

HOTEL INVESTMENT OPPORTUNITY

HILTON

Dublin Airport

Malahide Road, Northern Cross, Dublin 17, Ireland

For Sale by Private Treaty



Introduction

JLL has been appointed as exclusive selling agent for this 179-guestroom hotel investment opportunity currently trading as the Hilton Dublin Airport, a high quality and full service 4-star hotel. Ideally located in the rapidly growing Dublin hotel market, the property is conveniently situated near Dublin City’s M1 and M50 motorways, just minutes from Dublin City Centre and Dublin Airport.

Opened in 2006, the hotel has 179 generously sized guestrooms, Burnell Bar & Grill, popular meeting spaces, extensive secure car parking and full air-conditioning throughout.

Offered for sale with the benefit of long leasehold title (original 475-year lease at a nominal rent), the Hilton Dublin Airport boasts an established trading history, and improving NOI.



Investment Highlights



Occupying a high-profile location at the entrance to Northern Cross Business Campus, a popular office and retail scheme boasting major corporates such as Mylan, Aramark and Experian, all just minutes from Dublin City Centre and Dublin Airport



Modern, purpose-built, full-service Hilton hotel, opened in 2006 and built by Walls Construction, one of Ireland’s leading building contractors



The hotel offers 179 well-appointed guestrooms, the refurbished Burnell Bar & Grill, the Walls Suite ballroom (250-person capacity), extensive surface and underground car parking and full air-conditioning throughout



Operated with the benefit of a management agreement with Hilton (due to expire in 2025), to capitalise on the very strong passenger traffic at Dublin Airport, in addition to city centre demand



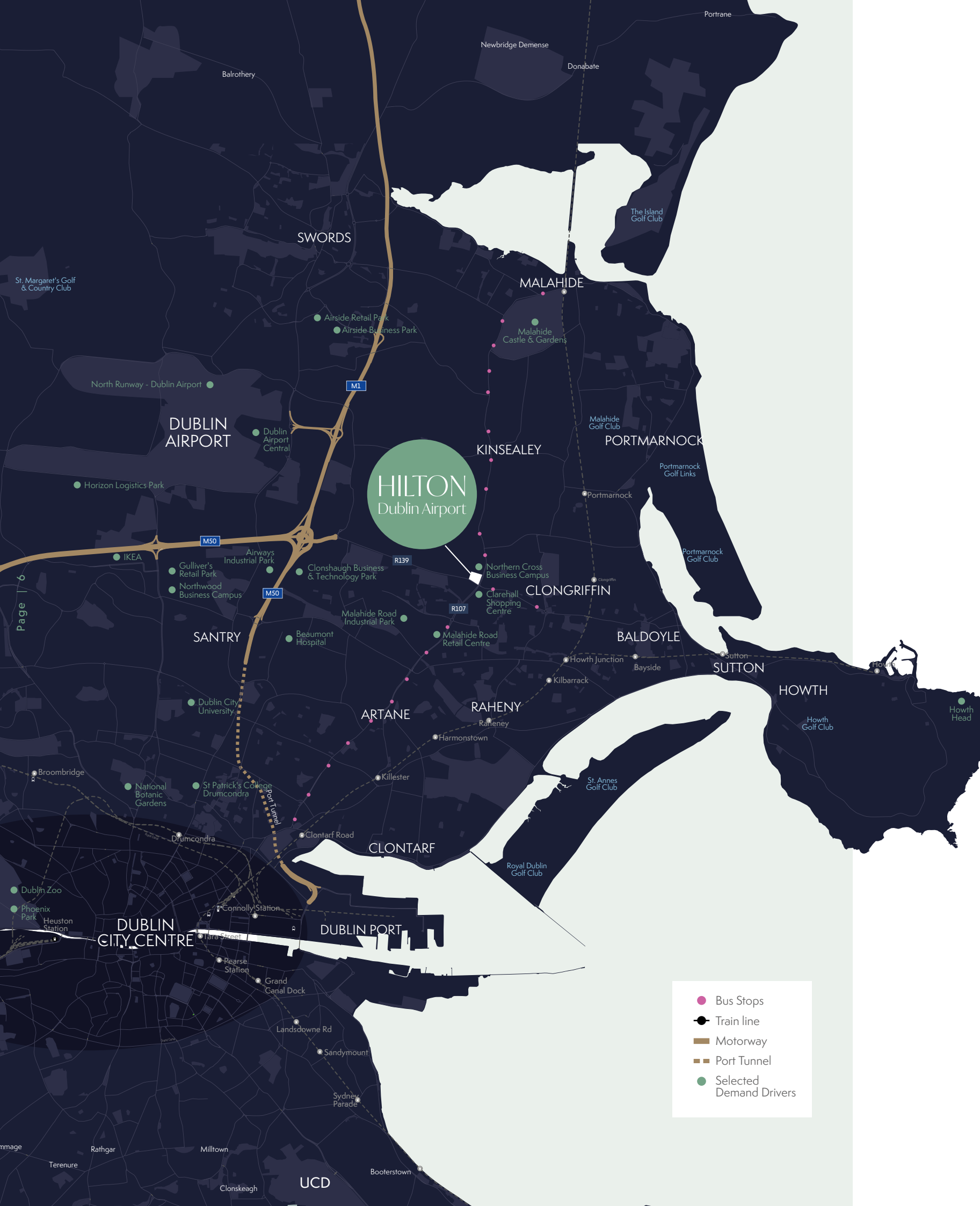
A profitable and well managed trading business, with exciting scope for further performance growth and benefiting from the addition of 13 brand new keys



