

# TOTAL CURRENT/APPROVED: MXD SUMMARY

## Current IDCP [Amendment 2019]

New District Aggregate GFA – 4,273,000 GFA

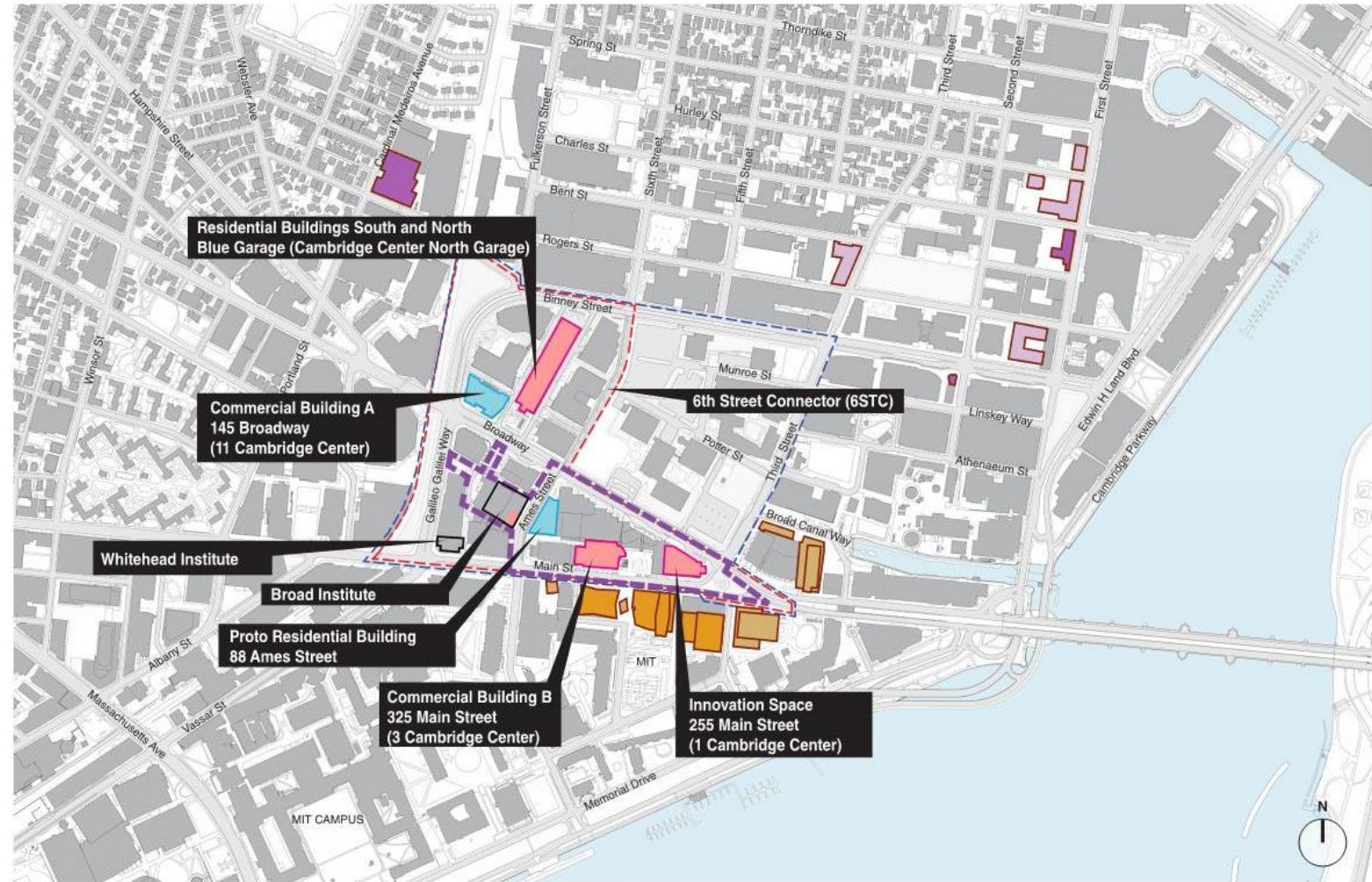
Allowable Commercial GFA – 2,083,547 GFA

