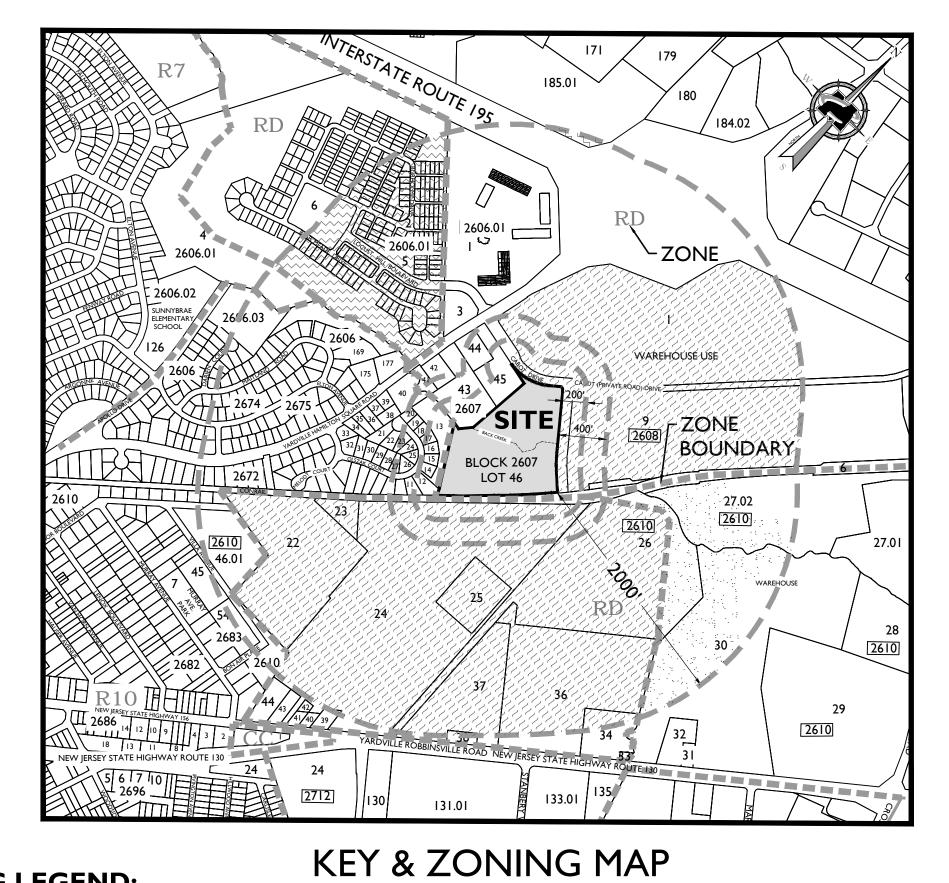
PROPERTY OWNERS WITHIN 200 FT. BLOCK LOT UNJRR & CANAL COMPANY 6 PENN CENTER PLAZA PHILADELPHIA, PA 19104 DANIEL & VALERIE RECCHIA 2607 HAMILTON, NJ 08691 DENISE R. CILIENTO, ETVIR 18 OLSZAK COURT HAMILTON, NJ 08691 TOWNSHIP OF HAMILTON 2090 GREENWOOD AVENUE TRENTON, NJ 08609 2607 JAMES H. TIPPETT, JR 20 OLSZAK COURT HAMILTON, NJ 08691 WILLIAM J. & DENISE A. STEIN 22 OLSZAK COURT TRENTON, NJ 08691 2607 SPENCER & DIANNE SYDORKO 24 OLSZAK COURT HAMILTON, NJ 0869 MICHAEL J. GOYDAN 26 OLSZAK COURT HAMILTON, NJ 08691 PAMELA A. RICH 28 OLSZAK COURT HAMILTON, NJ 08691 ROEBENSONS, LLC 6 POND VIEW LANE TITUSVILLE, NJ 08560 890 YARDVILLE-HAMILTON SQUARE ROAI HAMILTON, NJ 08691 2607 900 YARDVILLE-HAMILTON SQUARE ROAD HAMILTON, NJ 08691 MATRIX HAMILTON LAND, LLC C/O MATRIX FORSGATE DRIVE, CN 4000 RAR2-401 CABOT DRIVE LLC P.O. BOX 4900, DEPARTMENT 207 SCOTTSDALE, AZ 85261 THE I-195 BUSINESS PARK OWNERS ASSOCIATION, INC. 2608 MATRIX FORSGATE DRIVE, CN-4000 RECKSON/MATRIX CABOT DRIVE C/O S-2350 2 NORTH RIVERSIDE PLAZA CHICAGO, IL 60606 2610 MATRIX HAMILTON ROUTE 130 DEVELOPMENT LLC CRANBURY, NJ 08512 2610 MREIC TRENTON, NJ LLC C/O S-1405 101 CRAWFORDS CORNER ROAD HOLMDEL, NJ 07733 **UTILITIES** PSE&G COMPAN MANAGER CORPORATE PROPERTIES 80 PARK PLAZA, T6B NEWARK, NJ 07102 PSE&G COMPANY ATTENTION: DONNA CONSIGLIO 4140 QUAKERBRIDGE ROAD TRENTON, NJ 08648 TRENTON WATER WORKS 333 CORTLAND STREET #2 TRENTON, NJ 08638 AOUA NJ. LLC 10 BLACK FOREST ROAD HAMILTON, NJ 08691

INDEX OF SHEETS SHT LATEST DESCRIPTION **REVISION** COVER SHEET EXISTING CONDITIONS PLAN OVERALL DIMENSION PLAN **DIMENSION PLAN** GRADING PLAN UTILITY PLAN **PROFILES** SOIL EROSION & SEDIMENT CONTROL PLAN SOIL MANAGEMENT AND PREPARATION PLAN SOIL EROSION & SEDIMENT CONTROL DETAILS LANDSCAPE PLAN LIGHTING PLAN LANDSCAPE & LIGHTING DETAILS TREE INVENTORY AND REMOVAL TREE COMPENSATION CALCULATIONS CONSTRUCTION DETAILS CONSTRUCTION DETAILS **CONSTRUCTION DETAILS** CONSTRUCTION DETAILS

PRELIMINARY AND FINAL MAJOR SITE PLAN

PROPOSED WAREHOUSE BLOCK 2607, LOT 46

TOWNSHIP OF HAMILTON MERCER COUNTY, NEW JERSEY



ZONING LEGEND:

- RD RESEARCH DEVELOPMENT R7 SINGLE FAMILY RESIDENTIAL
- RIO SINGLE FAMILY RESIDENTIAL
- CC COMMUNITY COMMERCIAL

APPLICATION NO. XX-XX-XXX

PRELIMINARY/FINAL DATE__

MAP___300____ SECTION_2607_LOT_46

ZONE: RESEARCH DEVELOPMENT (RD) ZONE DISTRICT

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF HAMILTON.

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR A

BOND POSTED IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

DOCUMENTED FLOOD PRONE AREAS

PLANNED RETIREMENT DEVELOPMENT OVERLAY ZONE

PLANNED COMMERCIAL DEVELOPMENT WITHIN PLANNED

MIX-USE RESEARCH & DEVELOPMENT PARKS

I CONSENT TO THE FILING OF HAMILTON.	G OF THIS PLAN WITH THE PLANNING E	SOARD OF TH
E-10-10-10-10-10-10-10-10-10-10-10-10-10-	n, Manager - Malrix Hamilton Land, LLC	DAT
*******	HAVE PREPARED THIS PLAN AND THATCORRECT.	DATI

GENERAL NOTES

- I. THE SUBJECT PROPERTY IS KNOWN AS LOT 46 BLOCK 2607 AS SHOWN ON SHEET 300 OF THE OFFICIAL TAX MAP OF THE TOWNSHIP OF HAMILTON, MERCER COUNTY, NEW JERSEY, DATED APRIL 1996.
- 2. THE PROPERTY IS LOCATED IN THE RD (RESEARCH DEVELOPMENT) ZONE DISTRICT AND CONTAINS A TOTAL
- 3. THE SUBJECT PROPERTY IS PRESENTLY AN UNDEVELOPED PARTIALLY WOODED FIELD. THE APPLICANT PROPOSES PRELIMINARY AND FINAL MAJOR SITE PLAN APPROVAL FOR A 53,960 SF WAREHOUSE BUILDING WITH 8 TRAILER PARKING SPACES, AND 37 CÁR PARKING SPACES, UNDER THE RESEARCH PARK USE REQUIREMENTS OF THE RD

MATRIX HAMILTON LAND, LLC FORSGATE DR. CN 4000

MATRIX REALTY INC. FORSGATE DR. CN 400 CRANBURY, NJ 08512

4.	ZONE DATA: RESEARCH DEVELOPMENT (RD)	REQUIRED	EXISTING	PROPOSED
	MINIMUM LOT AREA	4 AC	17.2 AC	17.2 AC
	MINIMUM LOT WIDTH	300 FT	449 FT	449 FT
	MINIMUM LOT DEPTH	400 FT	898 FT	898 FT
	PRINCIPAL BUILDING			
	MINIMUM FRONT YARD SETBACK	80 FT	-	63 FT (V)
	MINIMUM REAR YARD SETBACK	25 FT (II)	-	640 FT `
	MINIMUM SIDE YARD SETBACK	50 FT `´	-	10 FT (V)
	MINIMUM COMBINED SIDE YARD SETBACK	100 FT	-	91 FT (V)
	MAX. BUILDING HEIGHT	45 FT	-	< 45 FT
	MAX. FLOOR AREA RATIO	0.21 (I)	-	0.07
	MAX. PERCENT LOT IMPERVIOUS COVERAGE	55%	-	13.8%
	LANDSCAPE BUFFER	50 FT	50FT	10 FT (V)

(V) DENOTES A VARIANCE PER ORDINANCE SECTION 550-84. SITE FAR IS REDUCED BASED ON A PERCENTAGE OF WETLANDS AND FLOOD AZARD AREA ON THE SITE. THE REDUCED FAR IS CALCULATED AS FOLLOWS: 17.2 AC (TOTAL SITE) - 5.46 (WETLANDS/FHA) = 11.74 AC

 $(11.74 \text{ AC} + 2.73) \times (0.25) = 3.62 \text{ AC}$ 3.62 AC / 17.2 AC = 0.21 FAR(II) PER ORDINANCE SECTION 550-81.F(5) YARD REQUIREMENTS ADJOINING RAILROADS: THE SIDE AND REAR YARD REQUIREMENTS SHALL BE REDUCED BY 50% WHERE THEY APPLY TO THOSE PORTIONS OF A LOT IMMEDIATELY

ADJOINING AND BOUNDED BY THE RIGHT-OF-WAY OF A RAILROAD. 5. PARKING REQUIREMENTS PER CURRENT ORDINANCE (SEE BELOW FOR CALCULATIONS)

REQUIRED PARKING SPACES = 48,960 X (I SPACE / 750 SF) + 5,000 X (I SPACE / 250 SF) = 86 SPACES PROPOSED CAR PARKING SPACES = 37 SPACES (V)

PARKING REQUIREMENTS PER INFORMATION PROVIDED BY THE TOWNSHIP PLANNER ON NOVEMBER 13, 2019 REGARDING A PROPOSED ORDINANCE (SEE BELOW FOR CALCULATIONS) WAREHOUSE (LISPACE PER 3,000 SE)

REQUIRED PARKING SPACES = 48,960 X (I SPACE / 3,000 SF) + 5,000 X (I SPACE / 250 SF) = 37 SPACES PROPOSED CAR PARKING SPACES = 37 SPACES

6. THE FOLLOWING VARIANCES AND/OR DESIGN WAIVERS ARE REQUESTED FROM THE FOLLOWING ORDINANCE

- A. ORDINANCE SECTION 550-119.F.(2) A VARIANCE IS REQUESTED TO PROVIDE 37 CAR PARKING SPACES WHEREAS 86 ARE REQUIRED PER THE CURRENT ORDINANCE B. ORDINANCE SECTION 550-81.E: THE MINIMUM FRONT YARD SETBACK FOR A BUILDING WITHIN THE RD ZONE (RESEARCH PARK USE) IS 80 FEET. A VARIANCE IS REQUESTED TO PROPOSE A 63 FEET FRONT YARD SETBACK. ÒRDINANCE SECTIOŃ 550-81.E: THE MINIMUM SIDE YARD SETBACK FOR A BUILDING WITHIN THE RD ZONE
- (RESEARCH PARK USE) IS 50 FEET. A VARIANCE IS REQUESTED TO PROPOSE A 10 FOOT SIDE YARD SETBACK ORDINANCE SECTION 550-81.E: THE MINIMUM COMBINED SIDE YARD SETBACK FOR A BUILDING WITHIN THE RD ZONE (RESEARCH PARK USE) IS 100 FEET. A VARIANCE IS REQUESTED TO PROPOSE A 91 FOOT COMBINED ORDINANCE SECTION 550-81.F.(2): WITHIN A RESEARCH PARK, 50 FEET ADJACENT TO THE FRONT LOT LINE
- AND 50 FEET ADJACENT TO ANY LOT LINE SHALL NOT BE USED FOR PARKING AND SHALL BE PLANTED AND MAINTAINED IN LAWN AREA OR GROUND COVER OR LANDSCAPED WITH EVERGREEN SHRUBBERY. THE REQUIRED BUFFER ALONG THE SIDE OR REAR PROPERTY LINES MAY BE REDUCED TO 25 FEET IN WIDTH. A VARIANCE IS REQUESTED TO PROPOSE A PARKING LOT WITHIN THE 50 FOOT FRONT YARD BUFFER AND THE PRINCIPAL BUILDING AND PARKING LOT WITHIN THE 25 FOOT SIDE YARD BUFFER.
- ORDINANCE SECTION 550-81.F.(3): ANY PARKING PROPOSED WITHIN THE FRONT YARD SHALL BE SCREENED BY 32. ALL TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM UNDERGROUND UTILITIES. A LANDSCAPED BERM OF AT LEAST 4 ½ FEET IN HEIGHT AND HAVING A SLOPE OF 3 TO 1. A VARIANCE IS REQUESTED TO PROPOSE LANDSCAPING ONLY TO SCREEN THE PARKING WITHIN THE FRONT YARD ORDINANCE SECTION 550-81.F.(4): A MINIMUM BUFFER AREA OF 150 FEET IN WIDTH SHALL BE PROVIDED ALONG ANY COMMON PROPERTY LINE WITH A RESIDENTIAL DISTRICT, AND A MINIMUM BUFFER AREA OF 75
- feet in width shall be provided along any common property line with any residential use. a VARIANCE IS REQUESTED TO PROPOSE THE PARKING LOT WITHIN THE SIDE AND FRONT BUFFERS, H. ORDINANCE SECTION 550-119.C.(3): CURBING SHALL BE BELGIAN BLOCK. A DESIGN WAIVER IS REQUESTED TO PROVIDE CONCRETE CURB ON THE ACCESS DRIVEWAY AND TRUCK COURT. ORDINANCE SECTION 550-124.F.(4): THE GROUND SIGNS SHALL BE BACK 50 FEET FROM THE PROPERTY LINE. A
- SIGN WAIVER IS REQUESTED TO PROPOSE GROUND SIGNS 10 FEET FROM THE PROPERTY LINE. ORDINANCE SECTION 550-124.A.(2): NO FREESTANDING OR ATTACHED SIGN SHALL BE HIGHER AT ANY POINT THAN THE ROOF! INF OF THE BUILDING OR 25 FEET, WHICHEVER IS LOWER, EXCEPT THAT NO SIGN SHALL EXCEED ANY LESSER HEIGHT IF PARTICULARLY SPECIFIED. A DESIGN WAIVER IS REQUESTED TO PROPOSE AN ATTACHED SIGN GREATER THAN 25 FEET.
- LARGE-GROWING DECIDUOUS TRÉES SHALL BE PLANTED USING A RATIO OF 100 TREES PLANTED FOR EVERY ONE ACRE OF WOODLAND LOST. TREES SHALL BE A MINIMUM OF 1 1/2" TO 2" CALIPER AT TIME OF PLANTING. THERE ARE 158 ACRES OF WOODLAND TO BE REMOVED, REQUIRING 158 COMPENSATION TREES. A DESIGN WAIVER IS REQUESTED TO PROPOSE 26 COMPENSATION
- L. ORDINANCE SECTION 550-130.A.(15): AT LEAST ONE TREE SHALL BE PLANTED FOR EVERY 10 PARKING SPACES IN OFF STREET PARKING AREAS. A DESIGN WAVIER IS REQUESTED TO PROPOSE 3 TREES, WHEREAS 4 TREES ARE
- 7. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED FOR MATRIX HAMILTON LAND, LLC BLOCK 2607, LOT 46, TOWNSHIP OF HAMILTON, MERCER COUNTY, NEW JERSEY" PREPARED BY BOWMAN CONSULTING GROUP, LTD.,
- 8. THE LIMITS OF FRESHWATER WETLANDS SHOWN HEREON WERE FIELD DELINEATED BY JOHN ALEXANDER, P.L.S. OF 40. AS A CONDITION OF APPROVAL, THE APPLICANT SHALL BE REQUIRED TO SUBMIT THE FOLLOWING UPON BOWMAN CONSULTING GROUP, LTD. AND VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION WITH A LETTER OF INTERPRETATION DATED: JUNE 11, 2019. (FILE NO.1103-05-0012.1, ACTIVITY NO.
- 9. 100 YEAR FLOODPLAINS ARE PRESENT ON THE SITE AS SHOWN ON THE SITE PER THE FLOOD INSURANCE MAP FOR THE TOWNSHIP OF HAMILTON, MERCER COUNTY, NEW JERSEY, DATED: JULY 20, 2016, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL ID NUMBER 340246-0233-F.
- 10. SOIL TEST PIT LOCATIONS HEREON ARE SHOWN IN A REPORT TITLED "GEOTECHNICAL INVESTIGATION," DATED DECEMBER 10, 2010, PREPARED BY MELICK-TULLY AND ASSOCIATES, P.C.,
- II. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN
- A. NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE
- CONSTRUCTION", 2019; AS SUPPLEMENTED B. TOWNSHIP CONSTRUCTION DETAILS AS REVISED TO FEBRUARY 2007, CURRENT PREVAILING MUNICIPAL,
- COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS. C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

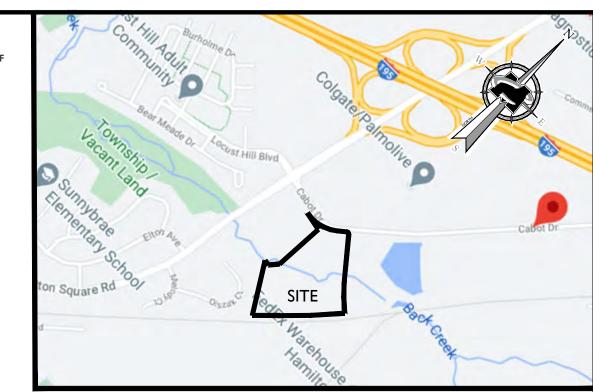
- 13. WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE ON CABOT DRIVE, OWNED AND OPERATED BY THE TRENTON WATER WORKS. PROPOSED WATER MAIN SERVICES AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS, AMERICAN WATERWORKS ASSOCIATION STANDARDS. PIPE
- MATERIALS SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TYPE COATING OR AWWA C-900. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF 14. SANITARY SEWER SERVICE SHALL BE PROVIDED BY A GRAVITY SEWER CONNECTION TO THE EXISTING SEWER MAIN ON CABOT DRIVE. OWNED AN OPERATED BY THE HAMILTON TOWNSHIP DEPARTMENT OF WATER POLLUTION CONTROL. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS.

PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER

- DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 3 FEET OF COVER FROM THE TOP OF PIPE TO 15. ALL WATER MAINS AND SANITARY OR SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER
- IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE. THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (THAT IS DUCTILE IRON PIPE WITH MECHANICAL RESTRAINT IOINTS), WITH WATERTIGHT IOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN. CONTRACTOR SHALL USE TRANSITION COUPLING, POWERSEAL MODEL #3501-8AAB OR EQUIVALENT AT DIP/PVC JOINTS

LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE

- 16. GAS, FLECTRIC, LIGHTING, CABLETELEVISION, AND FLECTRICAL SERVICE PLANS, IE REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- 17. ALL UTILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL TELEPHONE, TELEVISION AND OTHER COMMUNICATIONS) SHALL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
- 18. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NO REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY
- 19. STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRÌCATED GASKET (TYLÓX SUPERSEAL OR EQUIVALENT), 16 GAUGE ALUMINIZED TYPE II COATED CORRUGATED PIPE (CMP), ADS N-12 HIGH DENSITY POLYETHYLENE PIPE WITH WATER TIGHT JOINTS (HDPE), HANCOR SURE-LOK HIGH DENSITY POLYETHYLENE PIPE WITH WATER TIGHT JOINTS (HDPE) OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION, PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. ALL STORM STRUCTURES SHALL BE PRECAST AND DESIGNED FOR AASHTO HS-20 LOADS.
- 20. REFUSE AND RECYCLABLES SHALL BE STORED WITHIN THE COMPACTOR SHOWN HEREON AND PICKED UP BY
- 21. CURBS SHALL BE DEPRESSED FLUSH WITH PAVEMENT, AND HANDICAPPED ACCESSIBLE RAMPS INSTALLED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME. DETECTABLE WARNINGS SHALL BE INCLUDED ON HANDICAP ACCESSIBLE RAMPS LOCATED ON PUBLIC ROADWAYS AND WHERE OTHERWISE DIRECTED BY A REGULATORY AGENCY HAVING JURISDICTION.



- 22. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. ALL SIGN POSTS SHALL BE GALVANIZED BREAK-AWAY STEEL "U" POSTS.
- 23. THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY 24 RI III DINIG FOOTPRINIT DIMENSIONS SHOWN HEREON ARE APPROXIMATE FINAL RI III DINIG FOOTPRINIT

DIMENSIONS FOR THE BUILDING SHALL BE FURNISHED AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. AL

BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO

- STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS 25. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADIACENT AND SURROUNDING PHYSICAL CONDITIONS.
- THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED, ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN

THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN

CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.

STAMPED "ISSUED FOR CONSTRUCTION".

27 EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIEY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS. TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIFLD CONDITIONS ENCOUNTERED DIFFER

MATERIALLY FROM THOSE REPRESENTED HEREON, SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON

28. THIS PLAN IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE NVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS

THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY

- 30. THE OPERATION AND MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND SHALL BE PASSED TO ANY SUCCESSIVE OWNER.
- 31. ALL UTILITIES ARE THE RESPONSIBILITY OF THE APPLICANT
- 33. ALL STRUCTURES (STORM INLETS, MANHOLES, SANITARY MANHOLES, ETC.) SHALL BE PRECAST. ALL CONCRETE AND CONCRETE STRUCTURES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI.
- 34 INSIDE DROP MANHOLES AND FLOOR DRAINS SHALL NOT BE INSTALLED WITHIN THE COLLECTION SYSTEM GARBAGE DISPOSALS AND FLOOR DRAINS SHALL NOT BE CONNECTED TO THE SANITARY SEWER 35. ALL TRAFFIC CONTROL STRIPING AND PAVEMENT MARKINGS SHALL BE LONG LIFE THERMOPLASTIC. PARKING
- SPACE STRIPING SHALL BE LONG LIFE EPOXY RESIN. ALL STRIPING SHALL BE PER MUTCD AND NJDOT STANDARDS THE MAINTENANCE PLAN AND ANY FUTURE REVISIONS SHALL BE RECORDED UPON THE DEED OF RECORD FOR
- EACH PROPERTY ON WHICH THE MAINTENANCE DESCRIBED IN THE MAINTENANCE PLAN MUST BE UNDERTAKEN. APPLICANT SHALL SUBMIT FOR REVIEW AND APPROVAL PRIOR TO FILING. APPLICANT WILL NEED TO PROVIDE PROOF OF THE FILED DEED.
- 37. THE APPLICANT SHALL MAINTAIN A DETAILED LOG OF ALL PREVENTATIVE AND CORRECTIVE MAINTENANCE FOR THE STRUCTURAL STORMWATER MANAGEMENT MEASURES INCORPORATED INTO THE DESIGN OF THE DEVELOPMENT, INCLUDING A RECORD OF ALL INSPECTIONS AND COPIES OF ALL MAINTENANCE-RELATED WORK
- 38. THE APPLICANT SHALL EVALUATE THE EFFECTIVENESS OF THE MAINTENANCE PLAN AT LEAST ONCE PER YEAR AND ADJUST THE PLAN AND THE DEED AS NEEDED.
- 39. ONCE THE PROJECT IS COMPLETED, APPLICANT SHALL SUBMIT AN ANNUAL INSPECTION REPORT PREPARED BY A PROFESSIONAL ENGINEER LICENSED IN NEW IERSEY OR A NEW IERSEY CERTIFIED STORMWATER INSPECTOR TO THE TOWNSHIP OF HAMILTON DEPARTMENT OF COMMUNITY PLANNING AND COMPLIANCE, DIVISION OF NGINEERING, BY JUNE 30 EACH YEAR.
- COMPLETION OF CONSTRUCTION AND PRIOR TO RELEASE OF ANY PERFORMANCES GUARANTEES:
- A. AS-BUILT DRAWINGS PREPARED BY A NJ LICENSED LAND SURVEYOR FOR THE DRAINAGE SYSTEM AND DETENTION FACILITIES. ENGINEER'S CERTIFICATION THAT THE DETENTION FACILITIES HAVE BEEN CONSTRUCTED IN ACCORDANCE VITH APPROVED PLANS AND APPROPRIATE DETENTION SIZE AND VOLUME OF STORAGE IS PROVIDED. THE CERTIFICATION SHOULD INCLUDE A TABLE COMPARING THE DESIGN STORAGE VOLUMES TO THE AS-BUILT
- POST-CONSTRUCTION SOIL PERMEABILITY TESTS SHALL BE PERFORMED AS PER NIDEP STORMWATER BEST MANAGEMENT PRACTICES MANUAL APPENDIX E SECTION 46 AND SUBMITTED TO HAMILTON TOWNSHIP FOR
- 41. THE CONTRACTOR SHALL PROVIDE THE TOWNSHIP ENGINEER A CONSTRUCTION SCHEDULE PRIOR TO
- 42. THE APPLICANT SHALL SUBMIT THE UTILITY PLAN TO THE DEPARTMENT OF WATER POLLUTION (WPC) AT THE
- COMPLETION OF THE PROJECT. THE FILE SHALL BE A CAD-GENERATED DATA FILE.
- 43. THE APPLICANT SHALL SUBMIT THE AS-BUILT PLAN ON CD IN PDF FORMAT TO THE DEPARTMENT OF WATER
- 44. ALL WORK IS TO BE DONE IN ACCORDANCE WITH NJDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", EDITION 2019 AND THE "TOWNSHIP CONSTRUCTION DETAILS" AS REVISED TO FEBRUARY 2007.
- 45. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

ADA INSTRUCTIONS TO CONTRACTOR:

CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE,

- PARKING SPACES AND PARKING AISLES SLOPE SHALL NOT EXCEED 1:48 (L/4" PER FOOT OR NOMINALLY 2.0%)
- CURB RAMPS- SLOPES SHALL NOT EXCEED 1:12 (8.3%).

BACKGROUND WITH WHITE STRIPING.

- LANDINGS -SHALL BE PROVIDED AT EACH END OF RAMPS. SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL, (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH), THE SLOPE SHALL BE NO GREATER THAN I :20 (5.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED I:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE.
- WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BÈ PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS ND "LEVEL" LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1:48 (L/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
- DOORWAYS SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THÂN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHER WISE PERMITTED BY ADA TANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS)
- IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK. I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES

STRIPING- THE INTERNATIONAL SYMBOLS FOR ACCESSIBLE PARKING PAVEMENT MARKING SHALL HAVE A BLUE

TOWNSHIP ENGINEER	DATE

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

> HAMILTON TWP. APP. #??-??-?? NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

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PRELIMINARY AND FINAI MAJOR SITE PLAN

> **PROPOSED** WAREHOUSE

> > BLOCK 2607,

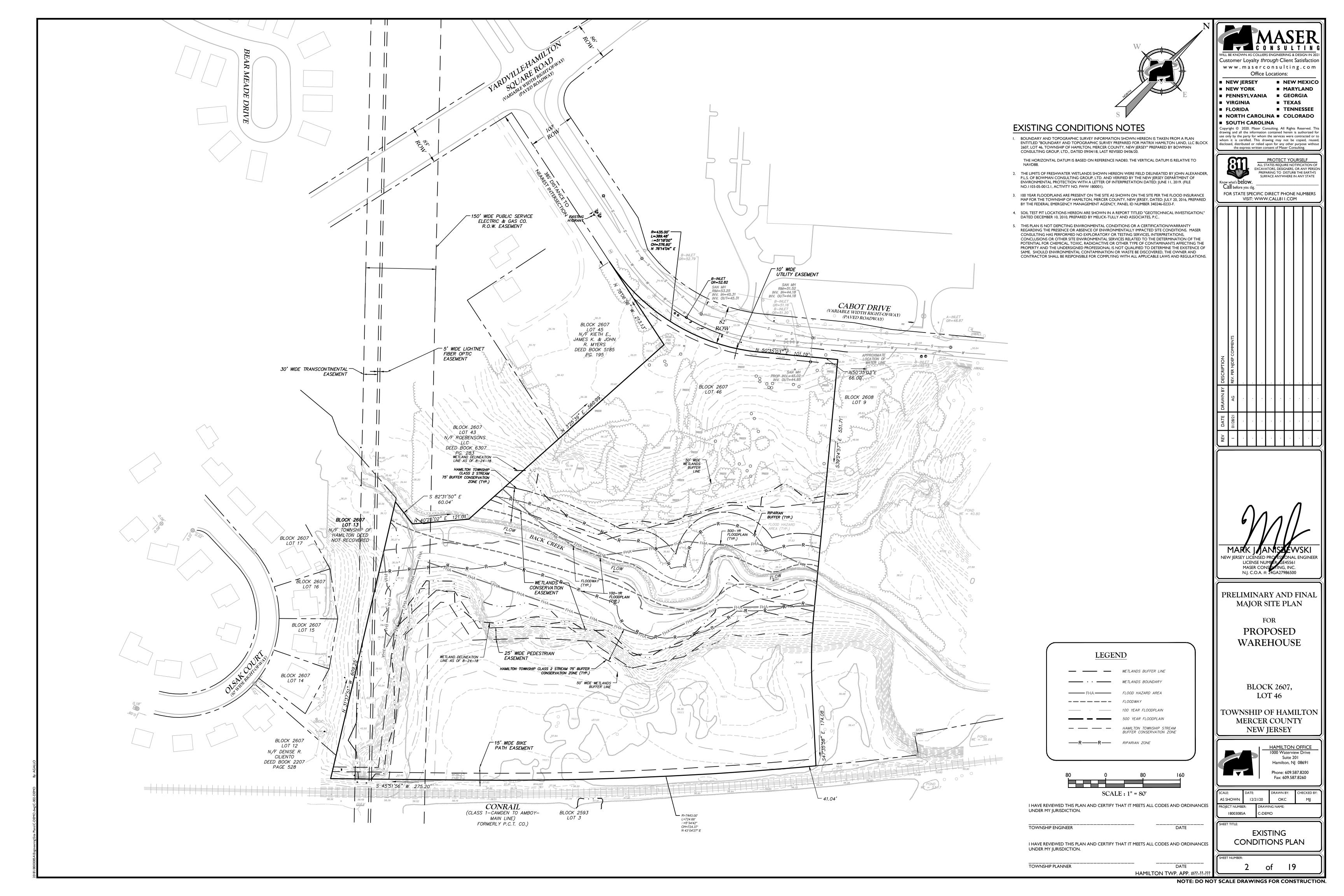
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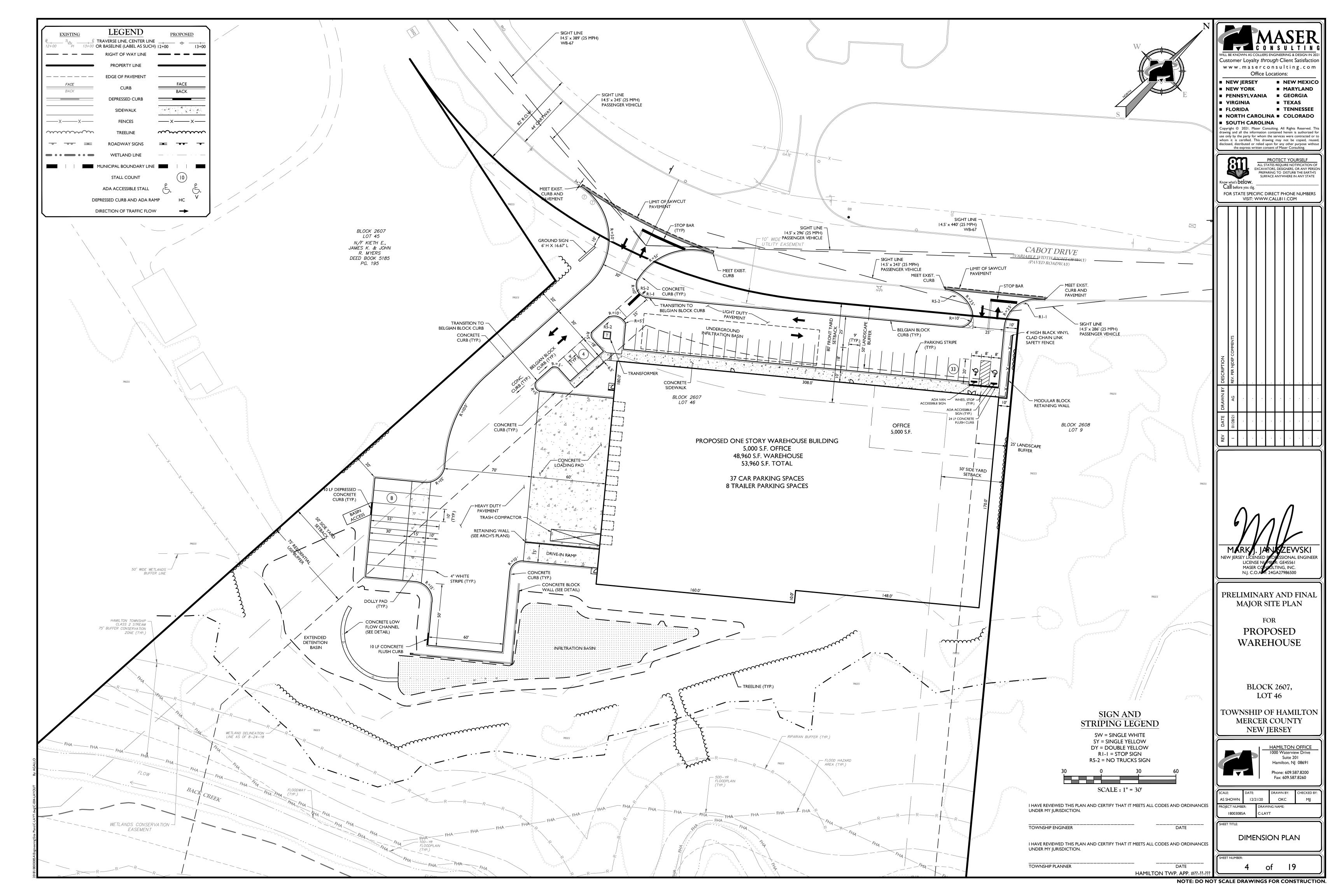
TOWNSHIP OF HAMILTON MERCER COUNTY **NEW JERSEY**

