

7010 CAJON BLVD



±730,912 SF

AVAILABLE FOR SUBLEASE
7010 CAJON BOULEVARD, SAN BERNARDINO, CA

- Cross Dock Configuration
- Free Standing Building
- ±1,422 SF total office space (*)
 - ±6,250 SF NEC office area (*)
 - ±3,120 SF SEC office area (*)
 - ±2,052 SF northerly shipping office (*)
- ESFR Fire Sprinkler System
- 30' minimum clearance at first column
- 124 dock high doors (9' x 10')
 - 120 doors with dock packages
- 3 ground level ramp loading doors (12' x 14')

- ±303 trailer storage spaces, outside of dock
- 185' secured truck court areas
- 2.5% skylights
- 52' x 50' typical column spacing
- 2,000 amp capacity, 277/480v, 3 phase 4 wire power (*)
- 14 HVLS fans
- LED motion sensor warehouse lighting
- 286 auto parking spaces
- Immediate access to the I-215, I-15, and I-210 freeways

(*) Features are to be confirmed



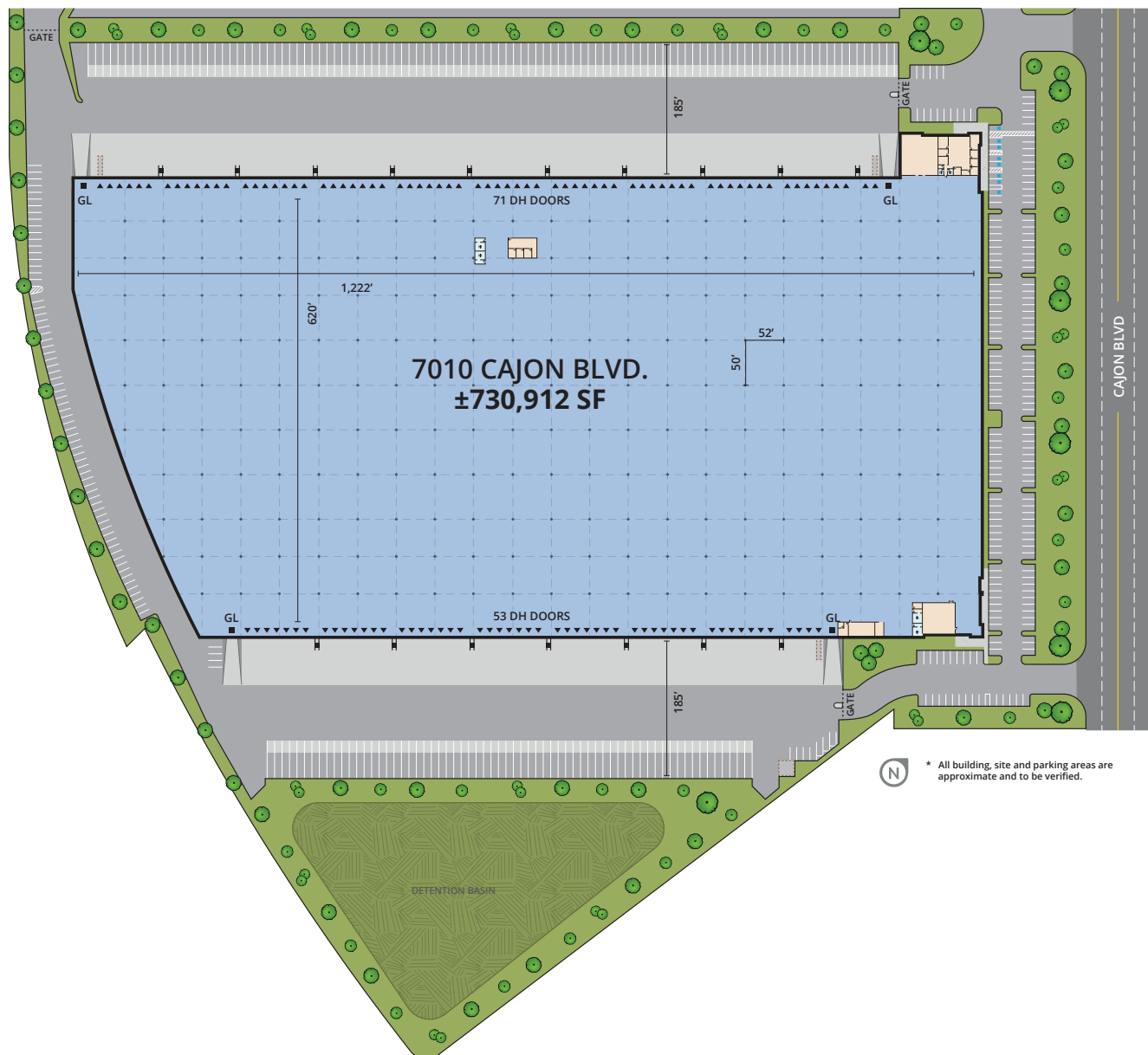
* All city, logistic and building location(s) illustrated in the above map are approximate.

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* All building, site and parking areas are approximate and to be verified.

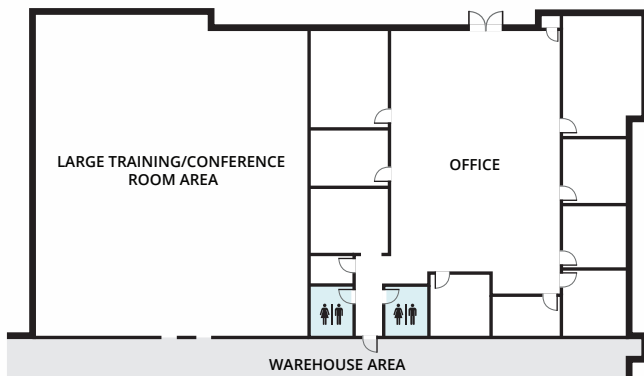
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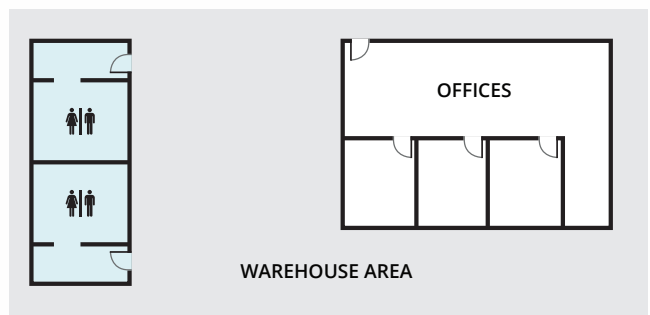
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NEC OFFICE AREA - ±6,250 SF



NORTHERLY SHIPPING OFFICE - ±2,052 SF



SEC SHIPPING OFFICE

SEC OFFICE AREA - ±3,120 SF



** All office areas and square footages reflected are approximate, not to scale, and to be verified.*

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