Allowable Residential GFA - 600,000 GFA



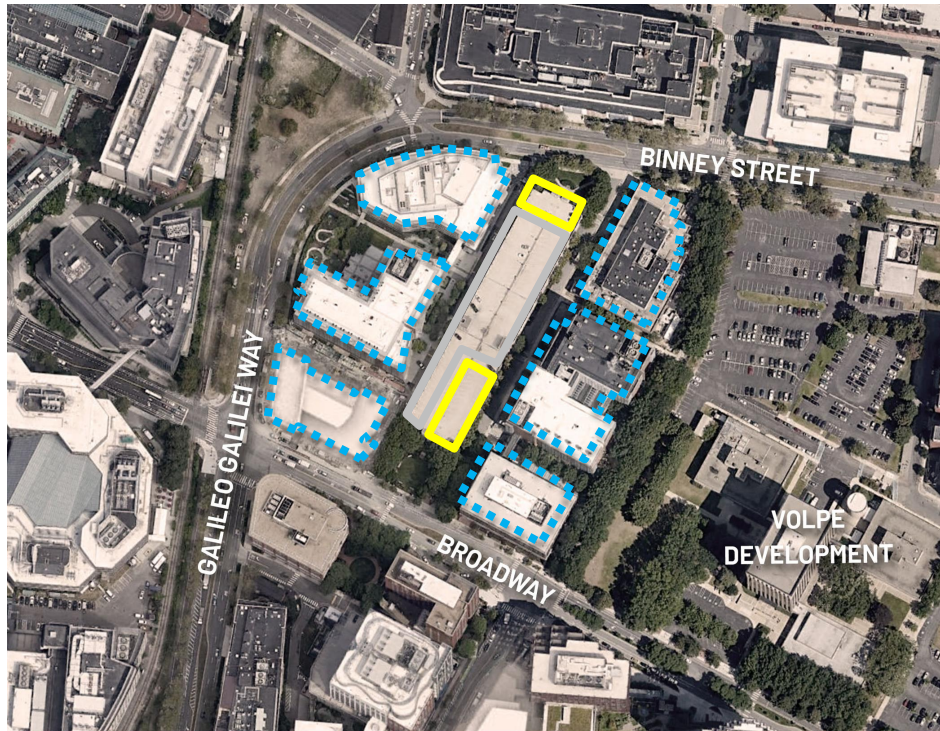
SITE CONTEXT

FIGURE 1.3



- Proposed Projects
- Permitted Projects Under Construction
- MXD Boundary
- Permitted MIT Noma/Soma Projects
- MIT Noma/Soma Projects Under Construction
- KSURP Boundary
- Permitted Projects by others
- Permitted Projects by others Under Construction
- Ames Street District ASD