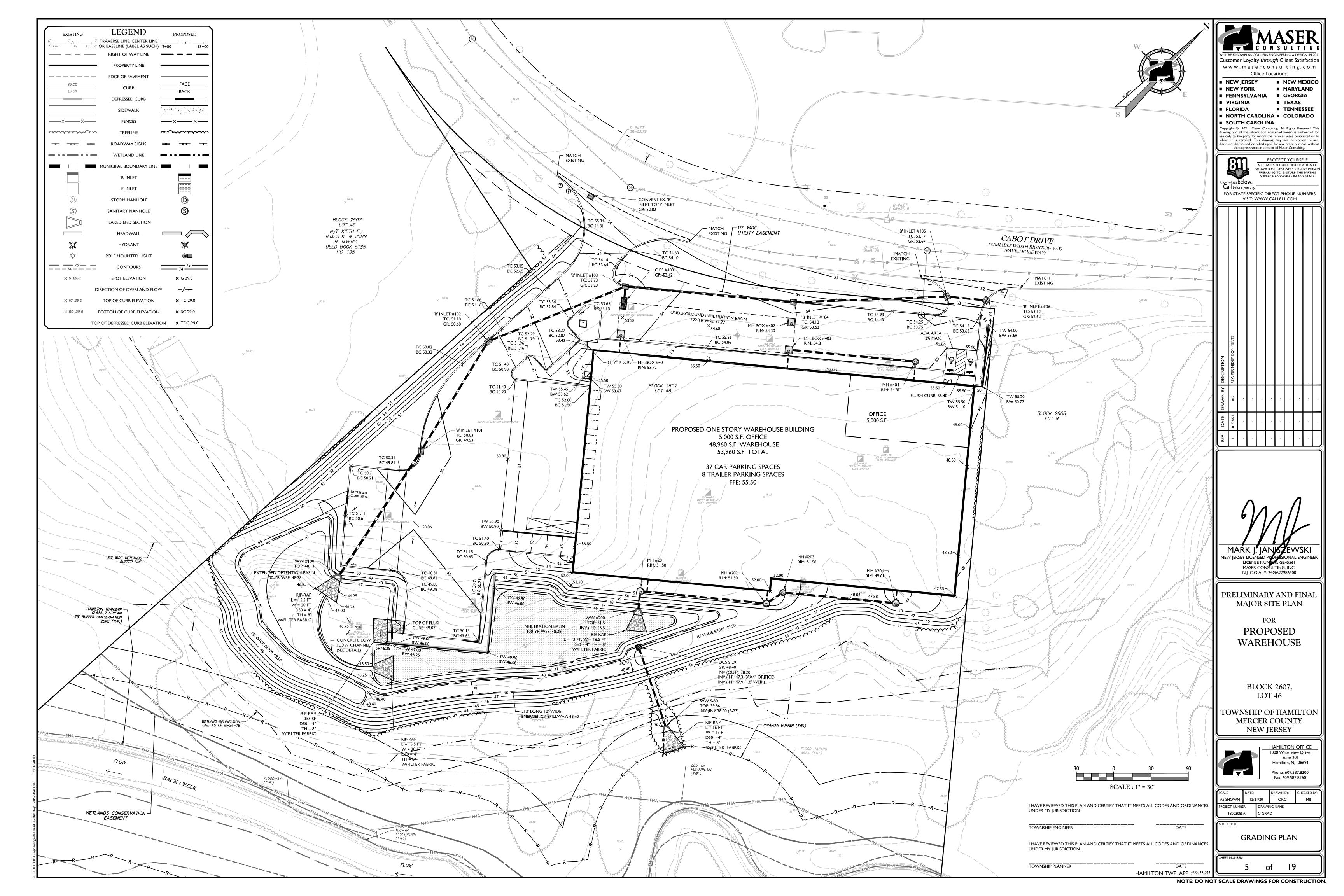


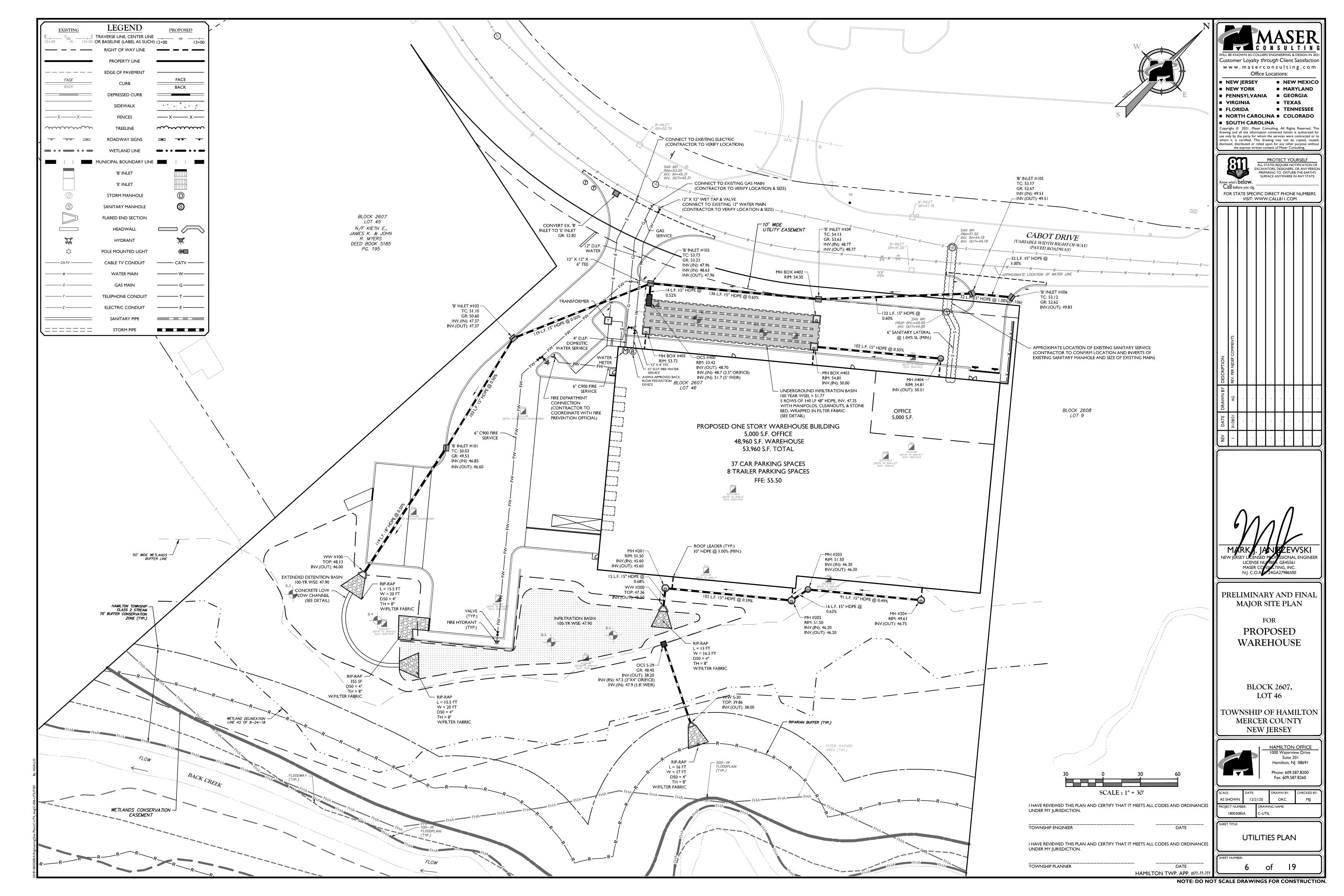
Phone: 609.587.8200 Fax: 609.587.8260

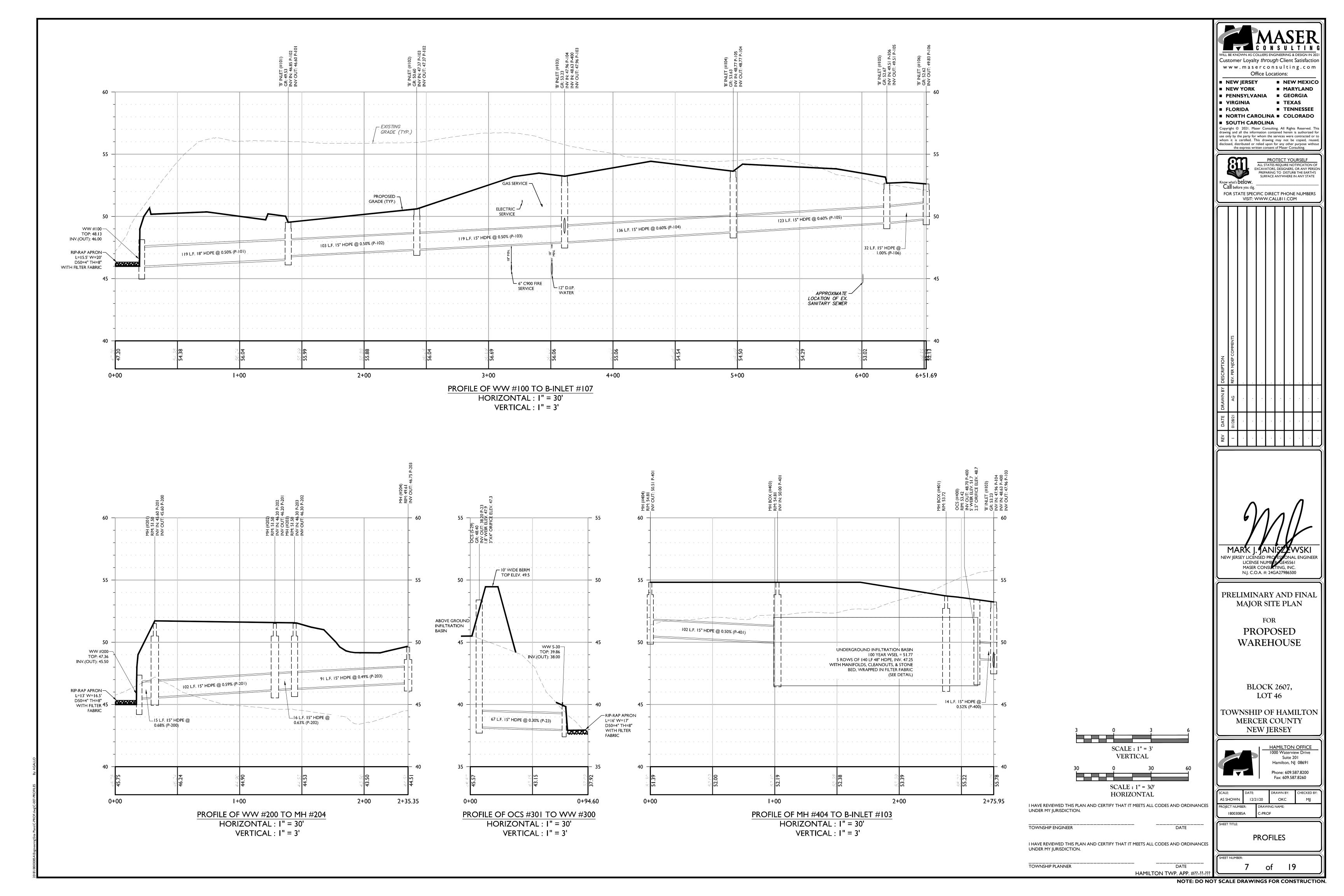
COVER SHEET

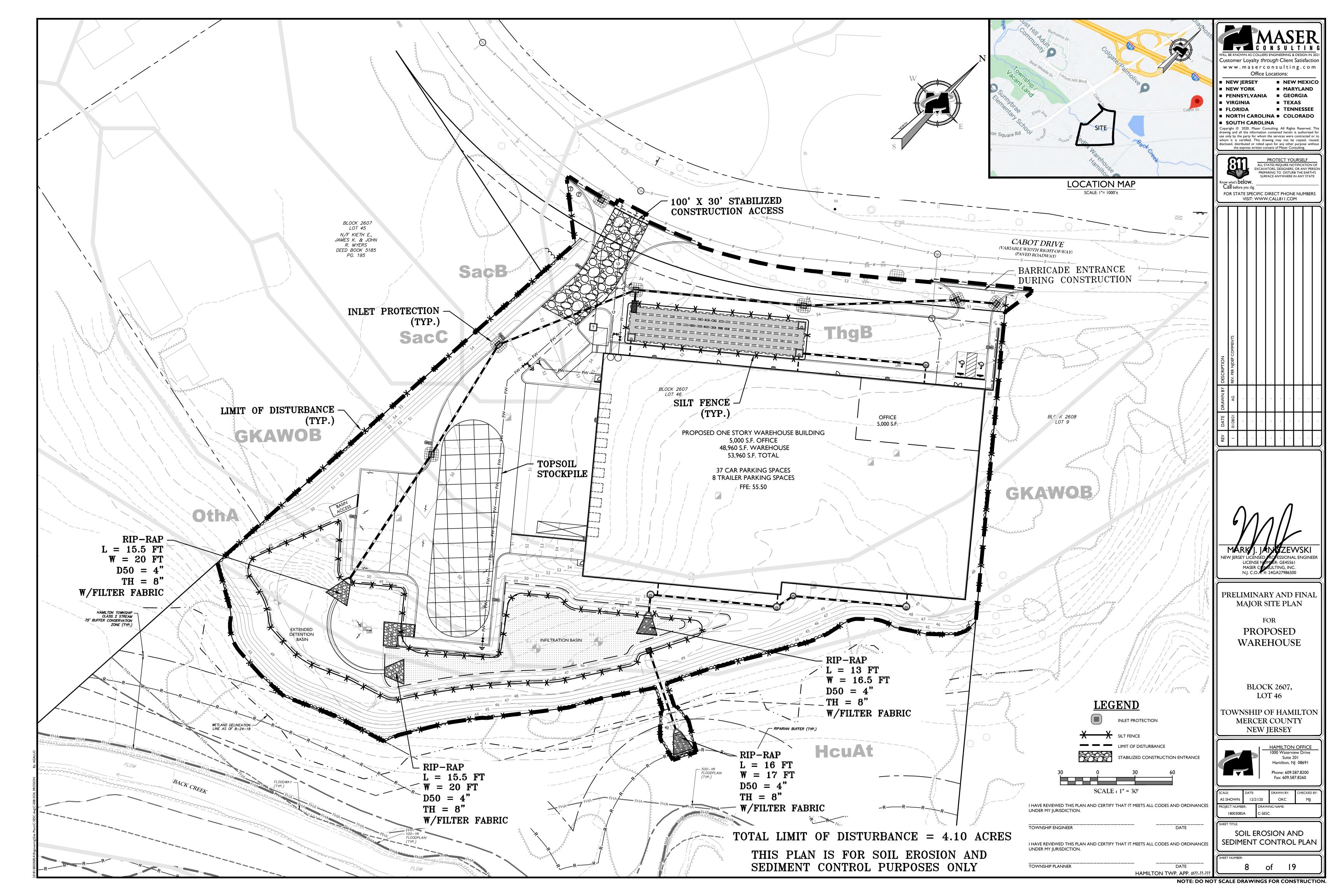


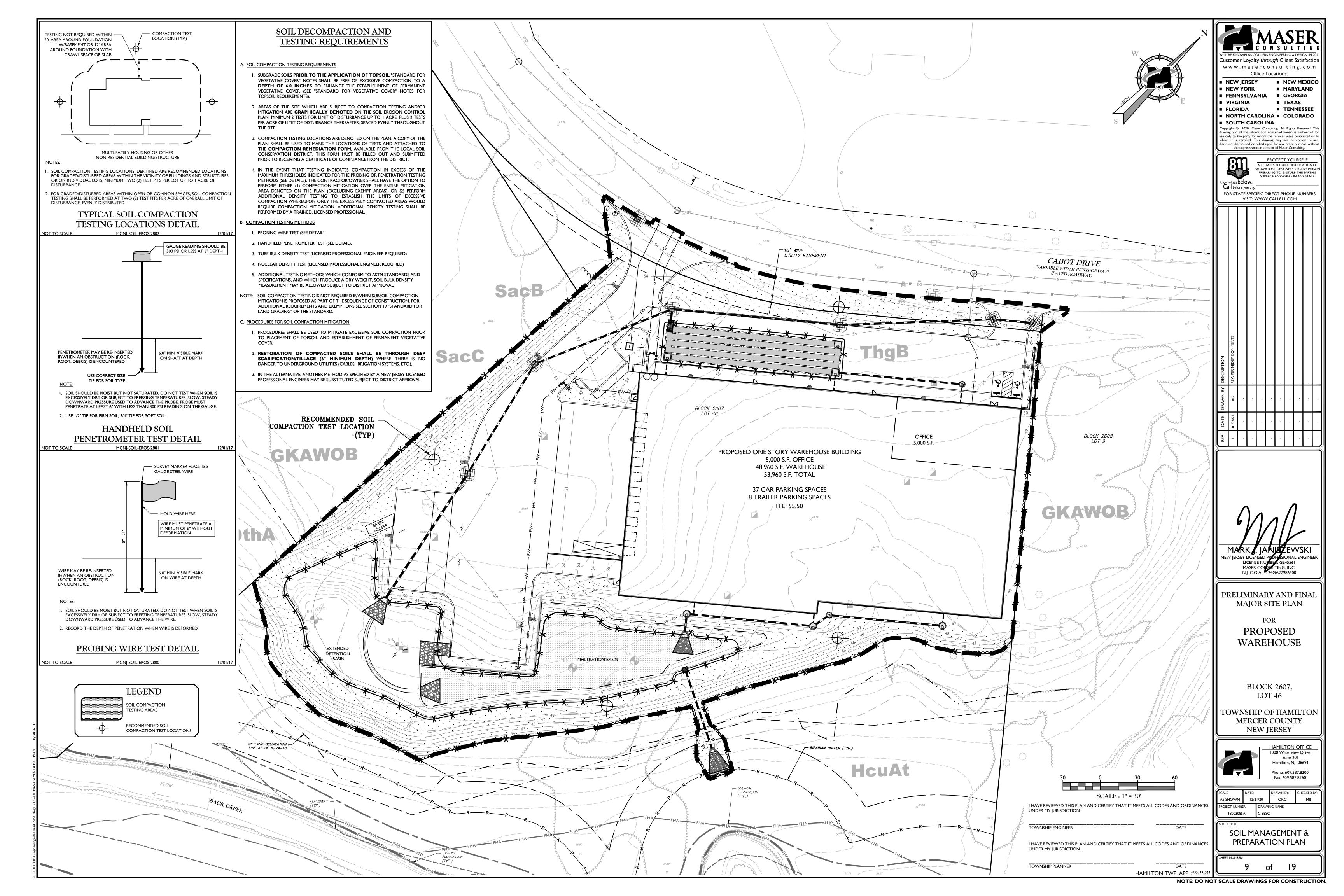












MERCER COUNTY SOIL EROSION AND SEDIMENT CONTROL NOTES

- THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO STARTING LAND DISTURBANCE ACTIVITY. NOTICE MAY BE MAILED, FAXED OR EMAILED MCSCD, 508 HUGHES DRIVE, HAMILTON SOUARE, NI 08690 HONE: 609-586-9603 FAX: 609-586-1117 EMAIL: MERCERSOIL@AOL.CON
- IF APPLICABLE TO THIS PROJECT, THE OWNER SHOULD BE AWARE OF HIS OR HER OBLIGATION TO FILE FOR A NIPDES CONSTRUCTION ACTIVITY STORMWATER 5G3 PERMIT (NIG00883: VIA THE NJDEP ONLINE PERMITTING SYSTEM (WWW.NJ.GOV/DEP/ONLINE) AND TO MAINTAIN THE ASSOCIATED BEST MANAGEMENT PRACTICES AND STORMWATER POLLUTION PREVENTION PLAN SELF-INSPECTION LOGBOOK ONSITE AT ALL TIMES. THIS PERMIT MUST BE FILED PRIOR TO THE START OF SOIL DISTURBANCE. THE ONLINE APPLICATION PROCESS WILL REQUIRE ENTRY OF AN SCD CERTIFICATION CODE, WHICH IS PROVIDED BY THE SOIL CONSERVATION DISTRICT UPON CERTIFICATION OF THE SOIL EROSION AND SEDIMENT CONTRO
- THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, INCLUDING AN INCREASE IN THE LIMIT OF DISTURBANCE, WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RECERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION & SEDIMENT CONTRO
- A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.
- ALL SOIL FROSION AND SEDIMENT CONTROL PRACTICES SHALL RE INSTALLED PRIOR TO ANY MAIOR SOIL DISTLIBRANCES OR IN THEIR PROPER SEQUENCE AS QUITLINED WITHIN THE
- PERMIT FOR THIS PROJECT IS MORE RESTRICTIVE THAN (BUT NOT CONTRADICTORY TO) WHAT IS CONTAINED WITHIN THESE NOTES OR ON THE CERTIFIED SOIL EROSION AN SEDIMENT CONTROL PLAN, THEN THE MORE RESTRICTIVE PERMIT REQUIREMENTS SHALL BE FOLLOWED.
- the standard for stabilized construction access requires the installation of a 1½" to 2½" clean stone tracking pad at all construction drivew, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE, WHETHER IDENTIFIED ON THE CERTIFIED PLAN OR NOT. THE WIDTH SHALL SPAN THE FULL WIDTH OF EGRESS, AND LENGTH SHALL BE 5: ft. Or more, depending on site conditions and as required by the standard. This shall include individual lot access points within residential subdivisions. 'HE EGRESS IS TO A COUNTY ROAD, THEN A 20 FT. LONG PAVED TRANSITION SHALL BE PROVIDED BETWEEN THE EDGE OF PAVEMENT AND THE STONE ACCESS PAI
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AN PARKING AREAS, IN AREAS WHERE NO UTILITIES ARE PRESENT. THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING, PROVIDED THAT ALL OTHE REQUIREMENTS RELATED TO DETENTION BASINS, SWALES AND THE SEQUENCE OF CONSTRUCTION HAVE BEEN MET.
- any stockpiles or disturbed areas that will be left exposed more than fourteen (14) days and not subject to construction activity will immediately received. TEMPORARY STABILIZATION. IF THE SEASON PREVENTS ESTABLISHMENT OF A TEMPORARY VEGETATIVE COVER, OR IF THE AREA IS NOT TOPSOILED, THEN THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS. SLOPED AREAS IN EXCESS OF 3H:IV SHALL BE PROVIDED WITH EROSION CONTROL BLANKETS, CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS, ENVIRONMENTALLY SENSITIVE AREAS) WILL RECEIVE TEMPORARY STABILIZATION IMMEDIATELY AFTER INITIAL DISTURBANCE OR ROUGH GRADING
- ANY STEEP SLOPES (I.E. SLOPES GREATER THAN 3:1) RECEIVING PIPELINE OR UTILITY INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS. PERMANENT VEGETATION SHALL BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING AND TOPSOILING. ALL AGRONOMIC REQUIREMENT
- CONTAINED WITHIN THE STANDARDS AND ON THE CERTIFIED PLAN SHALL BE EMPLOYED. MULCH WITH BINDER, IN ACCORDANCE WITH THE STANDARDS, SHALL BE USED ON AI SEEDED AREAS. SAVE ALL TAGS AND/OR BAGS USED FOR SEED, LIME AND FERTILIZER, AND PROVIDE THEM TO THE DISTRICT INSPECTOR TO VERIFY THAT MIXTURES AND RATES MEET TH
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABL ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER. SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AN render it suitable for vegetative ground cover, if the removal or treatment of the soil will not provide suitable conditions, then non-vegetative means o PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- DURING THE COURSE OF CONSTRUCTION, SOIL COMPACTION MAY OCCUR WITHIN HAUL ROUTES, STAGING AREAS AND OTHER PROJECT AREAS, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING, COMPACTED SURFACES SHOULD BE SCARIFIED 6" TO 12" IMMEDIATELY PRIOR TO TOPSOIL APPLICATION. THIS WILL HELP ENSURE A GOOD BOND BETWEEN THE TOPSOIL AND SUBSOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- PRIOR TO SEEDING, TOPSOIL SHALL BE WORKED TO PREPARE A PROPER SEEDBED. THIS SHALL INCLUDE RAKING OF THE TOPSOIL AND REMOVAL OF DEBRIS AND STONES, ALONG WIT OTHER REQUIREMENTS OF THE STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE BURIE WITH LIMESTONE IN ACCORDANCE WITH THE STANDARD AND BE COVERED WITH A MINIMUM OF 12" OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO TOPSOIL APPLICATION AND SEEDBED PREPARATION. IF THE AREA IS TO RECEIVE TREE OR SHRUB PLANTINGS, OR IS LOCATED ON A SLOPE, THEN THE AREA SHALL BE COVERED WITH A MINIMUM OF 24" OF SOI
- mulching to the standards is required for obtaining a conditional report of compliance. Conditional roc's are only issued when the season prohibit. SEEDING PERMANENT STABILIZATION MUST THEN BE COMPLETED DURING THE OPTIMUM SEEDING SEASON IMMEDIATELY FOLLOWING THE CONDITIONAL ROC OR THE COMPLETION
- hydroseeding is a two-step process. The first step includes seed, fertilizer, lime, etc., along with minimal amounts of mulch to promote consistency, goo SEED-TO-SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF THE SEEDING OPERATION, HYDROMULCH SHOULD BE APPLIED AT A MINIMUM RATE O 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE STANDARDS. THE USE O
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF THE CONSTRUCTION PROJECT. ALL SEDIMENT WASHED, DROPPED, TRACKED OR SPILLED ONTO PAVED SURFACES SHALL BE IMMEDIATELY REMOVED
- THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION, AND FOR EMPLOYING ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AT THE REQUEST OF THE MERCER COUNTY SOIL CONSERVATION DISTRIC
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL all detention / retention basins must be fully constructed (inclusive of all structural components and liners) and permanently stabilized prior to paving (
- PRIOR TO THE ADDITION OF ANY IMPERVIOUS SURFACES, PERMANENT STABILIZATION INCLUDES, BUT MAY NOT BE LIMITED TO: TOPSOIL, SEED, STRAW MULCH AND BINDERS OF erosion control blankets on all seeding, all agronomic requirements as specified on the certified soil erosion and sediment control plan, installation o the outflow control structures and discharge storm drainage piping, low flow channels, conduit outlet protection, emergency spillways, and lap rin
- THE RIDING SURFACE OF ALL UTILITY TRENCHES WITHIN PAVED AREAS SHALL BE 3/4" CLEAN STONE OR BASE PAVEMENT UNTIL SUCH TIME AS FINAL PAVEMENT HAS BEEN INSTALLED
- ALL CONSTRUCTION DEWATERING (TRENCHES, EXCAVATIONS, ETC.) MUST BE DONE THROUGH AN INLET OR OUTLET FILTER IN ACCORDANCE WITH THE STANDARD FOR DEWATERI OR AS DEPICTED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. DISCHARGE LOCATIONS FOR THE DEWATERING OPERATION MUST CONTAIN PERENNI.
- all swales or channels that will receive runoff from paved surfaces must be permanently stabilized prior to the installation of pavement. If the season PROHIBITS THE ESTABLISHMENT OF PERMANENT STABILIZATION, THE SWALES OR CHANNELS MAY BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE STANDARDS.