Dublin RevPAR levels have remained strong, whilst Dublin Airport recently had a €320M runway extension



A modern purpose built hotel, with
one of the best quality hotel products
in the Dublin Airport catchment



A high profile location, with
diverse demand drivers

A High-Profile Location & Extensive Demand Catchment

The hotel occupies a high-profile location at the entrance to Northern Cross Business Campus in Dublin 17, a popular office and retail scheme boasting major corporates such as Viatris, Aramark, Walls Construction and Bewley's Tea & Coffee HQ. The immediate vicinity offers popular local amenities such as over 560 apartments in Burnell Square, Meadows & Byrne Homeware, Bank of Ireland, Giraffe Childcare as well as host of shops in Clarehall Shopping Centre, anchored by Tesco.

Offering excellent connection to the nearby M50 and M1 motorways, the location has strong transport links including dedicated airport shuttle bus, Dublin Bus and nearby DART services, all just minutes from Dublin City Centre and Dublin Airport.



Malahide, Portmarnock, Howth and Clongriffin

The surrounding areas of Malahide, Portmarnock, Howth and Clongriffin serve as an excellent demand catchment for the hotel. Malahide, Portmarnock and Howth are Dublin city's most affluent northern suburbs, combining high value residential living with numerous tourism attractions including Malahide Village and Castle and Howth Village and Head. The area also has numerous world-famous golf courses such as Portmarnock Golf Club and Portmarnock Hotel & Golf Links, the latter having been acquired by Northland Properties of Canada in recent years.



The ongoing development of Clongriffin Town and Belmayne is transformational. The current population of the Clongriffin and Belmayne area is approx. 13,000, a growth of +60% since 2016.

Dublin Airport

Approximately 33 million passengers travelled through Dublin Airport in 2024, surpassing record level of 32m in 2023.

Dublin Airport enjoyed its busiest day on record during July 2024 – a month which saw just over 3.4 million passengers travel through the airport.



33 Million

Passengers travelled through Dublin Airport in 2024



85%

Of all air-traffic in/out of Ireland is through Dublin Airport



Dublin - London

Busiest route in Europe and No. 2 in the world



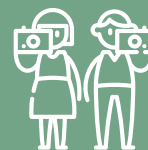
US Pre-Clearance

The only major European airport with pre-clearance



129,700

Jobs are generated & facilitated by Dublin Airport



4,000,000 plus

Transatlantic passengers in 2024



5th

Most flights in Europe to North America



+200

Weekly flights to North America



Dublin Airport has recently completed works on its new third runway at a cost of €320M.