# TOTAL CURRENT/APPROVED MXD VS PROPOSED

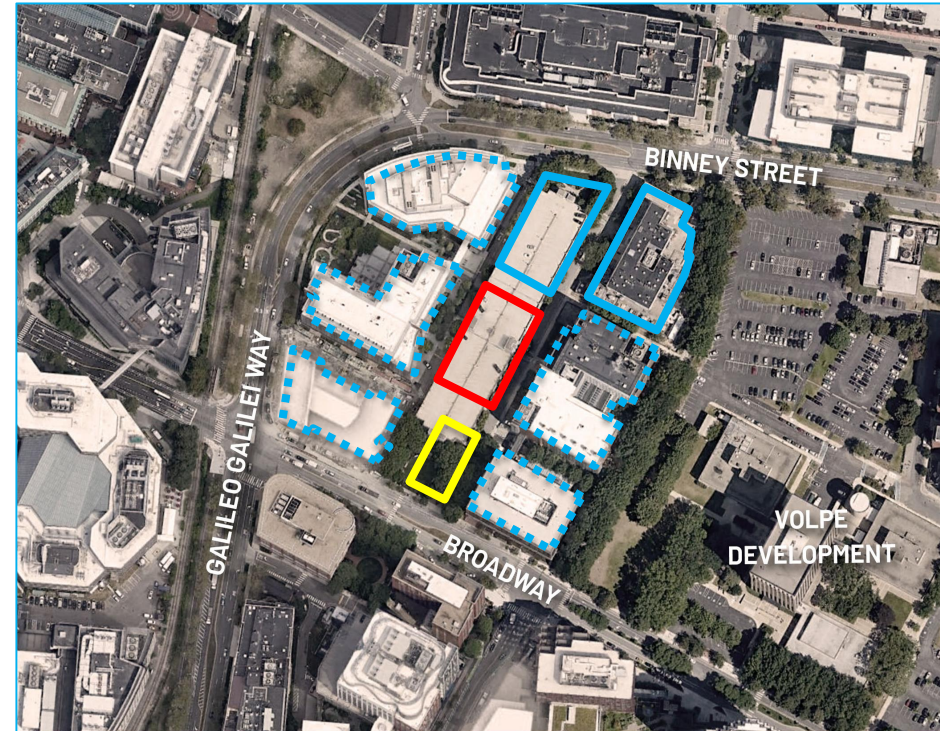


## Current IDCP - Approved 2019

New District Aggregate GFA – 4,273,000 GFA

Allowable Commercial GFA – 2,083,547 GFA

Allowable Residential GFA - 600,000 GFA



## IDCP Amendment - Proposed April 2020

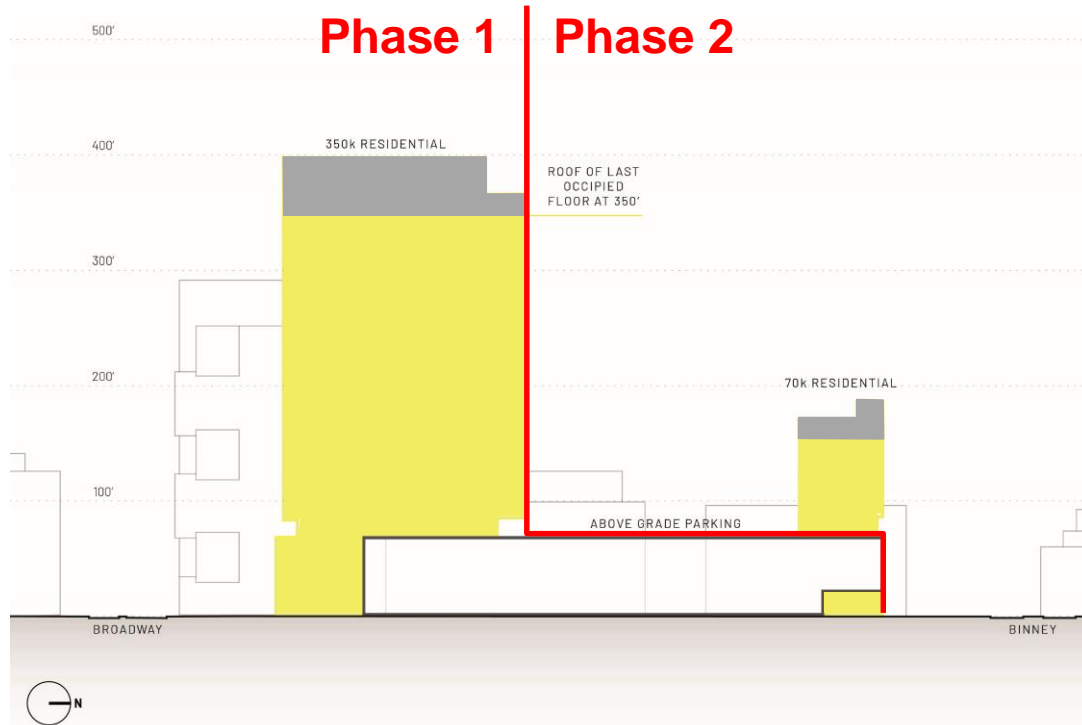
New District Aggregate GFA – 5,073,000 GFA

