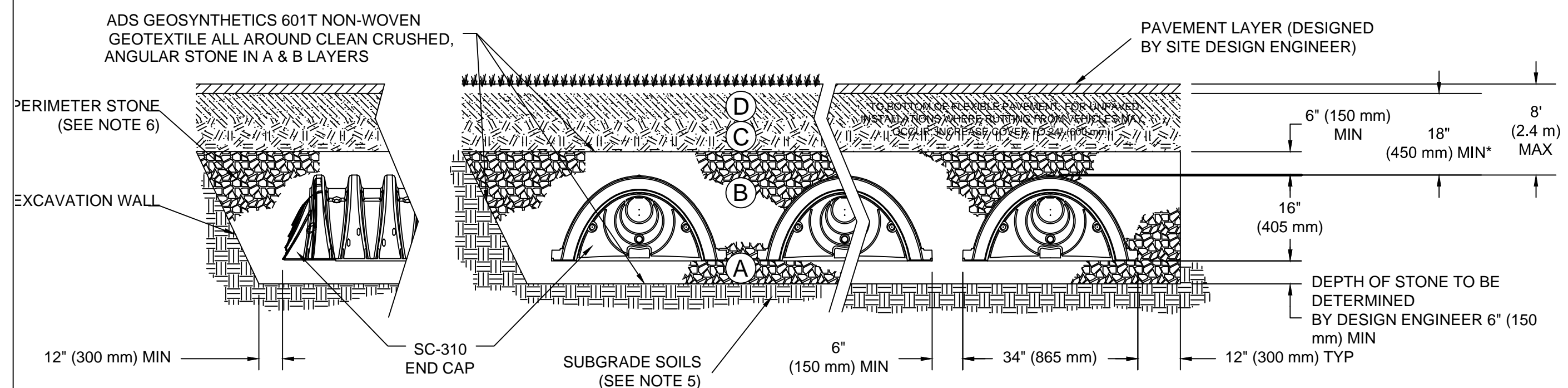
SD-3

F:\1741 ASHLAND, MA\2014 COLBEA REBUILD\CONSTRUCTION DOCUMENTS\CIVIL\1741SD.DWG

ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145* A-1, A-2-4, A-3 OR AASHTO M43* 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43* 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43* 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. **

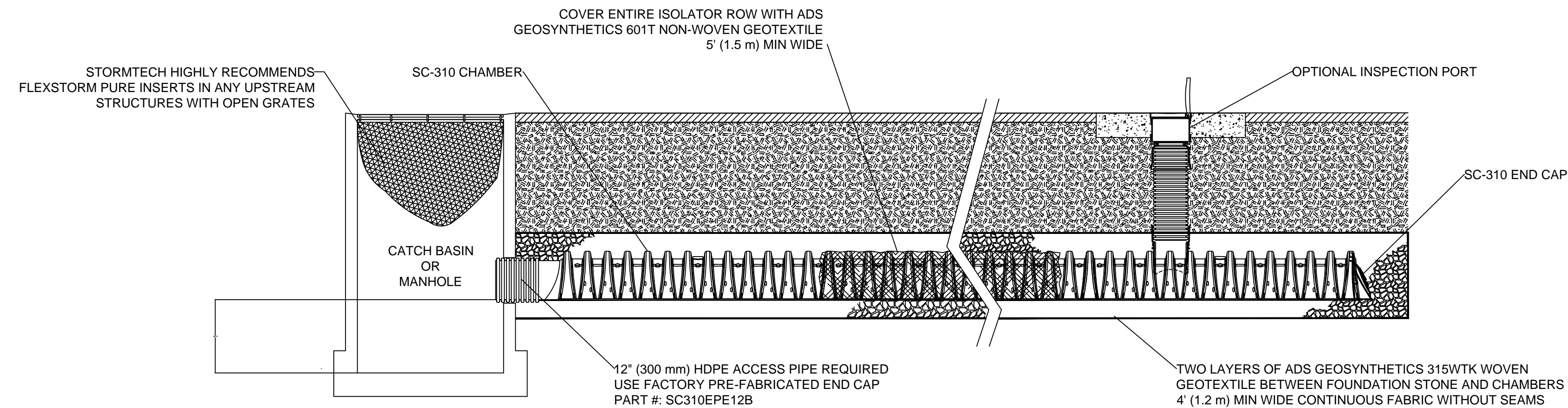
PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION. FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



STORMTECH SC-310 CHAMBER DETAIL

STORMTECH SC-740 CHAMBERS (RATED FOR H-20 LOADING) FOR INFILTRATION SYSTEM CONFIGURATION SEE SITE PLAN

Not to Scale



SC-310 ISOLATOR ROW DETAIL
NTS

INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
 A. INSPECTION PORTS (IF PRESENT)
 A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 B. ALL ISOLATOR ROWS
 B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

INSPECTION & MAINTENANCE (CONTINUED)

STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
 A. A FIXED CLWERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
 B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 C. VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