- NISA 4-24-39 FT SEO. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY RE ISSUED BY THE MUNICIPALITY REFORE THE PROVISIONS OF TH CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN SATISFIED. THEREFORE, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS MUST BE COMPLETED BEFORE THE DISTRICT ISSUES A REPORT OF COMPLIANCE OR CONDITIONAL REPORT OF COMPLIANCE, WHICH MUST BE FORWARDED TO TH MUNICIPALITY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY, RESPECTIVELY,

MITIGATION NOTES FOR ACIDIC SOIL

LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH-ACID PRODUCING SOILS ARE ENCOUNTERED.

- TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOILS
- STOCKPILES OF HIGH ACID-PRODUCING SOIL SHOULD BE LOCATED ON LEVEL LAND TO MINIMIZE ITS MOVEMENT, ESPECIALLY WHEN THIS MATERIAL HAS A HIGH CLAY CONTENT FEMPORARILY STOCKPILED HIGH ACID-PRODUCING SOIL MATERIAL TO BE STORED MORE THAN 48 HOURS SHOULD BE COVERED WITH PROPERLY ANCHORED. HEAVY GRADE SHEETS OI DLYETHYLENE WHERE POSSIBLE. IF NOT POSSIBLE, STOCKPILES SHALL BE COVERED WITH A MINIMUM OF 3 TO 6 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE. SIL
- FENCE SHALL BE INSTALLED AT THE TOE OF THE SLOPE TO CONTAIN MOVEMENT OF THE STOCKPILED MATERIAL. TOPSOIL SHALL NOT BE APPLIED TO THE STOCKPILES TO PREVENT high acid producing soils with a ph of 4.0 or less or containing iron sulfide (including borrow from cuts or dredged sediment) shall be ultimately placed
- OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS PER ACRE (OR 450 POUNDS PER 1,000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A pH OF 5.0 OR MORE EXCEPT AS FOLLOWS
- A. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF 24 INCHES OF SOIL WITH A pH OF 5 OR MORE. B. DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24 INCHES OF ANY SURFACE OF A SLOPE OR BANK, SUCH AS BERMS, STREAM BANKS, DITCHES, AND OTHERS, TO PREVENT
- equipment used for movement of high acid-producing soils should be cleaned at the end of each day to prevent spreading of high acid-producing soil MATERIALS TO OTHER PARTS OF THE SITE, INTO STREAMS OR STORMWATER CONVEYANCES, AND TO PROTECT MACHINERY FROM ACCELERATED RUSTING. NON-VEGETATIVE EROSION CONTROL PRACTICES (STONE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHECK DAM, SEDIMENT BARRIER, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH ACID-PRODUCING SOILS FROM, AROUND, OR OFF THE SITE.
- FOLLOWING BURIAL OR REMOVAL OF HIGH ACID-PRODUCING SOIL. TOPSOILING AND SEEDING OF THE SITE (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, PERMANEN VEGETATIVE COVER FOR SOIL STABILIZATION, AND TOPSOILING), MONITORING MUST CONTINUE FOR A MINIMUM OF 6 MONTHS TO ENSURE THERE IS ADEQUATE STABILIZATION AND THAT NO HIGH ACID, PRODUCING SOIL PRORIEMS EMERGE IF PRORIEMS STILL EXIST. THE AFFECTED AREA MUIST RE TREATED AS INIDICATED AROVE TO CORRECT THE PRORIEM

DUST CONTROL

DUST CONTROL METHODS:

- APPLY MULCHES OR VEGETATIVE COVER AS PER NJ SOIL EROSION AND SEDIMENT CONTROL STANDARDS
- TILL AND ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE
- SPRINKLE THE SITE UNTIL THE SURFACE IS WET
- ERECT BARRIERS SUCH AS SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL TO CONTROL AIR CURRENTS AND SOIL
- APPLY CALCIUM CHLORIDE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. NOT SUITABLE ON STEEPER SLOPES NEAR THE STREAMS OR POTENTIALLY ACCUMULATE AROUND PLANTS.
- COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL USE SPRAY-ON ADHESIVE ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS, MATERIALS AS FOLLOWS:

MATERIAL	WATER DILUTION	TYPE OF NOZZLE APPLY GALLONS/ACE		
ANIONIC ASPHALT EMULSION	ALT EMULSION 7:1 COARSE SPRAY 1200		1200	
LATEX EMULSION	12.5:1	FINE SPRAY	235	
resin in water	4:1	FINE SPRAY	300	
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD, P. 26-1			
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200	

SEQUENCE OF CONSTRUCTION

- ATTEND A PRE-CONSTRUCTION MEETING WITH THE MCSCD, DESIGN ENGINEER AND INSPECTING GEOTECHNICAL ENGINEER, CONTRACTOR TO REVIEW ALL NOTES AND REOUIREMENT FOR INFILTRATION BASIN CONSTRUCTION PRIOR TO CONSTRUCTION COMMENCEMENT AND PROVIDE A DETAILED SEQUENCE OF CONSTRUCTION IN ACCORDANCE WITH THIS PLAN.
- CLEARING OF ENTRANCE AND LIMIT OF DISTURBANCE FOR INSTALLATION OF SILT FENCE AND CONSTRUCTION ENTRANCE PADS (I WEEK
- CLEARING, STRIPPING, STOCKPILING, AND ROUGH GRADING (4 WEEKS
- CONSTRUCT STORM SEWER SYSTEM AND STABILIZE ALL ROUGH GRADED AREAS. INSTALL INLET PROTECTION. DO NOT BRING ONLINE THE ABOVE GROUND INFILTRATION BASIN OR THE AND PERMANENT GRASS ESTABLISHED (10 WEEKS).
- CONSTRUCT CURBS AND PLACE ROAD SUBBASE (4 WEEKS).
- CLEAR AND GRADE BUILDING AREAS AND CONSTRUCT BUILDING (6 MONTHS).
- ALL DISTURBED AREAS SHALL BE STABILIZED AS DEFINED IN SOIL EROSION AND SEDIMENT CONTROL NOTES (ONGOING FROM COMMENCEMENT OF PROJECT). ALL SUBSOIL AREAS SHALL BE TESTED/SCARIFIED/AND VERIFIED PRIOR TO THE APPLICATION OF TOP SOII
- PRIOR TO THE SPREAD OF TOPSOIL, CONTRACTOR SHALL PERFORM THE SOIL DECOMPACTION AND TESTING (I WEEK)
- . AFTER ACCEPTANCE OF DECOMPACTION TESTING BY THE SCD DISTRICT AND TOWNSHIP PLANNER, CONTRACTOR SHALL SPREAD A MINIMUM OF 5" OF TOPSOIL IN ALL VEGETATED AREAS.
- ESTABLISH FINISH GRADES AND PLACE PERMANENT VEGETATION COVER. SEEDING SHALL TAKE PLACE DURING THE GROWING SEASON (4 WEEKS AFTER ALL AREAS HAVE STABILIZED, CONSTRUCT ABOVE GROUND INFILTRATION BASIN BY REPLACING ALL UNSUITABLE SOIL AND INSTALLING THE SAND LAYER. THE BELOW GROUND INFILTRATION BASIN SHALL BE BROUGHT ONLINE (4 WEEKS).
- FINAL PAVE PARKING AREAS, COMPLETE PLANT TREES AND COMPLETE FINAL LANDSCAPING.
- REMOVE TEMPORARY ACCESS PROTECTION, SILT FENCE, AND INLET PROTECTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.

CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP)

THE CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE SPPP CONSISTS OF THE REQUIREMENTS IN 2., 3., AND 4. BELOW. THESE REQUIREMENTS BECAME OPERATIVE ON MARC 2004 AND APPLY TO CONSTRUCTION ACTIVITIES THAT COMMENCE ON OR AFTER MARCH 3, 2004. ANY NEW CONSTRUCTION ACTIVITY FOR WHICH AN REA IS SURMITTED ON OR AF MARCH 3. 2004 OR WHICH RECEIVE AUTOMATIC RENEWAL OF AUTHORIZATION UNDER THIS PERMIT AFTER MARCH 3. 2004 ALSO SHALL COMPLY WITH THESE REQUIREMENT:

- MATERIAL MANAGEMENT TO PREVENT OR REDUCE WASTE ANY PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINN CLEANING SOLVENTS AND ACIDS, DETERGENTS, CHEMICAL ADDITIVES, AND CONCRETE CURING COMPOUNDS SHALL BE STORED IN CONTAINERS IN A DRY COVERED ARE MANUFACTURERS' RECOMMENDED APPLICATION RATES, USES, AND METHODS SHALL BE STRICTLY FOLLOWED TO THE EXTENT NECESSARY TO PREVENT OR MINIMIZE THE PRESENCE OF WASTE FROM SUCH MATERIALS IN THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. (THE PRECEDING SENTENCE DOES NOT APPLY TO ANY MANUFACTUR RECOMMENDATIONS ABOUT FERTILIZER OR OTHER MATERIAL THAT CONFLICT WITH THE EROSION AND SEDIMENT CONTROL COMPONENT OF THE FACILITY'S SPPP.)
- WASTE HANDLING THE FOLLOWING REQUIREMENTS APPLY ONLY TO CONSTRUCTION SITE WASTE THAT HAS THE POTENTIAL TO BE TRANSPORTED BY THE STORMWATER DISCHARauthorized by this permit. The handling at the construction site of waste building material and rubble and other construction site wastes, including li AND HAZARDOUS AND SANITARY WASTES, SHALL CONFORM WITH THE STATE SOLID WASTE MANAGEMENT ACT, N.I.S.A. 13:1E-1 ET SEO., AND ITS IMPLEMENTING RULES AT N.I.A.C. 7:26A, AND 7:26G; THE NEW JERSEY PESTICIDE CONTROL CODE AT N.J.A.C. 7:30; THE STATE LITTER STATUTE (N.J.S.A. 13:1É-99.3); AND OSHA REQUIREMENTS FOR SANITATION AT 29 Ć.F.R. (EXCEPT WHERE SUCH CONFORMANCE IS NOT RELEVANT TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT). CONSTRUCTION SITES SHALL HAVE ONE OR MO ESIGNATED WASTE COLLECTION AREAS ONSITE OR ADJACENT TO THE SITE, AND AN ADEQUATE NUMBER OF CONTAINERS (WITH LIDS OR COVERS) FOR WASTE. WASTE SHALL COLLECTED FROM SUCH CONTAINERS BEFORE THEY OVERFLOW, AND SPILLS AT SUCH CONTAINERS SHALL BE CLEANED UP IMMEDIATELY.
- A. CONSTRUCTION SITE WASTES INCLUDE BUT ARE NOT LIMITED TO:

SANITARY SEWAGE AND SEPTAGE

- "CONSTRUCTION AND DEMOLITION WASTE" AS DEFINED IN N.I.A.C. 7-26-1.4 AS FOLLOWS: "WASTE BUILDING MATERIAL AND RURRI E RESULTING FROM CONSTRUCTION, REMODEL repair, and demolition operations on houses, commercial buildings, pavements and other structures. The following materials may be found in constructio AND DEMOLITION WASTE. TREATED AND LINTREATED WOOD SCRAP. TREE PARTS, TREE STUMPS AND BRUSH. CONCRETE, ASPHALT, BRICKS, BLOCKS AND OTHER MASONRY. PLAST AND WALLBOARD; ROOFING MATERIALS; CORRUGATED CARDBOARD AND MISCELLANEOUS PAPER; FERROUS AND NON-FERROUS METAL; NON-ASBESTOS BUILDING INSULATIO PLASTIC SCRAP; DIRT; CARPETS AND PADDING; GLASS (WINDOW AND DOOR); AND OTHER MISCELLANEOUS MATERIALS; BUT SHALL NOT INCLUDE OTHER SOLID WASTE TYPES."
- ANY WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM SUCH OPERATIONS THAT IS HAZARDOUS FOR PURPOSES OF N.J.A.C. 7:26G (THE HAZARDOUS WASTE RULES)
- . DISCARDED (INCLUDING SPILLED) PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, PAINT CHIPS AND SANDBLASTI GRITS, CLEANING SOLVENTS, ACIDS FOR CLEANING MASONRY SURFACES, DETERGENTS, CHEMICAL ADDITIVES USED FOR SOIL STABILIZATION (E.G., CALCIUM CHLORIDE), AND CONCRE
- . Other "Litter," As defined at n.j.s.a. 13:1e-215.d as follows: "any used or unconsumed substance or waste material which has been discarded whether made ALUMINUM, GLASS, PLASTIC, RUBBER, PAPER, OR OTHER NATURAL OR SYNTHETIC MATERIAL, OR ANY COMBINATION THEREOF, INCLUDING, BUT NOT LIMITED TO, ANY BOTTLE, IAR CAN, OR ANY TOP, CAP OR DETACHABLE TAB OF ANY BOTTLE, JAR OR CAN, ANY UNLIGHTED CIGARETTE, CIGAR, MATCH OR ANY FLAMING OR GLOWING MATERIAL OR ANY GÁRBAC TRASH, REFUSE, DEBRIS, RUBBISH, GRASS CLIPPINGS OR OTHER LAWN OR GARDEN WASTE, NEWSPAPERS, MAGAZINES, GLASS, METAL, PLASTIC OR PAPER CONTAINERS OR OTHER PACKAGING OR CONSTRUCTION MATERIAL, BUT DOES NOT INCLUDE THE WASTE OF THE PRIMARY PROCESSES OF MINING OR OTHER EXTRACTION PROCESSES, LOGGING, SAWMILLIN FARMING OR MANUFACTURING.
- CONTAMINATED SOILS ENCOUNTERED OR DISCOVERED DURING EARTHMOVING ACTIVITIES OR DURING THE CLEANUP OF A LEAK OR DISCHARGE OF A HAZARDOUS SUBSTANCE.
- B. CONCRETE WASHOUT CONCRETE WASHOUT ONSITE IS PROHIBITED OUTSIDE DESIGNATED AREAS. WASHOUT ACTIVITIES INCLUDE, BUT NOT LIMITED TO, THE WASHING OF TRUCI CHUTES HOSES MIXERS HOPPERS AND TOOLS
- DESIGNATED WASHOUT AREAS SHALL BE LINED AND BERMED TO PREVENT DISCHARGES TO SURFACE AND GROUNDWATER.
- ii. HARDENED CONCRETE FROM THE CONCRETE WASHOUT WASHOUT SHALL BE REMOVED AND PROPERLY DISPOSED OF iii. THE CONCRETE WASHOUT AREA SHALL BE CLEARLY DESIGNATED WITH A SIGN INDICATING THE AREAS USES.

SPILLS; DISCHARGES OF HAZARDOUS SUBSTANCES; FEDERALLY REPORTABLE RELEASES

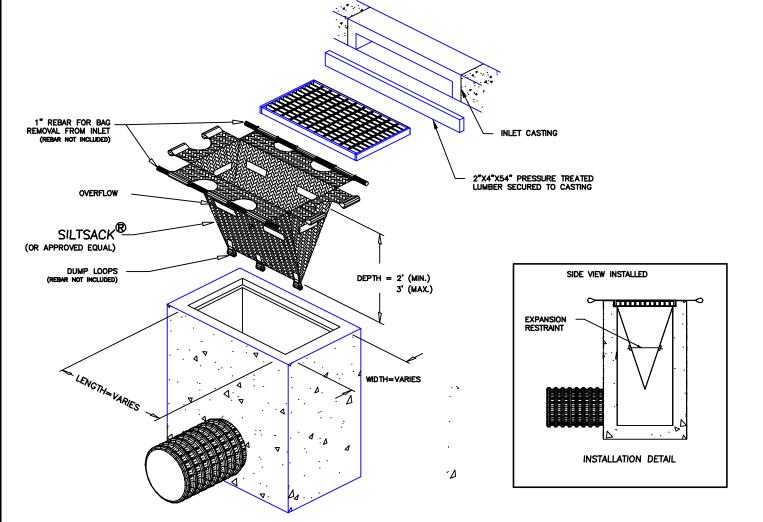
- C. SANITARY SEWAGE/SEPTAGE DISPOSAL DISCHARGES OF RAW SANITARY SEWAGE OR SEPTAGE ONSITE ARE STRICTLY PROHIBITED. ADEQUATE FACILITIES WITH PROPER DISPOSAL SH BE PROVIDED AND MAINTAINED ONSITE OR ADJACENT TO THE SITE FOR ALL WORKERS AND OTHER SANITARY NEEDS.
- A. SPILL KITS SHALL BE AVAILABLE ONSITE OR ADJACENT TO THE SITE FOR ANY MATERIALS THAT ARE LISTED IN 2. ABOVE AND USED OR APPLIED ONSITE. ALL SPILLS OF SUCH MATER SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY. CLEANED UP MATERIALS SHALL BE PROPERLY DISPOSED OF.
- 3. discharges of hazardous substances (as defined in n.j.a.c. 7:1e-1.6) in construction site wastes are subject to the provisions of the spill compensation a CONTROL ACT, N.I.S.A. 58:10-23.11 ET SEQ., AND OF DEPARTMENT RULES FOR DISCHARGES OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE OTHER SUBSTANCES AT N.I.A.C. 7:1E, NO DISCHARGE hazardous substances resulting from an onsite spill shall be deemed to be "pursuant to and in compliance with [this] permit" within the meaning of the sp COMPENSATION AND CONTROL ACT AT N.J.S.A. 58:10-23.11C.
- C. releases in excess of reportable quantities (ro) established under 40 c.f.r. 110. 117. and 302 that occur within a 24-hr period must be reported to the nation

SPPP REQUIRED INSPECTIONS AND REPORTS

- A. THE PERMITTEE SHALL CONDUCT AND DOCUMENT ROUTINE INSPECTIONS OF THE FACILITY TO IDENTIFY AREAS CONTRIBUTING TO THE STORMWATER DISCHARGE AUTHORIZED B THIS PERMIT AND EVALUATE WHETHER THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) IDENTIFIED UNDER E. I OF THE 5G3-CONSTRUCTION ACTIVITY STORMWATER (CPPART I NARRATIVE REQUIREMENTS, INCLUDING THIS SOIL EROSION AND SEDIMENT CONTROL PLAN IS BEING PROPERLY IMPLEMENTED AND MAINTAINED, OR WHETHER ADDITIONAL MEASURES ARE NEEDED TO IMPLEMENT THE SPPP. (ROUTINE INSPECTIONS MINIMUM WEEKLY).
- . Once installation of any required or optional erosion control device or measure has been implemented, routine inspections, minimum weekly, of eac MEASURE SHALL BE PERFORMED BY THE CONTRACTOR'S INSPECTION PERSONNEL AND THE RESULTS RECORDED TO INVENTORY AND REPORT THE CONDITION OF EACH MEASURE TO ASSIST IN MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER
- . These report forms shall become an integral part of the sppp and shall be made readily accessible to governmental inspection officials, the operator's ngineer, and the operator for review upon request during visits to the project site. In addition, copies of the reports shall be provided to any of thesi PERSONS, UPON REQUEST, VIA MAIL OR FACSIMILE TRANSMISSION.
- D. OTHER RECORD-KEEPING REQUIREMENTS THE CONTRACTOR SHALL KEEP THE FOLLOWING RECORDS RELATED TO CONSTRUCTION ACTIVITIES AT THE SITE:
- DATES WHEN MAIOR GRADING ACTIVITIES OCCUR AND THE AREAS WHICH WERE GRADED DATES AND DETAILS CONCERNING THE INSTALLATION OF STRUCTURAL CONTROLS DATES WHEN CONSTRUCTION ACTIVITIES CEASE IN AN AREA
- DATES WHEN AN AREAS IS STABILIZED, EITHER TEMPORARILY OR PERMANENTLY DATES OF RAINFALL AND THE AMOUNT OF RAINFALL
- DATES AND DESCRIPTIONS OF THE CHARACTER AND AMOUNT OF AN SPILLS OF HAZARDOUS MATERIALS RECORDS OF REPORTS FILED WITH REGULATORY AGENCIES IF REPORTABLE QUANTITIES OF HAZARDOUS MATERIALS SPILLED

ANNUAL REPORTS AND CERTIFICATIONS

- A. THE PERMITTEE SHALL PREPARE AN ANNUAL REPORT SUMMARIZING EACH INSPECTION PERFORMED UNDER I.A., ABOVE. THIS REPORT SHALL BE ACCOMPANIED BY AN ANNUAL CERTIFICATION, ON A FORM PROVIDED BY THE NIDEP THAT THE FACILITY IS IN COMPLIANCE WITH ITS SPPP AND THIS PERMIT, EXCEPT THAT IF THERE ARE ANY INCIDENTS C NONCOMPLIANCE, THOSE INCIDENTS SHALL BE IDENTIFIED IN THE CERTIFICATION. IF THERE ARE INCIDENTS OF NONCOMPLIANCE, THE REPORT SHALL IDENTIFY THE STEPS BEING IN ACCORDANCE WITH N.I.A.C. 7:14A-4.9. AND SHALL BE MAINTAINED FOR A PERIOD OF AT LEAST FIVE YEARS ALONG WITH COPIES OF ALL INSPECTION REPORTS AND RECOF KEEPING. THIS PERIOD MAY BE EXTENDED BY WRITTEN REQUEST FROM THE DEPARTMENT AT ANY TIME (SEE N.J.A.C. 7:14A-6.6).
- REPORTS OF NONCOMPLIANCE A. ALL INSTANCES OF NONCOMPLIANCE NOT REPORTED UNDER N.J.A.C. 7:14A-6.10 SHALL BE REPORTED TO THE DEPARTMENT ANNUALLY
- NOTIFICATION OF COMPLETION ACTIVITIES, EXCEPT SINGLE FAMILY HOME CONSTRUCTION UNDER B. BELOW. THE REPORT OF COMPLIANCE SHALL SERVE AS THE NOTIFICATION OF COMPLETION 3. THE BUILDER OF A SINGLE FAMILY HOME THAT IS AUTHORIZED UNDER THIS PERMIT, BUT NOT WITHIN THE DEFINITION OF "PROJECT AT N.J.S.A. 4:24-41G, SHALL SEND A COPY OF THE FINAL CERTIFICATE OF OCCUPANCY TO THE SOIL CONSERVATION DISTRICT. THE SOIL CONSERVATION DISTRICT WILL PROVIDE A COPY OF THE FINAL CERTIFICATE OF OCCUPANCY
- TO THE DEPARTMENT, WHICH WILL SERVE AS NOTIFICATION OF COMPLETION. C. THE DOT SHALL PROVIDE WRITTEN NOTIFICATION TO THE DEPARTMENT WHEN DOT CERTIFIED PROJECTS ARE COMPLETED.



- 3. LENGTH AND WIDTH OF FILTER BAG VARIES ACCORDING TO INLET

INLET PROTECTION - SEDIMENT FILTER BAG INSERT DETAIL

PERMANENT SEEDING SCHEDULE

- ERCER COUNTY SCD'S REQUIREMENTS FOR PERMANENT VEGETATIVE COVER FOR SOIL
- TOPSOIL STRIPPING AND STOCKPILING
- FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER OUANTITY AND OR QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING
- A 6" STRIPPING DEPTH IS TYPICAL. BUT MAY VARY DEPENDING ON THE PARTICULAR SOIL STRUCTURE OR PRE-EXISTING USE.
- STOCKPILES SHOULD BE LOCATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE, AND SHALL BE DELINEATED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN AND BE CONSTRUCTED IN ACCORDANCE WITH THE TOPSOIL STOCKPILE DETAIL.
- STOCKPILES SHOULD BE TEMPORARILY STABILIZED ACCORDING TO THE STANDARDS SITE PREPARATION
- INSTALL EROSION CONTROL MEASURES AND FACILITIES SUCH AS SILT FENCE, DIVERSIONS, SEDIMENT BASINS, AND CHANNEL STABILIZATION GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL FOLIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND TACKING, AND
- MAINTENANCE. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH THE STANDARD SEEDBED PREPARATION
- TOPSOIL REQUIRED 6" (UNSETTLED) MIN. DEPTH: NITRATE N2: 30 LBS/ACRI PHOSPHOROUS: 100 LBS/ACF
- POTASSIUM: 120 LBS/ACRE THE CONTRACTOR SHOULD BE AWARE OF THE POSSIBILITY, DEPENDING UPON THE SITE
- CONDITIONS, THAT ALL TOPSOIL MAY HAVE TO BE PROVIDED FROM AN OFF-SITE SOURCE. TOPSOIL SHOULD BE HANDLED ONLY WHEN DRY ENOUGH TO WORK WITHOUT
- APPLY A UNIFORM 6" (UNSETTLED) OF TOPSOIL OVER ALL DISTURBED AREAS. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12" OF SOIL HAVING PH OF 5.0 OR MORE AND TOP 6" SHALL CONFORM TO THE
- IF THE TOPSOIL BECOMES COMPACTED, THE SURFACE MUST BE SACRIFICED TO PROVIDE A GOOD SEED-TO-SOIL BOND. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY COOPERATIVE EXTENSION, IF SOIL TESTING IS
- NOT FEASIBLE, FERTILIZER (10-20-10) WITH 50% WATER INSOLUBLE NITROGEN SHOULD BE APPLIED AT THE TYPICAL RATE OF 500 LBS/11,000 SQUARE FEET. APPLY LIMESTONE EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDES (PULVERIZED DOLOMITIC LIMESTONE IS PREFERRED FOR MOST SOILS SOUTH OF THE FALL LINE) AS
- SOIL TEXTURE TONS/ACRE LBS/1,000 SO, FT, CLAY, CLAY LOAM, AND SANDY LOAM, LOAM, SILT LOAMY SAND, SAND WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 2 TO 4". THE FINAL
- HARROWING OR DISC OPERATION SHOULD BE OF THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A UNIFORM, FINE SEEDBED IS PREPARED. REMOVE FROM THE SURFACE ALL STONES 2" OR LARGER IN ANY DIMENSION AND OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER
- UNSUITABLE MATERIAL
- SEEDING SELECT AN APPROVED MIXTURE BY THE MERCER COUNTY SOIL CONSERVATION DISTRICT. APPLY SEED UNIFORMLY BY HAND, CYCLONE, DROP SEEDER, DRILL CULTIPACKER OR HYDROSEEDER. THE LATTER MAY BE JUSTIFIABLE FOR LARGE, STEEP AREAS WHERE

CONVENTIONAL APPLICATIONS ARE NOT FEASIBLE. HYDROSEEDING SHALL BE A TWO-STEP PROCESS: MULCH SHALL NOT BE MIXED WITH THE SEED; THE SEED MUST BE APPLIED FIRST

FO ASSURE PROPER SEED TO SOIL CONTACT. THE MULCH IS THEN SPRAYED OVER THE

- SEEDING. FOR OPTIMUM RESULTS, THE SEED SHOULD BE INCORPORATED INTO THE SOIL TO A DEPTH OF $\frac{1}{4}$ TO $\frac{1}{7}$ " DEPENDING UPON SPECIES. AFTER SEEDING. THE SOIL SHOULD BE PACKED WITH A CORRUGATED ROLLER, WHEN ERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION MAXIMIZED
- UNROTTED STRAW, HAY FREE OF SEEDS, SALT HAY, OR HYDROMULCH IS REQUIRED ON ALL SEEDING AT A MINIMUM OF L5 TONS/ACRE
- MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS DUE TO WIND OR WATER. THIS MAY BE DONE ACCORDING TO THE WOOD-FIRER OR PAPER-FIRER MULICH AT THE RATE OF LISON LRS/ACRE APPLIED RY A
- HYDROSEEDER, USE IS LIMITED DURING THE OPTIMUM SEEDING SEASO SYNTHETIC OR ORGANIC BINDERS
- PEG & TWINE, MULCH NETTING AND MECHANICAL CRIMPING. CRIMPING REQUIRES A HIGHER MULCH RATE (2-2.5 TONS/ACRE).
- $2.\ \mbox{I,500}$ Gallon tank of hydromulch covers 0.5 acres. RECOMMENDED PERMANENT SEEDING MIXES OPTIMUM SEEDING DATES: MARCH I TO APRIL 30 & AUGUST 15 TO OCTOBER 15

I. ONE BALE OF HAY WEIGHT 40-60 LBS DEPENDING ON HOW IT WAS BALED.

70% TURF TYPE TALL FESCUI 10% KENTUCKY BLUE GRASS NATIVE WETLANDS MEADOW MIX:

WILD RYE (ELYMUS)

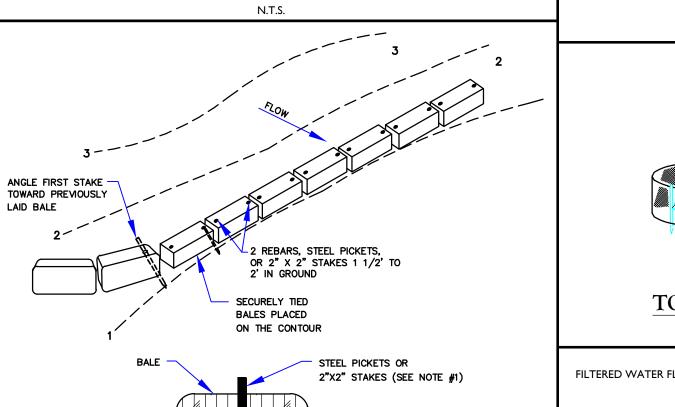
LAWNS - RATE: 200 LBS/ACRE

SLOPE INSTALLATION

- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA, CELL-O-SEED MUST BE INSTALLED WITH
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL, SECURE RECP'S OVER COMPACTED SOIL WITH A RÓW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS
- ROLL THE RECP'S (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM , STAPLES STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS COREESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" 5" (5 CM -12.5 CM) OVERLAP
- CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM_ MAY
- THIS DETAIL IS FOR THE INSTALLATION OF THE NA GREEN SC150 EROSION CONTROL MATTING OR APPROVED EQUAL. REFER TO THE MANUFACTURER'S SPECFICATIONS FOR STAPLE PATTERNS.