Commercial GFA – 2,883,547 GFA

Residential GFA - 600,000 GFA



# RESIDENTIAL PROGRAM SUMMARY



## Current IDCP - Approved 2019

Two Phases – up to 425 units

**Phase 1 - 350,000 GFA / 355 units**

*(only 200,000 GFA required under zoning)*

**Phase 2 - 70,000 GFA / 70 units**

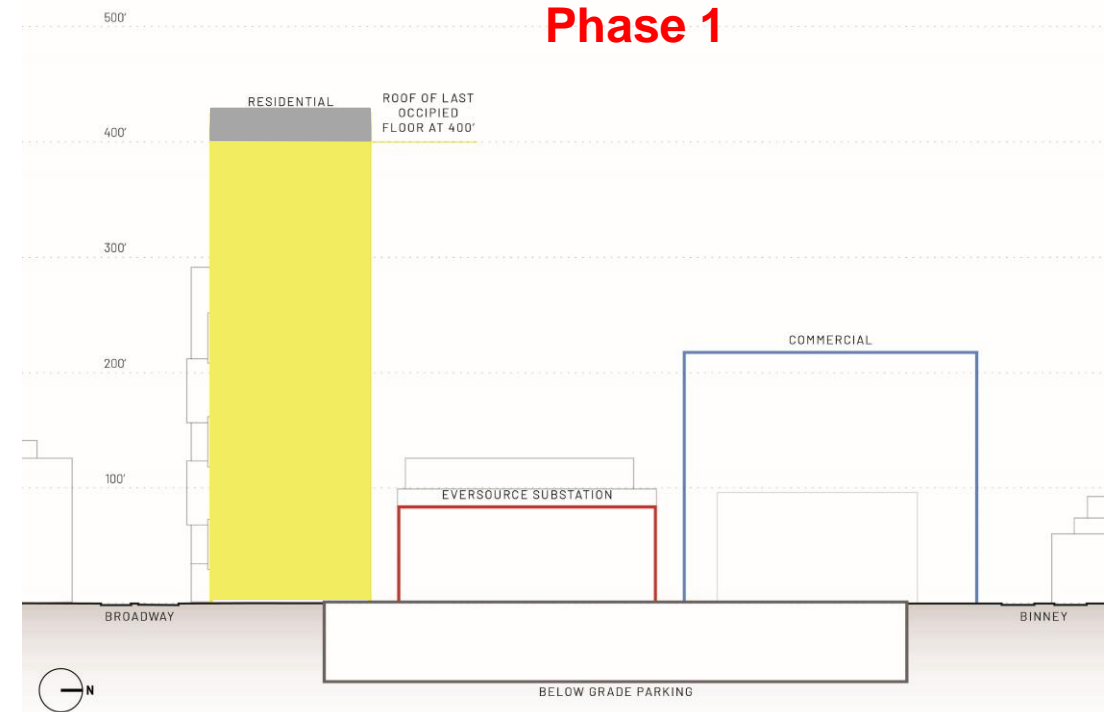
### Inclusionary Housing / Family Units

20% of GFA - Affordable

5% of GFA - Middle Income

5% of GFA - 3-Bedroom units

**Condo Units - 20% of GFA**



## IDCP Amendment - Proposed April 2020

Single Phase – up to +/- 500 units