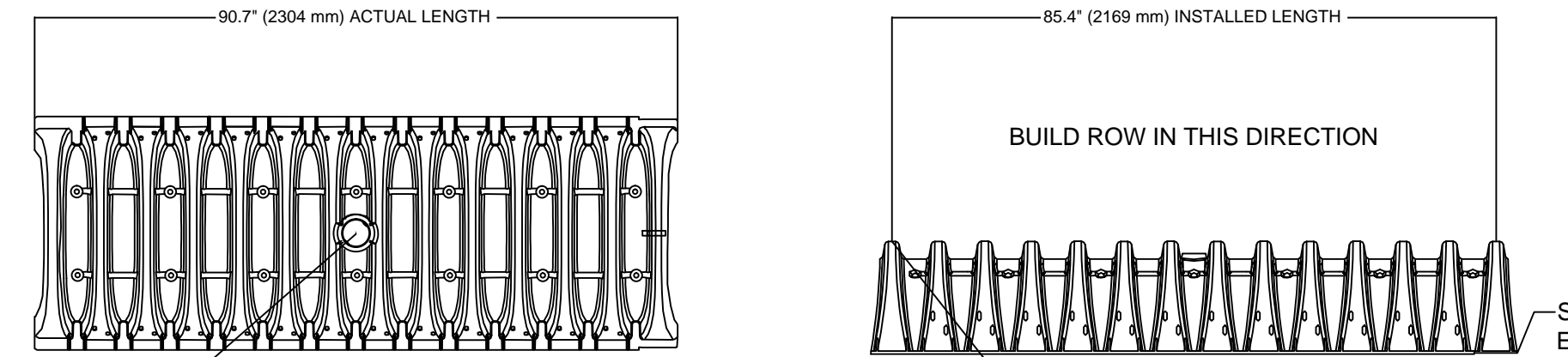
STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
 2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

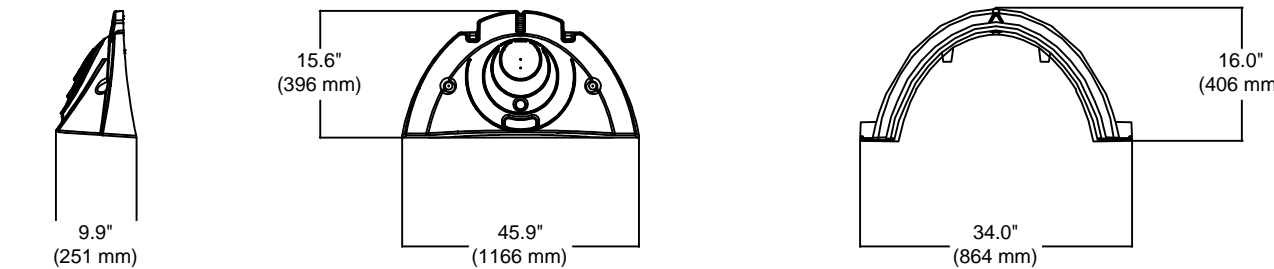
SC-310 TECHNICAL SPECIFICATION

NTS



ACCEPTS 4" (100 mm) SCH 40 PVC PIPE FOR INSPECTION PORT. FOR PIPE SIZES LARGER THAN 4" (100 mm) UP TO 10" (250 mm) USE INSERTA TEE CONNECTION CENTERED ON A CHAMBER CREST CORRUGATION

OVERLAP NEXT CHAMBER HERE (OVER SMALL CORRUGATION)



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	34.0" X 16.0" X 85.4"	(864 mm X 406 mm X 2169 mm)
CHAMBER STORAGE	14.7 CUBIC FEET	(0.42 m³)
MINIMUM INSTALLED STORAGE*	31.0 CUBIC FEET	(0.88 m³)
WEIGHT	35.0 lbs.	(16.8 kg)

*ASSUMES 6" (152 mm) ABOVE, BELOW, AND BETWEEN CHAMBERS

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
 STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

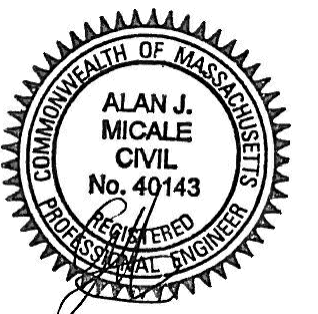
PART #	STUB	A	B	C
SC310EPE06T / SC310EPE06TPC			5.8" (147 mm)	---
SC310EPE06B / SC310EPE06BPC	6" (150 mm)	9.6" (244 mm)	---	0.5" (13 mm)
SC310EPE08T / SC310EPE08TPC			3.5" (89 mm)	---
SC310EPE08B / SC310EPE08BPC	8" (200 mm)	11.9" (302 mm)	---	0.6" (15 mm)
SC310EPE10T / SC310EPE10TPC			1.4" (36 mm)	---
SC310EPE10B / SC310EPE10BPC	10" (250 mm)	12.7" (323 mm)	---	0.7" (18 mm)
SC310EPE12B	12" (300 mm)	13.5" (343 mm)	---	0.9" (23 mm)

ALL STUBS, EXCEPT FOR THE SC310EPE12B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC310EPE12B THE 12" (300 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 0.25" (6 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIRMED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



REV	PER	DATE	DESCRIPTION
1	PAJ	05/03/16	REVISED PER TOWN ENGINEER COMMENTS

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS

ADDRESS:
 414 BENEFIT STREET
 PAWTUCKET, RHODE ISLAND 02861
 401-728-5533

SEASON'S CORNER MARKET
 125 UNION STREET ASHLAND, MA

PREPARED FOR
COLBEA ENTERPRISES, LLC
 2050 PLAINFIELD PIKE CRANSTON, RI

SHEET DESCRIPTION
SITE DETAIL SHEET
SC-310 CHAMBER

PROJECT NO. 1741.214
 SCALE: AS NOTED
 DRAWN BY: PA
 DATE: 03/10/16

SHEET NO.
SD-4

STORMTECH SC-310 ISOLATOR ROW DETAIL

Not to Scale