TO PROPERLY SECURE THE RECP'S.

EROSION CONTROL MATTING DETAIL

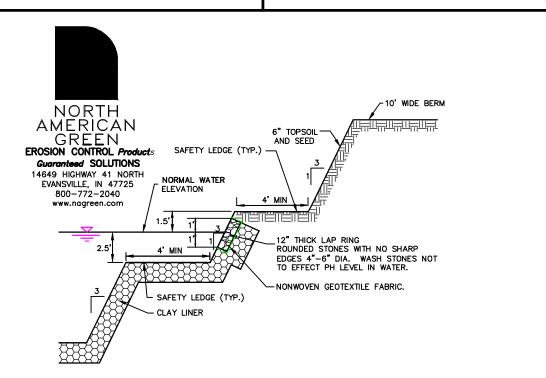


4" VERTICAL FACE

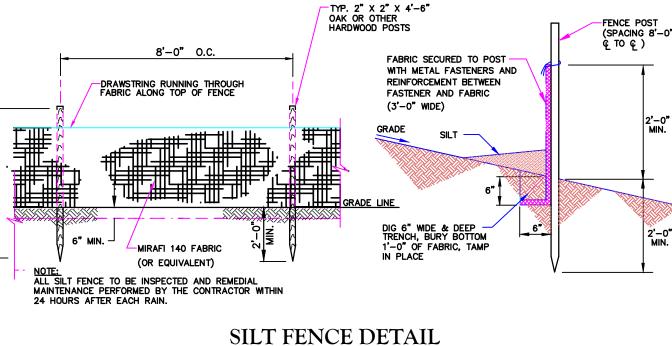
EMBEDDING DETAIL

1. STEEL PICKETS OR 2"X2" STAKES ARE NOT REQUIRED IN PAVEMENT AREAS.

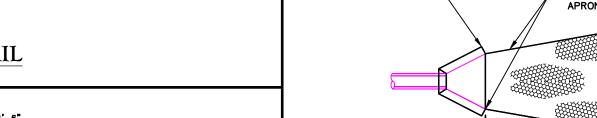
PLACEMENT AND ANCHORING DETAIL BALE SEDIMENT BARRIERS

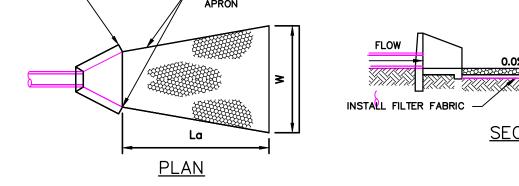


LAP RING DETAIL



CONCRETE HEADWALI





RIP-RAP-APRON

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES under my jurisdiction. TOWNSHIP ENGINEER I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCE UNDER MY JURISDICTION.

HAMILTON TWP. APP. #??-??-?

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PROTECT YOURSELF EXCAVATORS, DESIGNERS, OR ANY PERS PREPARING TO DISTURB THE EARTH SURFACE ANYWHERE IN ANY STATE now what's below Call before you dig.

FINE GRAINE GRAINED SOILS SOILS 0% TO 2% 50 FT 100 FT 2% TO 5% 100 FT 200 FT ENTIRE SURFACE STABILIZED W HMA BASE COURSE, MIX I-2

LENGTH OF STONE REQUIRED

PUBLIC RIGH

OF XVAY

OF ROADWAY

STONE SIZE PER ASTM C-33, SIZE #2 (2 $\frac{1}{2}$ " TO 1 $\frac{1}{2}$ ") OR #3 (2" . INDIVIDUAL INTERIOR LOT INGRESS/EGRESS CONSTRUCTION ACCESS SHALL HAVE # 3 (I" TO 2") STONE, MINIMUM 10' (L) X 10' (W) AND 6" THICK.

LENGTH OF STONE REQUIRED | OF XWAY

LENGTH OF STONE REQUIRED

SEE TABLE

THE WIDTH OF CONSTRUCTION ENTRANCE SHALL NO

BE LESS THAN THE FULL WIDTH OF POINTS OF INGRESS OR EGRESS, OR AS SHOWN ON THE PLAN.

THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF

THE ENTRANCE SHALL BE PERIODICALLY TOP DRESSED

WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS ON-SITE CONDITIONS REQUIRE.

SPILLED, DROPPED, WASHED, OR TRACKED SEDIMENT

ONTO ROADWAYS OR OTHER IMPERVIOUS SURFACES SHALL BE REMOVED IMMEDIATELY.

WHERE ACCUMULATION OF DUST AND SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR

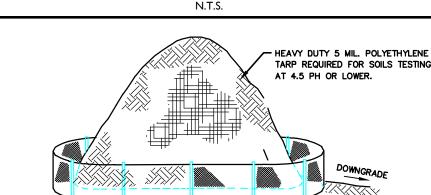
STREET SWEEPER SHALL BE USED TO CLEAN PAVED

ONTAIN A CONSTRUCTION ACCESS PAD SHALL

EXISTING GROUND

SEE NOTE I

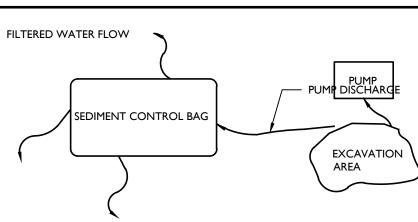
BE BLOCKED OFF



STABILIZED CONSTRUCTION

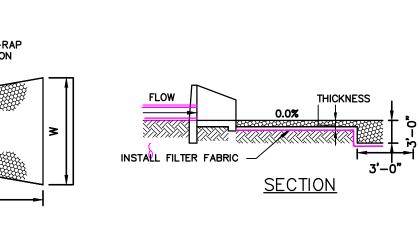
ACCESS DETAIL

TOPSOIL STOCKPILE DETAIL



- CONTAINERS (TANKS OR BAGS SHALL BE LOCATED FOR EASE OF CLEAN-OUT AND DISPOSAL OF THE TRAPPED SEDIMENT AND TO MINIMIZE INTERFERENCE WITH CONSTRUCTION ACTIVITIES AND PEDESTRIAN TRAFFIC. BAGS SHALL NOT BE PLACE
- DIRECTLY INTO RECEIVING WATERS. THE FOLLOWING FORMULA SHOULD BE USED IN DETERMINE THE STORAGE VOLUME OF THE TANK: I CUBIC FOOT OF STORAGE FOR EACH GALLON PER MINUTE OF PUMP DISCHARGE CAPACITY. TANKS MAY BE CONNECTED IN SERIES TO INCREASE
- TANKS CONSIST OF TWO CONCENTRIC CIRCULAR PIPES (CMP). ATTACHED TO WATERTIGHT BASEPLATE THE INNER CMP IS PERFORATED WITH I" HOLES ON A CENTERS AND IS WRAPPED WITH GEOTEXTILE AND HARDWARE CLOTH PLIMPEL WATER IS DISCHARGED INTO THE INNER CMP WHERE IT FLOWS THROUGH TH GEOTEXTILE INTO THE SPACE BETWEEN THE TWO CMP'S. A DISCHARGE LINE I ATTACHED TO THE OUTER CMP AND DRAWS FILTERED WATER FROM THE SPACE BETWEEN THE TWO CMP'S. THE DISCHARGE LINE MAY BE CONNECTED TO ANOTHER tank where it drains to the inner cmp of the second tank, the series
- CONNECTION MAY BE CONTINUED IMMEDIATELY. SEDIMENT CONTROL BAGS MUST BE LOCATED AWAY FROM RECEIVING WATER AND DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

SEDIMENT CONTROL BAG FOR DEWATERING DETAIL



TOWNSHIP PLANNER

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

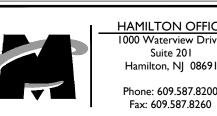
ESSIONAL ENGINEER LICENSE N ER: GE45561 SULTING, INC

PRELIMINARY AND FINAI MAJOR SITE PLAN

> **PROPOSED** WAREHOUSE

> > BLOCK 2607, LOT 46

TOWNSHIP OF HAMILTON MERCER COUNTY **NEW JERSEY**



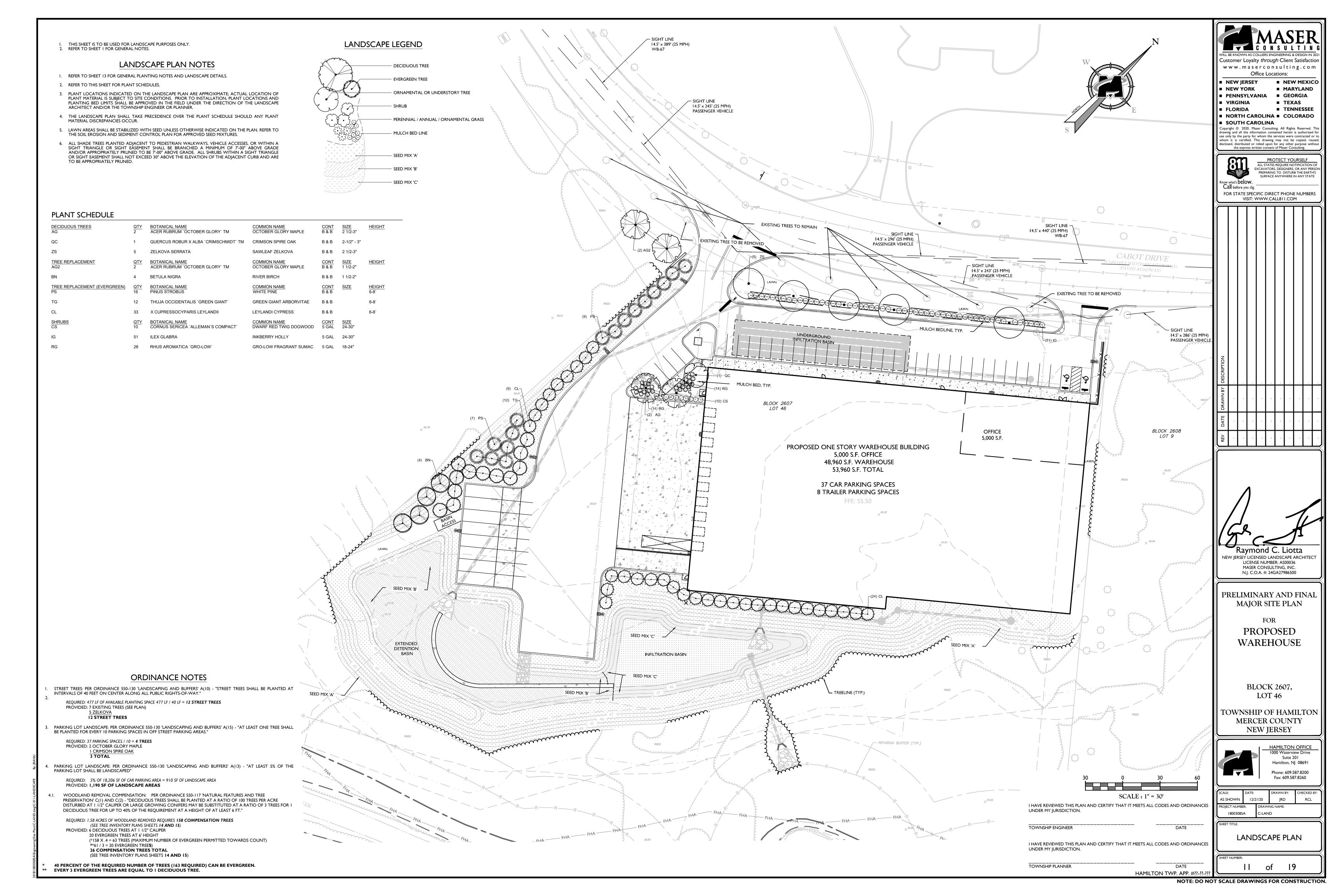
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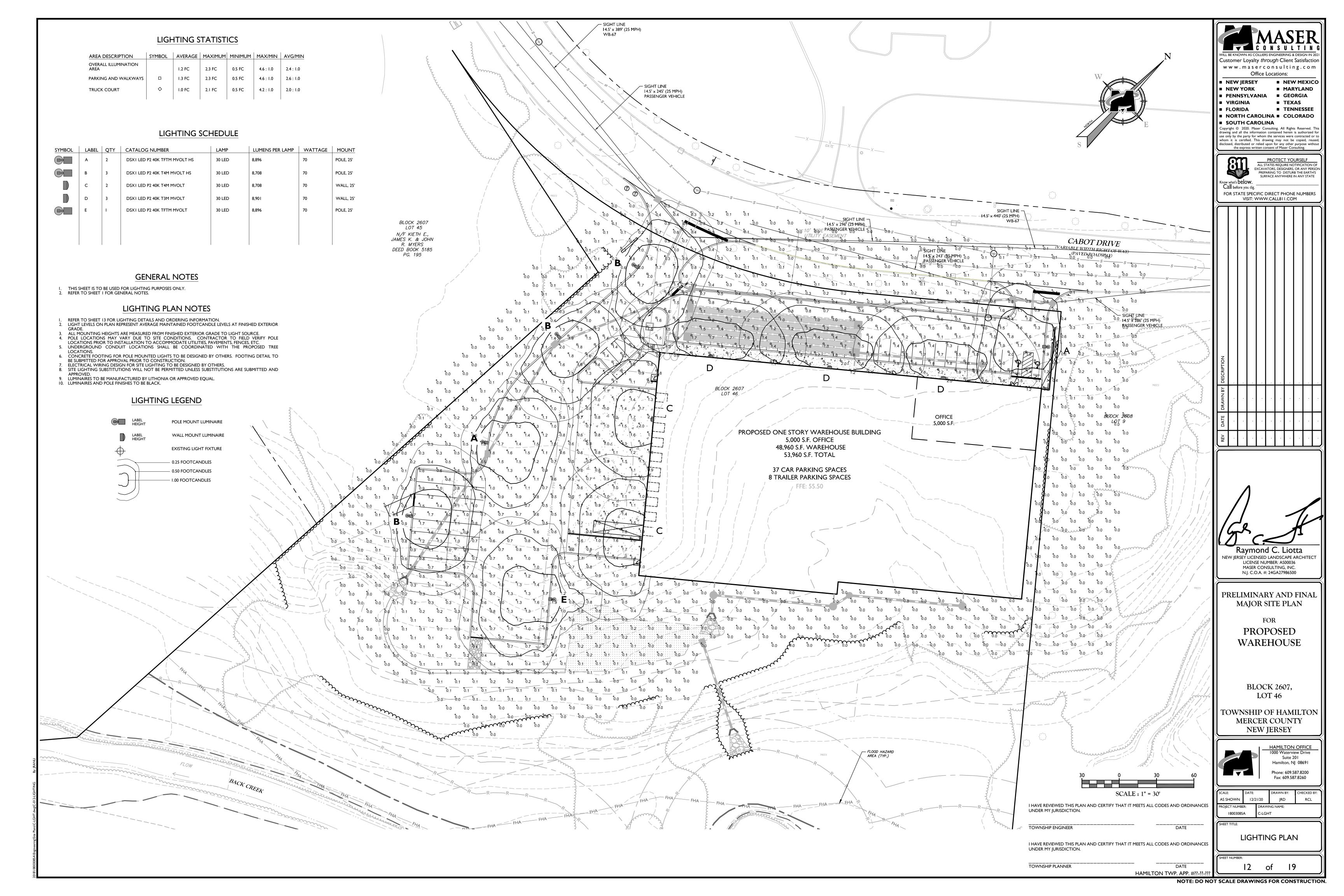
SOIL EROSION & SEDIMENT CONTROL PLAN

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

Office Locations: ■ NEW MEXICO MARYLAND ■ GEORGIA

NORTH CAROLINA ■ COLORADO





GENERAL PLANTING NOTES

A. GENERAL

- I. THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
- 3. OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.

B. PLANT MATERIAL

- A. PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z60.1-2004 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCHING PATTERN. B. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR
- INFESTATION, WITH ROOT BALLS INTACT. C. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AT THE NURSERY. THE PLANT MATERIAL SHALL BE PLANTED AT THE SAME LEVEL
- D. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE. THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR
- E. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS. 2. PLANT QUANTITIES: THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE
- PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR. 3. PLANT SIZE: THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN THE CALIPER,
- HEIGHT, SIZE OR SPREAD INDICATED IN THE PLANT SCHEDULE. 4. SUBSTITUTIONS: NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY, LANDSCAPE ARCHITECT, OR OWNER. WRITTEN PROOF OF THE PLANT MATERIAL UNAVAILABILITY MUST BY DOCUMENTED BY THE CONTRACTOR
- 5. GUARANTEE: PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (I) YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING STUMP, AND REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR WITHIN ONE YEAR OF ONE GROWING SEASON. TREE STAKES, AND PLASTIC CHAINS SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.

C. PLANTING PROCEDURES

I. PLANTING BEDS

- A. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH WELL DRAINING AND FERTILE SOILS. SOILS SHALL BE SANDY LOAM, FREE FROM DEBRIS, ROCKS, ETC. SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL.
- B. PLANTING BEDS SHALL RECEIVE FOUR (4) TO SIX (6) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT FLARE/COLLAR; UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE C. SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
- 2. PLANT LOCATIONS: THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDLINES SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN.
- . PLANTING DATES: PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 15 THROUGH NOV 15. PLANTING IS ACCEPTABLE DURING THE WINTER MONTHS IF WEATHER PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS PROVIDED. SOIL MUST BE FROST FREE, FRIABLE, AND NOT MUDDY AT TIME OF PLANTING.