**Phase 1 - 420,000 GFA / all +/- 500 units**

**+75 additional total homes**

**+145 additional homes in Phase 1**

### Inclusionary Housing / Family Units / NO CHANGE

20% of GFA - Affordable

5% of GFA - Middle Income

5% of GFA - 3-Bedroom units

**Elimination of Condo Units**



# AREA SUMMARY – PROPOSED AMENDMENT APRIL 2020

## IDCP Amendment - Proposed April 2020

### Typical Floor Plates Size (approx.)

Residential - +/- 12,000 SF

Substation - +/- 25,000 SF

Commercial - +/- 30,000 SF & +/- 30,000 SF

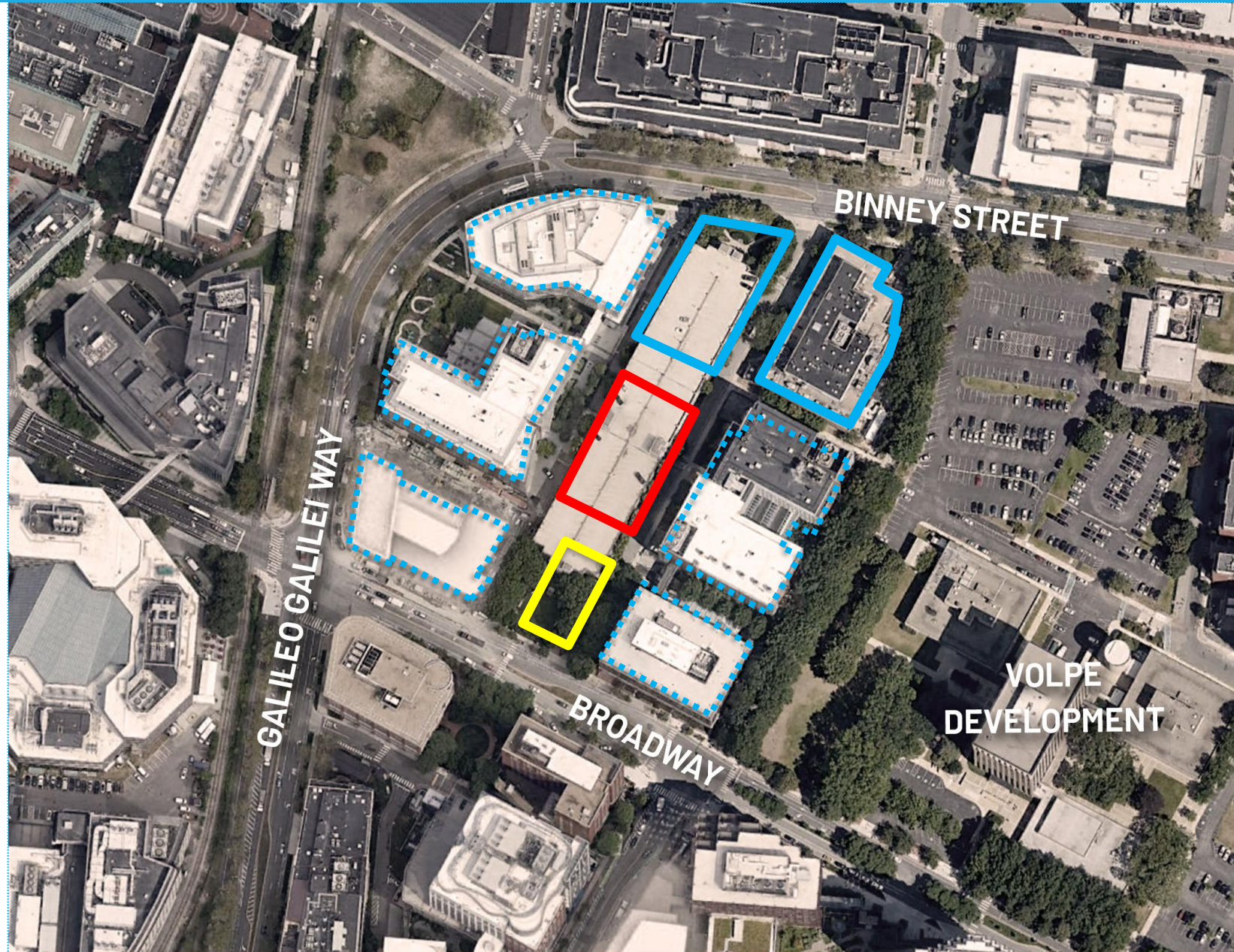
### Total Areas (approx.)