The 3.1km northern runway is capable of servicing larger long-haul aircraft, including the Boeing 747-8 and Airbus A 380-800.

It will enhance the role of Dublin Airport as a vital economic enabler for Irish tourism, trade, and foreign direct investment.

Modern full-service hotel, purpose built to a high-quality specification, with generous guestroom sizes



The hotel is a modern purpose built hotel, laid out over basement to sixth floor levels, with the main reception, public areas and restaurant/bar located at ground floor level, in addition to the hotels main function room.

The property has 179 well-appointed en-suite guestrooms, including 4 feature suites. A total of 13 new deluxe king premium guestrooms were added in recent years, which produce a significant rate premium.

The hotel is fully air-conditioned, and it includes 5 meeting rooms, 2 external terraces, a modern dry gym, a business lounge and a large secure underground car-park.



Opened in 2006

7 floors over basement car park

179 guestrooms

Recently refurbished Burnell Bar & Restaurant

5 meeting rooms including the 350 capacity Walls Suite

New modern dry gym

166 car spaces across ground and basement levels

Generous & Fully Air-Conditioned Guestrooms

The hotel has a total of 179 high quality and modern guestrooms.

All guest rooms are equipped with the latest amenities and the accommodation is broken down as follows:

Room Type	No. of Rooms
Standard	102
Double Deluxe	32
Double Double	31
Family Room	10
Suite	4
Total	179



Spacious guestroom accommodation,
including 13 new deluxe premium king rooms



Refurbished F&B facilities, complimented by new meeting rooms

Recently, the hotel completed a full refurbishment and relaunch of the Burnells Bar & Restaurant, which has not only improved the hotel's overall service offering, but it has increased F&B spending. This tasteful refurbishment has not only improved the hotel's overall service offering, but it has increased capacity and capture within its F&B outlets.

The hotel also benefits from a ballroom with capacity for 200 persons (banqueting style) and 4 additional meeting rooms, all of which have been recently refurbished.



Conveniently located near the M1 and M50 motorways, and with excellent parking and just minutes from Dublin City Centre and Dublin Airport, the hotels conferencing and banqueting offering presents significant growth potential.



Burnells bar & restaurant recently underwent a full refurbishment



We have summarised below the capacities of the hotel's meeting spaces:

Event Room Name	Sq. M	Banquet	Conference	Reception	School Room	Theatre	U-Shape
Walls Suite	343	200	-	200	200	350	65
Walls Suite 1	178	110	-	-	100	120	30
Walls Suite 2	178	110	-	-	100	120	30
Malahide	48	24	22	24	24	35	22
Howth	24	-	10	-	10	10	-
Portmarnock	24	-	10	-	-	10	10

The popular Walls Suite includes
a refurbished dedicated bar and
pre-function space



Exciting future potential



Strong Trading Performance

Rare opportunity to acquire a modern purpose built hotel at Dublin Airport. Potential initiatives to drive additional ADR growth are to implement a new Deluxe Premium guest-room type and refurbish the remaining guest-room stock.



F&B Performance Growth

Burnells Bar & Restaurant has undergone an extensive refurbishment, resulting in an improving average spend and a discerning clientele. The rapidly growing local population is expected to further boost F&B.



Growing Conferencing & Banqueting Demand

The hotel benefits from a 250-capacity ballroom, with upgraded foyer and 4 new high quality meeting rooms. With easy access to all of the city's arterial motorway routes and ample car parking, the hotel is well positioned to capture additional MICE demand.



Expiration of Management Agreement

The current management agreement with Hilton is due to expire in 2025. This offers an incoming investor flexibility regarding the operational structure and branding of the hotel.



Rapidly Expanding Dublin City & Airport Demand

Dublin Airport has recently completed an extensive new €320 million runway project. Further new infrastructure projects, in addition to the strong demand from over 1,000 companies based locally, will underpin the hotel's strong performance going forward.



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