4. PLANTING METHODS:

- A. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING, PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. (I) STAKES SHALL BE EIGHT TO TEN FEET LONG, OF SOUND, DURABLE
 - UNFINISHED LUMBER CAPABLE OF WITHSTANDING ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES BY TWO INCHES IN
 - (2) THREE STAKES SHALL BE EQUALLY SPACED ABOUT THE TREE IN A TRIANGULAR FASHION AND SHALL BE DRIVEN VERTICALLY INTO THE GROUND 2 $\frac{1}{2}$ TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT
 - (3) TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET BY MEANS OF PLASTIC CHAIN LINK TREE TIE $\binom{7}{16}$ " WIDE RECOMMENDED FOR TREES UP TO $2\frac{1}{2}$ INCHES IN CALIPER).
- B. SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT AFTER SETTLEMENT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PIT. C. AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY
- PLANTS. D. B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOTBALLS SHALL BE

INSTALLED PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE REGULAR

WATERING TO ENSURE THE ESTABLISHMENT, GROWTH, AND SURVIVAL OF ALL

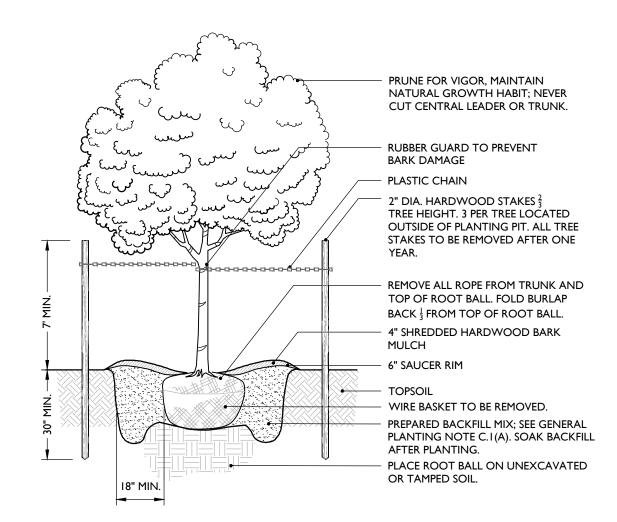
E. CORD BINDING OF ALL B&B PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER 1/3 OF THE ROOT BALL. ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.

D. MAINTENANCE

- A. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- B. SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30" ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0".

C. THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED. 2. LAWN AREAS:

- A. THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS.
- B. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL DISTRICT'S SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL DETAILS SHEET. C. SOD, IF SPECIFIED, SHALL CONSIST OF A NEW JERSEY CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOD SHALL BE TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PRIOR TO LAWN INSTALLATION.
- EXISTING VEGETATION: EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DAMAGED, OR DISEASED BRANCHES.
- . SITE CLEANUP: PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.



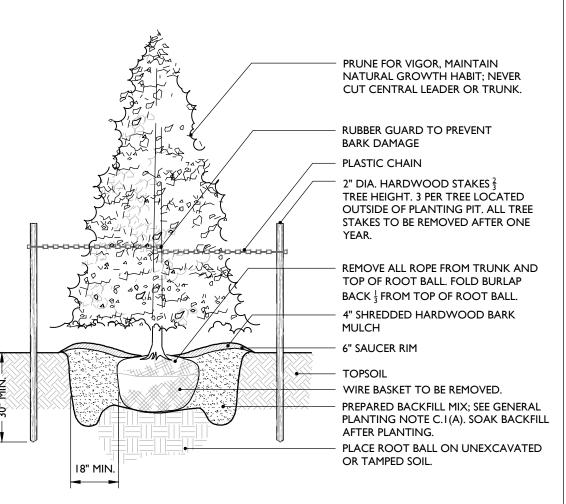
PRUNE FOR VIGOR, MAINTAIN NATURAL GROWTH HABIT; NEVER CUT CENTRAL LEADER OR TRUNK. REMOVE ALL ROPE FROM TRUNK AND TOP OF ROOT BALL. FOLD BURLAP BACK $\frac{1}{3}$ FROM TOP OF ROOT BALL. 4" SHREDDED HARDWOOD BARK 6" SAUCER RIM TOPSOIL WIRE BASKET TO BE REMOVED. PREPARED BACKFILL MIX; SEE GENERAL PLANTING NOTE C.I (A). SOAK BACKFILL PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL

- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.
 - SHRUB PLANTING DETAIL

DECIDUOUS TREE PLANTING DETAIL

NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.

PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.



NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY

EVERGREEN TREE PLANTING DETAIL

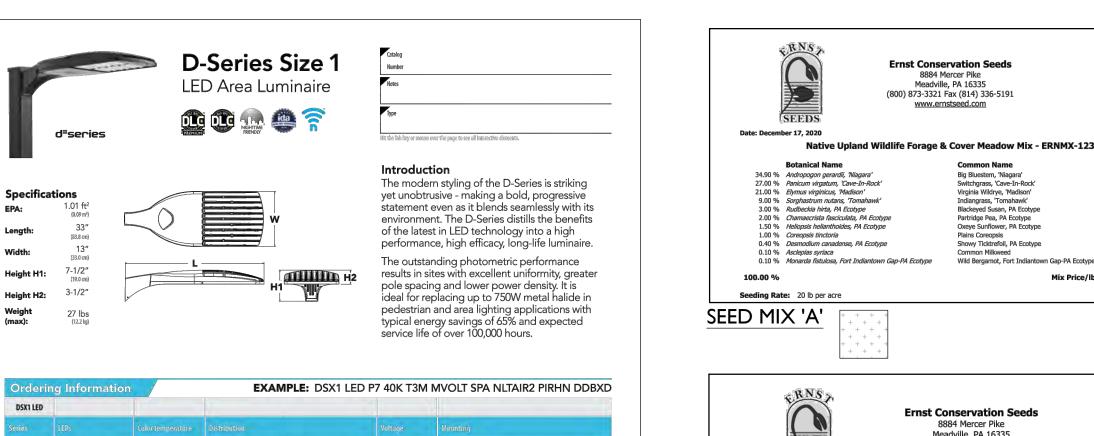
LUMINAIRES A. B. C. AND D

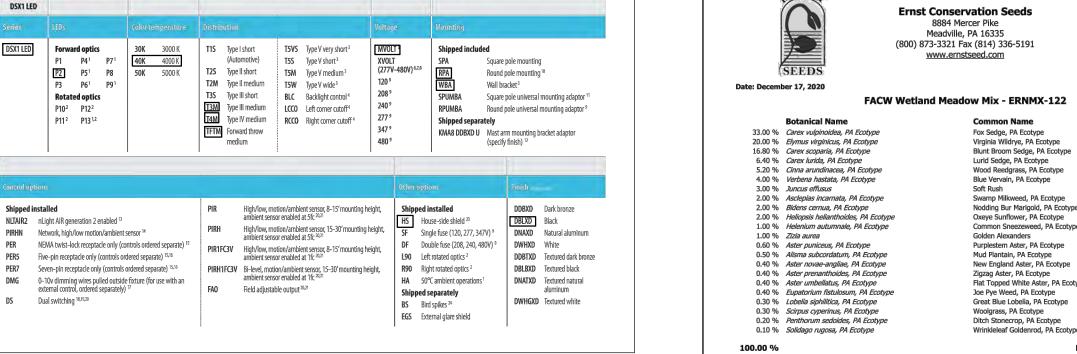
RSS Round Straight Steel Pole

RSS 8'-30' (for 1/2 ft increments, add -6 to the pole height 4B 4" (.120")

Width:

Shipped installed





DDBXD Dark bronze

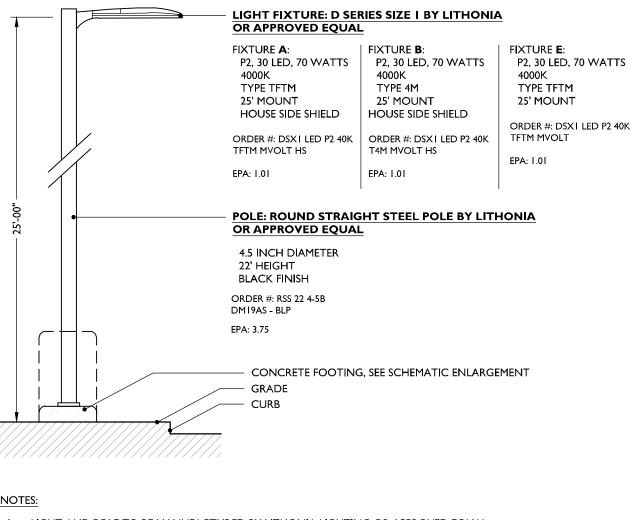


Seeding Rate: 20 lb per acre, or 1/2 lb per 1,000 sq ft

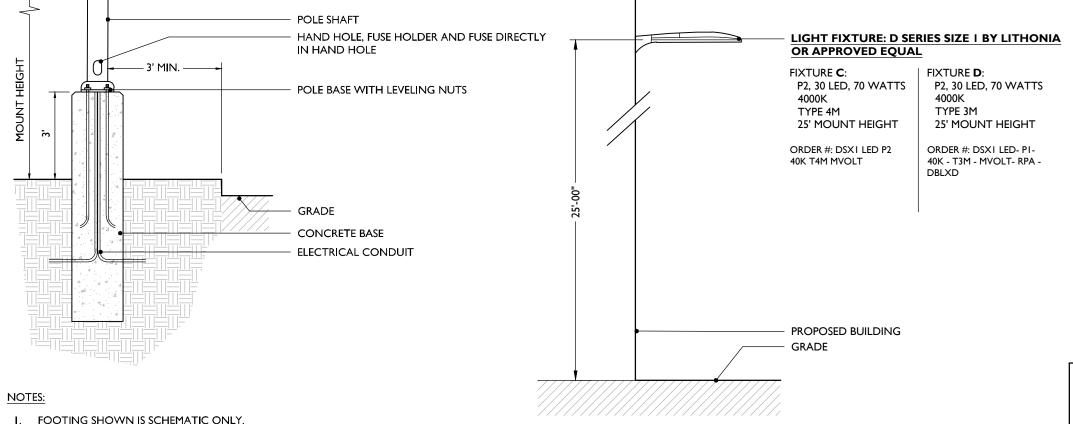
eertongue, Tioga ox Sedge, PA Ecotype 7.00 % Carex scoparia, PA Ecotypi Blunt Broom Sedge, PA Ecotype 3.00 % Verbena hastata, PA Ecotype Blue Vervain, PA Ecotype Bentgrass, Albany Pine Bush-NY Ecob 0.10 % Aster novae-angliae, PA Ecotyp New England Aster, PA Ecotype 0.10 % Aster puniceus, PA Ecotype urplestem Aster, PA Ecotype 0.10 % Aster umbellatus, PA Ecotype lat Topped White Aster, PA Ecotyp 0.10 % Lobelia siphilitica, PA Ecotyp 100.00 % Seeding Rate: 20 lb per acre, or 1/2 lb per 1,000 sq ft SEED MIX 'C'

	-			Phone: 609.58 Fax: 609.58	
	SCALE: AS SHOWN	DATE: 12/21	1/20	DRAWN BY: JRD	CHECKED BY:
EVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES IY JURISDICTION.	PROJECT NUMBE		DRAWI C-LAN	ng name: D	
HIP ENGINEER DATE	SHEET TITLE:	CAF	PE A	ND LIG	 HTING
EVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES BY JURISDICTION.			DET	AILS	

HAMILTON TWP. APP. #??-??-?



- LIGHT AND POLE TO BE MANUFACTURED BY LITHONIA LIGHTING OR APPROVED EQUAL LIGHT AND POLE FINISH TO BE BLACK. MOUNTING HEIGHT TO BE MEASURED FROM EXTERIOR FINISHED GRADE TO LIGHT SOURCE
- POLE MOUNTED LUMINAIRE 'A' 'B' & 'E' DETAIL



SITE ELECTRICAL CONTRACTOR TO COORDINATE LOCATED OF EASEMENTS, UNDERGROUND UTILITIES, AND DRAINAGE AREAS BEFORE DRILLING POLE BASES. CONCRETE FOOTING SCHEMATIC DETAIL

FOR POLE MOUNTED LOCATIONS

CONTRACTOR FOR THE APPROVAL PRIOR TO CONSTRUCTION.

SHOP DRAWINGS AND CALCULATIONS FOR THE DESIGN AND SIZING OF THE CONCRETE

FOOTING SHALL BE PREPARED BY A PROFESSIONAL ENGINEER, AND SHALL BE PROVIDED BY THE LIGHT TO BE MANUFACTURED BY LITHONIA OR APPROVED EQUAL LIGHT FINISH TO BE BLACK COLOR. MOUNTING HEIGHT TO BE MEASURE FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE. MOUNTING LOCATIONS TO BE COORDINATED WITH ARCHITECTURAL PLANS.

WALL MOUNTED LUMINAIRE DETAIL

5B 5" (.120") 2-7/8" O.D. (2-1/2" NPS 3-1/2" O.D. (3" NPS) 2 Vibration damper 4" O.D. (3-1/2" NPS) DNAXD Natural aluminum CPL12/xy 1/2" coupling 5 CPL34/xy 3/4" coupling 5 3 at 120° Bright red Steel blue NPL12/xv 1/2" threaded nipple NPL34/xy 3/4" threaded nipple Extra handhole 5,7 Match existing 8 United States point of man UL listed with label (Includes NI DM19RAD 1 at 90 (blank) FBC Full base cover (plastic) DM32RAD 3 at 120° Round Full Base Cover (Plasti DM39RAD 3 at 90 AERIS™ Suspend drill mounting DM19AST_ 1 at 90° DM39AST 3 at 90° OMERO™ Suspend drill mountin DM28AST_ 2 at 180°

POLE FOR LUMINAIRES A, B AND E

I HAVE RE UNDER M TOWNSH I HAVE RE UNDER M

TOWNSHIP PLANNER

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

Raymond C. Liotta NEW JERSEY LICENSED LANDSCAPE ARCHITECT LICENSE NUMBER: AS00036 MASER CONSULTING, INC

N.J. C.O.A. #: 24GA27986500

PRELIMINARY AND FINAI

MAJOR SITE PLAN

PROPOSED

WAREHOUSE

BLOCK 2607,

LOT 46

TOWNSHIP OF HAMILTON

MERCER COUNTY

NEW JERSEY

Hamilton, NJ 08691

Customer Loyalty through Client Satisfactior

www.maserconsulting.com

NEW MEXICO

■ MARYLAND

■ TENNESSEE

■ GEORGIA

■ TEXAS

EXCAVATORS, DESIGNERS, OR ANY PERS

SURFACE ANYWHERE IN ANY STATE

Office Locations:

NORTH CAROLINA ■ COLORADO

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FOR STATE SPECIFIC DIRECT PHONE NUMBERS

VISIT: WWW.CALL811.COM

NEW JERSEY

PENNSYLVANIA

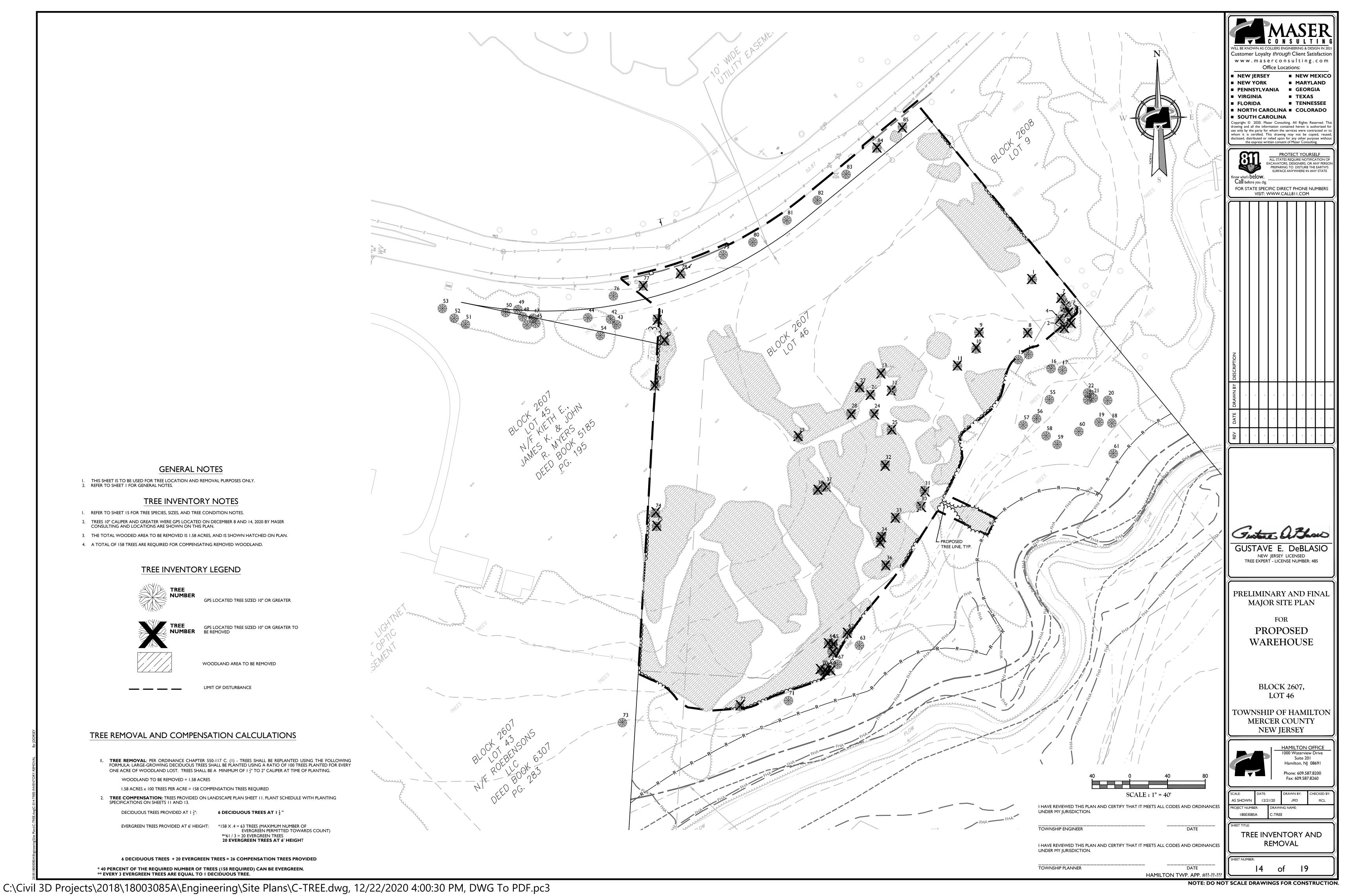
SOUTH CAROLINA

NEW YORK

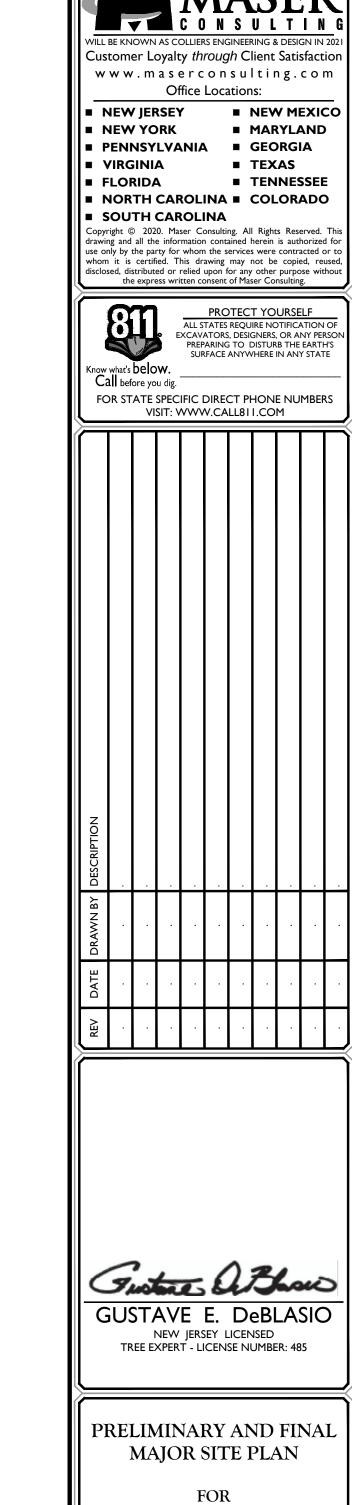
VIRGINIA

FLORIDA

Call before you dig.