Residential – +/- 420,000 SF

Commercial – +/- 800,000 SF

### Excluded (approx.)

Substation – +/- 75,000 SF

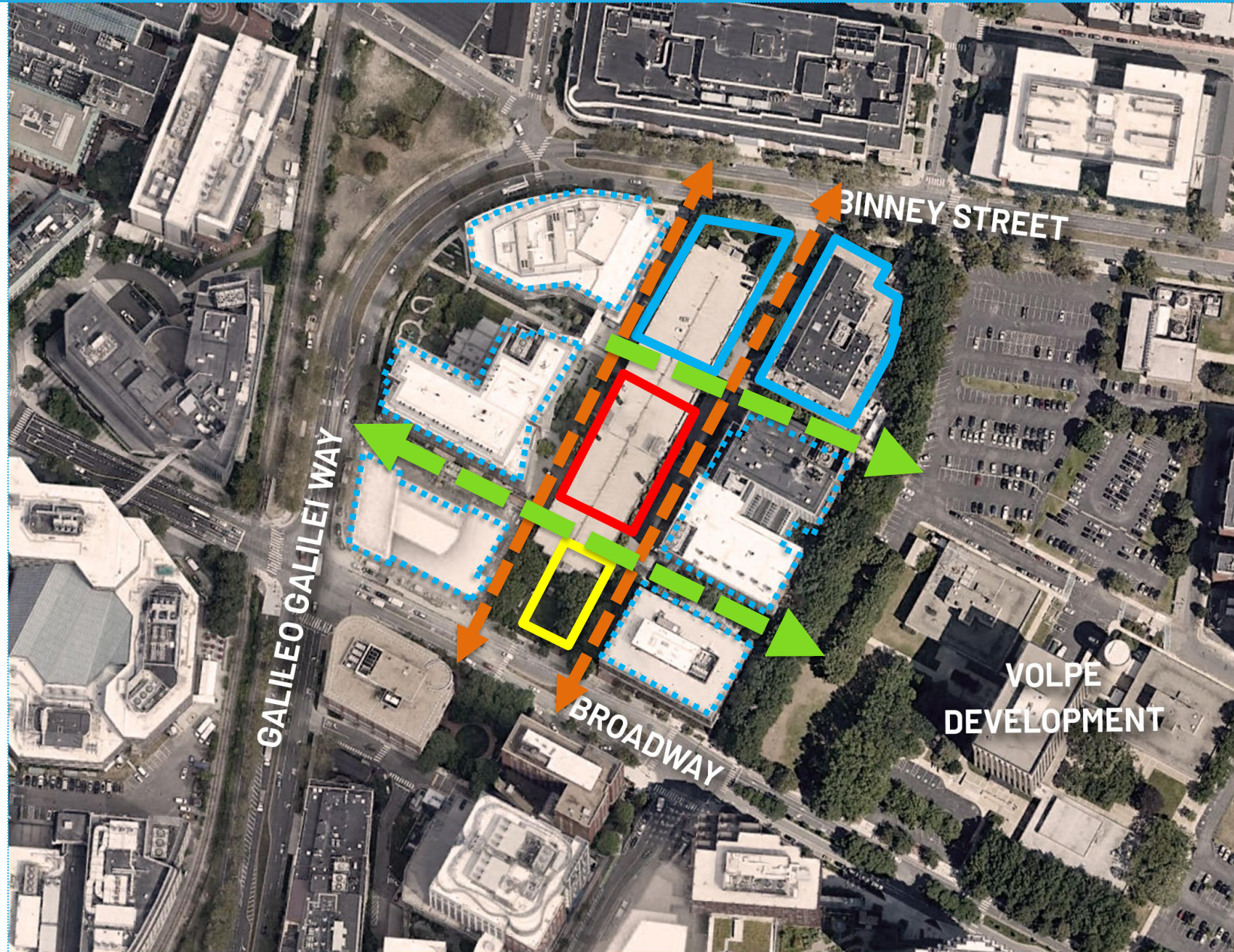


# SITE CONNECTIVITY – PROPOSED AMENDMENT APRIL 2020

Improved pedestrian/greenway connectivity through the site to Volpe



Existing principal circulation through the site



# WHY 800,000 GFA AND CONCEPTUAL COST OF BLUE GARGE REMOVAL

## Facilitation Costs

Temporary parking relocation costs

Staff time, engineering, design costs

## Heavy Infrastructure Costs

Site work [unknown]

Replicate existing parking underground  
[\$100 - \$200 million]

Eversource substation, distribution,  
transmission infrastructure integration  
[unknown]

## Forfeit Development Value

Substation will permanently extinguish  
future development value associated with  
parcel conveyed to Eversource

