

UP TO 16,739 SF AVAILABLE FOR LEASE

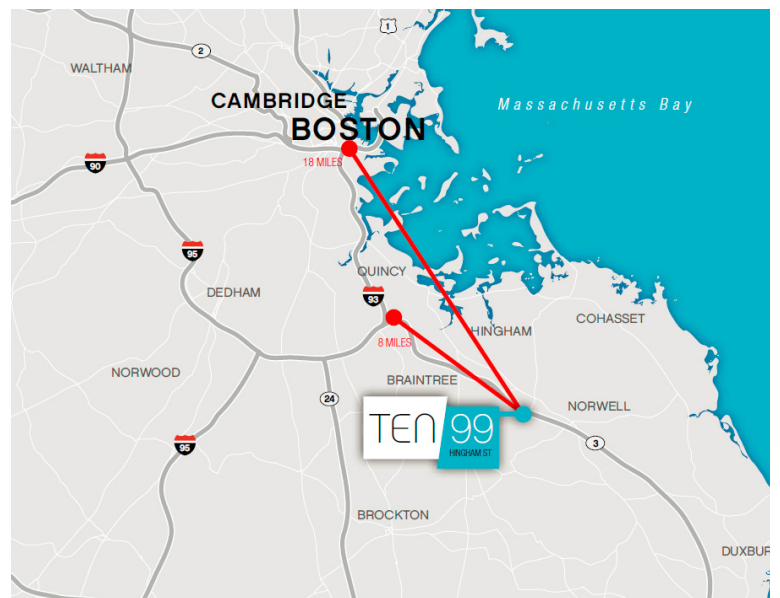
1099 HINGHAM STREET, ROCKLAND, MA



TEN 99
HINGHAM ST
ROCKLAND, MA

As exclusive leasing agent, JLL is pleased to offer 1099 Hingham Street in Rockland, MA.

The 58,962 square foot, three story office building has 6,796 SF on the 2nd floor, and 9,943 SF on the 3rd floor. 1099 Hingham includes a best-in-class amenity package, exceptional access, and a 5.0 per 1,000 SF parking ratio.



1099 HINGHAM STREET, ROCKLAND, MA

PROPERTY SPECIFICATIONS

Year built	1989; renovated in 2013
Square feet	58,962
Average floor plate	19,962 SF
Number of floors	3
Roof	Fully adhered EPDM with stone ballast; currently being replaced
Foundation	Reinforced concrete slab
Structure	Structural steel and concrete block floors consist of metal deck with light-weight concrete cover
Exterior walls	Brick veneer façade
Window	Fixed double pane windows in an aluminum frame
Ceiling height	Slab-to-joist 10'3" Slab-to-drop ceiling 8'6"
Parking spaces	303 (5.00/1,000 SF)
Loading	Tailboard, common loading dock

AVAILABILITIES

Floor 2	6,796 SF
Floor 3	9,943 SF

BUILDING SYSTEM

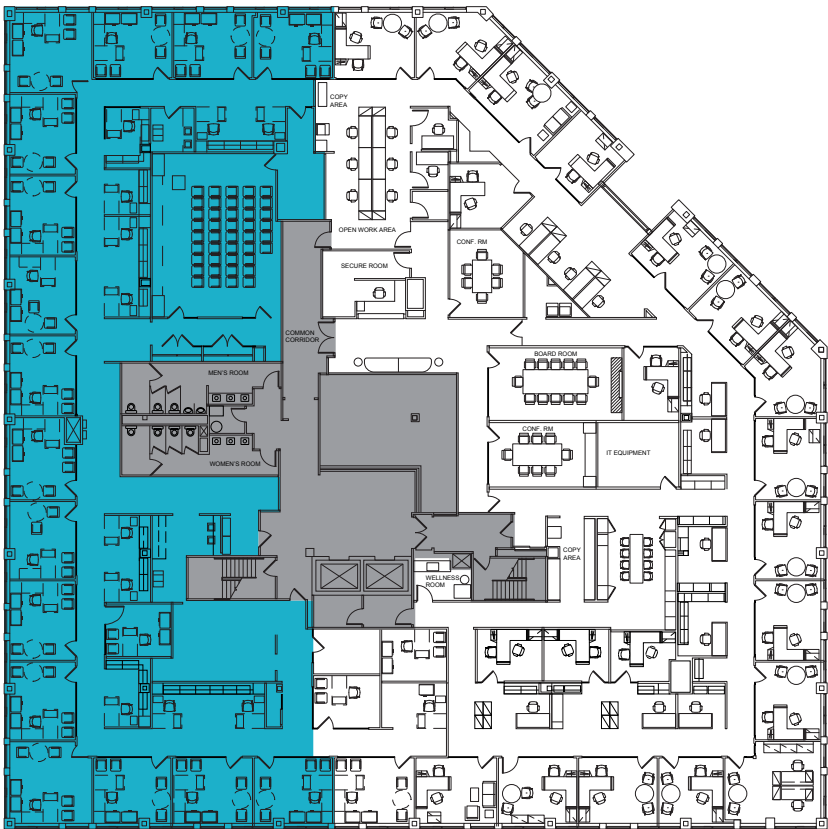
Electric system	1,600 AMP, 480/208 volts, 3-phase service
HVAC system	Closed loop heat pump system installed in 2006; supplemental heat from three (3) gas fired boilers on roof; HVAC system is water sourced heat pumps
Fire/Life system	Wet sprinkler system; fire alarm panel with 14 zones; FCI 72 (Fire Control Instrument serviced by Atlas Alarm company)
Elevators	Two Montgomery passenger elevators, cabs refurbished 2008
Emergency power	Two CAT diesel fueled emergency backup generators
Security	Compass key card access system, first floor security cameras
Energy management system	Honeywell system controls heat pumps and can be controlled remotely
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Loading	Tailboard, common loading dock



FLOOR 2
6,796 SF



FLOOR 3
9,943 SF



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For more information, please contact:

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