I UMBER 1	SPECIES PEAR SPECIES	CALIPER (INCHES)	CONDITION EXTREMELY POOR	COMMENTS BROKEN MAIN LEADER VINES UNBALANCED	KEEP/REMOVE
2	RUSSIAN OLIVE	3, 4, 5, 4	POOR	OLIVE DEAD BRANCHES CONTORTED LEANING	REMOVE
3	RUSSIAN OLIVE	3, 4, 3, 3, 2	POOR	OLIVE BROKEN BRANCHES CONTORTED UNBALANCED	REMOVE
4	RUSSIAN OLIVE	5, 6	POOR	OLIVE LEANING CONTORTED VINES	REMOVE
5	RUSSIAN OLIVE	4,5,6	POOR	OLIVE CONTORTED LEANING BROKEN BRANCHES	REMOVE
6	PEAR SPECIES	10	POOR TO OK	SCARS CODOMINANT BROKEN BRANCHES	REMOVE
7	RUSSIAN OLIVE	7, 3, 2	POOR	OLIVE LEANING CONTORTED UNBALANCED	REMOVE
8	RUSSIAN OLIVE	4, 5, 4, 3, 4	EXTREMELY POOR	OLIVE MANY DEAD BRANCHES CONTORTED VINES	REMOVE
9	RUSSIAN OLIVE	4, 3, 2, 2	EXTREMELY POOR	OLIVE POOR PRUNING VINES UNBALANCED	REMOVE
10	RUSSIAN OLIVE	4, 5, 5, 6, 3	EXTREMELY POOR	OLIVE MANY DEAD BRANCHES VINES POOR PRUNING	REMOVE
11	RUSSIAN OLIVE	6, 5, 5, 3	EXTREMELY POOR	OLIVE MANY DEAD BRANCHES SPARSE CANOPY UNBALANCED	REMOVE
12	RUSSIAN OLIVE	5, 4, 6, 4	POOR	OLIVE SPARSE CANOPY BROKEN BRANCHES VINES	REMOVE
13	RUSSIAN OLIVE	6, 5, 5, 4	EXTREMELY POOR	OLIVE MANY DEAD BRANCHES SPARSE CANOPY CONTORTED	REMOVE
14	PIN OAK	5, 7	ОК	BROKEN BRANCHES EXPOSED ROOT GOOD FORM	KEEP
15	BEECH	4, 7, 4	ОК	VINES WOUNDS CONTORTED	KEEP
16	PIN OAK	13	ОК	EXPOSED ROOT FLARE BROKEN BRANCHES WOUNDS	KEEP
17	RIVER BIRCH	9, 8, 12	OK TO GOOD	BROKEN BRANCHES GOOD FORM EXPOSED ROOT	KEEP
18	RED MAPLE	26	POOR	EXPOSED ROOT LEANING BROKEN BRANCHES	KEEP
19	RIVER BIRCH	35	ОК	EXPOSED ROOT FLARE VINES CODOMINANT	KEEP
20	RIVER BIRCH	29	POOR TO OK	MECHANICAL DAMAGE VINES LEANING	KEEP
21	RED MAPLE	14	EXTREMELY POOR	CODOMINANT BROKEN BRANCHES WOUNDS	KEEP
22	RIVER BIRCH	24	POOR	CODOMINANT LEANING EXPOSED ROOT	KEEP
23	SWEET GUM	15	EXTREMELY POOR	BROKEN BRANCHES EXPOSED ROOT SPARSE CANOPY	KEEP
24	PEAR SPECIES	6, 8, 5, 4	POOR	LEANING VINES UNBALANCED	REMOVE
25	PEAR SPECIES	7, 6, 6, 5, 3	EXTREMELY POOR	BROKEN MAIN LEADER VINES UNBALANCED	REMOVE
26	PEAR SPECIES	7, 6, 5, 5	EXTREMELY POOR	DEAD BRANCHES BROKEN MAIN LEADER LEANING	REMOVE
20 27	CHERRY SPECIES	7, 0, 3 12	POOR	LEANING WOUNDS CONTORTED	REMOVE
28	PEAR SPECIES	7, 7, 6	POOR	BROKEN MAIN LEADER UNBALANCED SPARSE CANOPY	REMOVE
28 29	PEAR SPECIES PEAR SPECIES	6, 4, 4, 3, 3	EXTREMELY POOR	POOR PRUNING BROKEN MAIN LEADER UNBALANCED	REMOVE
30	SWEET GUM	7, 8, 8, 6, 4	POOR	VINES UNBALANCED EXPOSED ROOT FLARE	REMOVE
31	NORWAY MAPLE	7, 8, 8, 6, 4 7, 6, 5, 5, 4	EXTREMELY POOR	VINES UNBALANCED EXPOSED ROOT FLARE VINE COVERED DEAD BRANCHES SPARSE CANOPY	REMOVE
32	SWEET GUM	7, 6, 5, 5, 4 7, 6, 5	EXTREMELY POOR EXTREMELY POOR	VINE COVERED DEAD BRANCHES SPARSE CANOPY VINES BROKEN MAIN LEADER CONTORTED	REMOVE
33	BLACK CHERRY	9, 7, 6	OK	EXPOSED ROOT CONTORTED UNBALANCED	REMOVE
34 25	NORWAY MAPLE	13	OK	EXPOSED ROOT CONTORTED BROKEN BRANCHES	REMOVE
35	NORWAY MAPLE	9, 9	POOR	EXPOSED ROOT UNBALANCED CONTORTED	REMOVE
36	WHITE ASH	8, 8, 12	POOR TO OK	LEANING EXPOSED ROOT VINES	REMOVE
37	BLACK CHERRY	8, 8	POOR	BROKEN MAIN LEADER VINES UNBALANCED	REMOVE
38	BLACK CHERRY	10	POOR	CONTORTED UNBALANCED BROKEN BRANCHES	REMOVE
39	RED MAPLE	50	POOR	BROKEN BRANCHES EXPOSED ROOT SPARSE CANOPY BROKEN	REMOVE
40	NORWAY MAPLE	29	EXTREMELY POOR	DEAD BRANCHES LEANING SPARSE CANOPY BROKEN BRANCHE	REMOVE
41	NORWAY MAPLE	17	POOR	LEANING VINES UNBALANCED	REMOVE
42	BLACK WALNUT	17	OK	EXPOSED ROOT FLARE BROKEN BRANCHES GOOD FORM	KEEP
43	WHITE ASH	10	POOR	BROKEN BRANCHES SPARSE CANOPY LEANING	KEEP
44	BLACK CHERRY	14, 11, 10	EXTREMELY POOR	BROKEN MAIN LEADER UNBALANCED LEANING	KEEP
45	WHITE PINE	20	OK	NO LOWER BRANCHES CONTORTED EXPOSED ROOT	KEEP
46	WHITE PINE	20	OK	NO LOWER BRANCHES BROKEN BRANCHES FULL CANOPY	KEEP
47	SERVICE BERRY	4, 4, 3, 5, 3, 4	POOR	DEAD BRANCHES BROKEN MAIN LEADER CONTORTED	KEEP
48	SERVICE BERRY	3, 3, 4, 4	POOR	LEANING CONTORTED BROKEN BRANCHES	KEEP
49	WHITE PINE	21	POOR	CODOMINANT UNBALANCED BROKEN BRANCHES	KEEP
50	NORWAY MAPLE	11	EXTREMELY POOR	STRESS CRACKS CONTORTED BROKEN BRANCHES CODOMINANT	KEEP
51	WHITE PINE	14	POOR TO OK	BROKEN BRANCHES UNBALANCED WOUNDS	KEEP
52	WHITE PINE	12	EXTREMELY POOR	MECHANICAL DAMAGE LEANING UNBALANCED	KEEP
53	PIN OAK	11	POOR	UNBALANCED VINES SPARSE CANOPY	KEEP
54	BLACK WALNUT	22	POOR TO OK	LEANING CODOMINANT EXPOSED ROOT	KEEP
55	SWEET GUM	10	POOR TO OK	BROKEN BRANCHES SPARSE CODOMINANT	KEEP
56	SWEET GUM	9, 8, 8	ОК	BROKEN BRANCHES EXPOSED ROOT SPARSE CANOPY	KEEP
57	NORWAY MAPLE	22	POOR	CONTORTED CODOMINANT WOUNDS	KEEP
58	NORWAY MAPLE	6, 8, 12	POOR	EXPOSED ROOT LEANING CODOMINANT	KEEP
59	NORWAY MAPLE	10, 10, 4, 6	POOR TO OK	EXPOSED ROOT BROKEN BRANCHES LEANING	KEEP
60	RIVER BIRCH	22	POOR TO OK	CODOMINANT LEANING CONTORTED	KEEP
61	RIVER BIRCH	5, 6, 8	POOR	BROKEN MAIN LEADER SPARSE CANOPY LEANING	KEEP
62	WHITE ASH	13	EXTREMELY POOR	DEAD VINES CODOMINANT SPARSE CANOPY	REMOVE
63	SILVER MAPLE	13, 15, 17, 18	POOR	EXPOSED ROOT VINES UNBALANCED CANOPY	KEEP
64	SWEET GUM	11	POOR	SPARSE CANOPY NO LOWER BRANCHES EXPOSED ROOT	REMOVE
65	SWEET GUM	10	POOR	EXPOSED ROOT LEANING VINES	REMOVE
66	SWEET GUM	12	POOR TO OK	EXPOSED ROOT LEANING NO LOWER BRANCHES CODOMINANT	REMOVE
67	SWEET GUM	11	POOR	SPARSE CANOPY NO LOWER BRANCHES EXPOSED ROOT	KEEP
68	SWEET GUM	12	POOR	CODOMINANT EXPOSED ROOT SPARSE CANOPY	REMOVE
69	RIVER BIRCH	4, 4, 5, 6	EXTREMELY POOR	BROKEN BRANCHES LEANING SPARSE	REMOVE
70	RIVER BIRCH	4, 4, 5, 6 16	POOR	LEANING SPARSE UNBALANCED	REMOVE
70 71	NORWAY MAPLE	11	EXTREMELY POOR	VINES LEANING SPARSE	KEEP
71 72	WHITE ASH	9, 7	EXTREMELY POOR	DEAD LEANING SPARSE BROKEN BRANCHES	REMOVE
72 73	SILVER MAPLE	9, 7 29	EXTREMELY POOR	VINES CODOMINANT LEANING CONTORTED	KEEP
	HONEYLOCUST	29 11	POOR TO OK	CODOMINANT LEANING CONTORTED CODOMINANT LEANING WOUNDS SPARSE	
74 75					REMOVE
75 76	BLACK CHERRY	27	POOR	LEANING CODOMINANT BROKEN BRANCHES	REMOVE
76	ZELKOVA	22	OK TO COOP	ZELKOVA BROKEN BRANCHES EXPOSED ROOT	KEEP
77 70	RED MAPLE	17	OK TO GOOD	GOOD FORM EXPOSED ROOT BROKEN BRANCHES	REMOVE
78 70	RED MAPLE	19	POOR	EXPOSED ROOT GOOD FORMALINEAL ANGED	REMOVE
79	RED MAPLE	21	OK	EXPOSED ROOT GOOD FORM UNBALANCED	KEEP
80	RED MAPLE	18	OK TO GOOD	EXPOSED ROOT CONTORTED ENCOMBERED BARK	KEEP
81	RED MAPLE	19	OK TO GOOD	GIRDLING ROOT GOOD FORM BROKEN BRANCHES	KEEP
റാ	RED MAPLE	7, 10, 6, 9, 8	ОК	EXPOSED ROOT BROKEN BRANCHES OOK FORM	KEEP
82					
83 84	RED MAPLE	19 10	OK OK	GIRDLING ROOT CODOMINANT BROKEN BRANCHES CODOMINANT LEANING GOOD FORM	KEEP



THIS SHEET IS TO BE USED FOR TREE LOCATION AND REMOVAL PURPOSES ONLY.
 REFER TO SHEET I FOR GENERAL NOTES.

TREE INVENTORY NOTES

GENERAL NOTES

- I. REFER TO THIS SHEET FOR TREE SPECIES, SIZES, AND TREE CONDITION NOTES.
- 2. TREES 10" CALIPER AND GREATER WERE GPS LOCATED ON DECEMBER 8 AND 14, 2020 BY MASER CONSULTING AND LOCATIONS ARE SHOWN ON THIS PLAN.
- 3. THE TOTAL WOODED AREA TO BE REMOVED IS 1.63 ACRES, AND IS SHOWN HATCHED ON PLAN.
- 4. A TOTAL OF 163 TREES ARE REQUIRED FOR COMPENSATING REMOVED WOODLAND.

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL UNDER MY JURISDICTION.	. CODES AND ORDINANCES
TOWNSHIP ENGINEER	DATE

10111151III EI1GII1EER	DAIL
I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES A	ND ORDINANCES
THAT REVIEWED THIS LAN AND CERTIF THAT IT THE TO ALL CODES A	10 ONDITALITOES
UNDER MY JURISDICTION.	
or to better if joint or the	

TOWNSHIP PLANNER

HAMILTON TWP. APP. #??-??-???

19 of

TREE COMPENSATION CALCULATIONS

PROPOSED

WAREHOUSE

BLOCK 2607,

LOT 46

TOWNSHIP OF HAMILTON

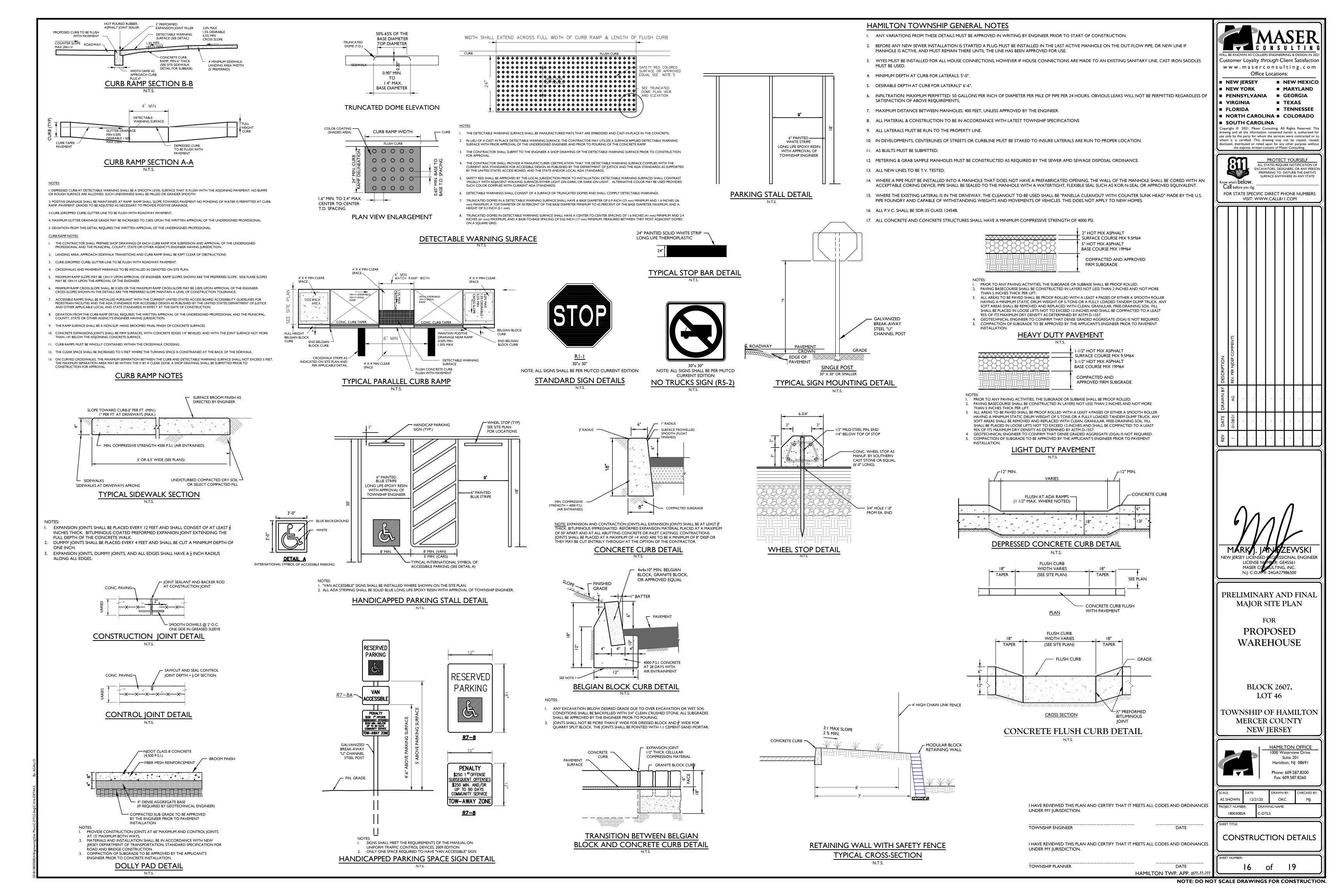
MERCER COUNTY

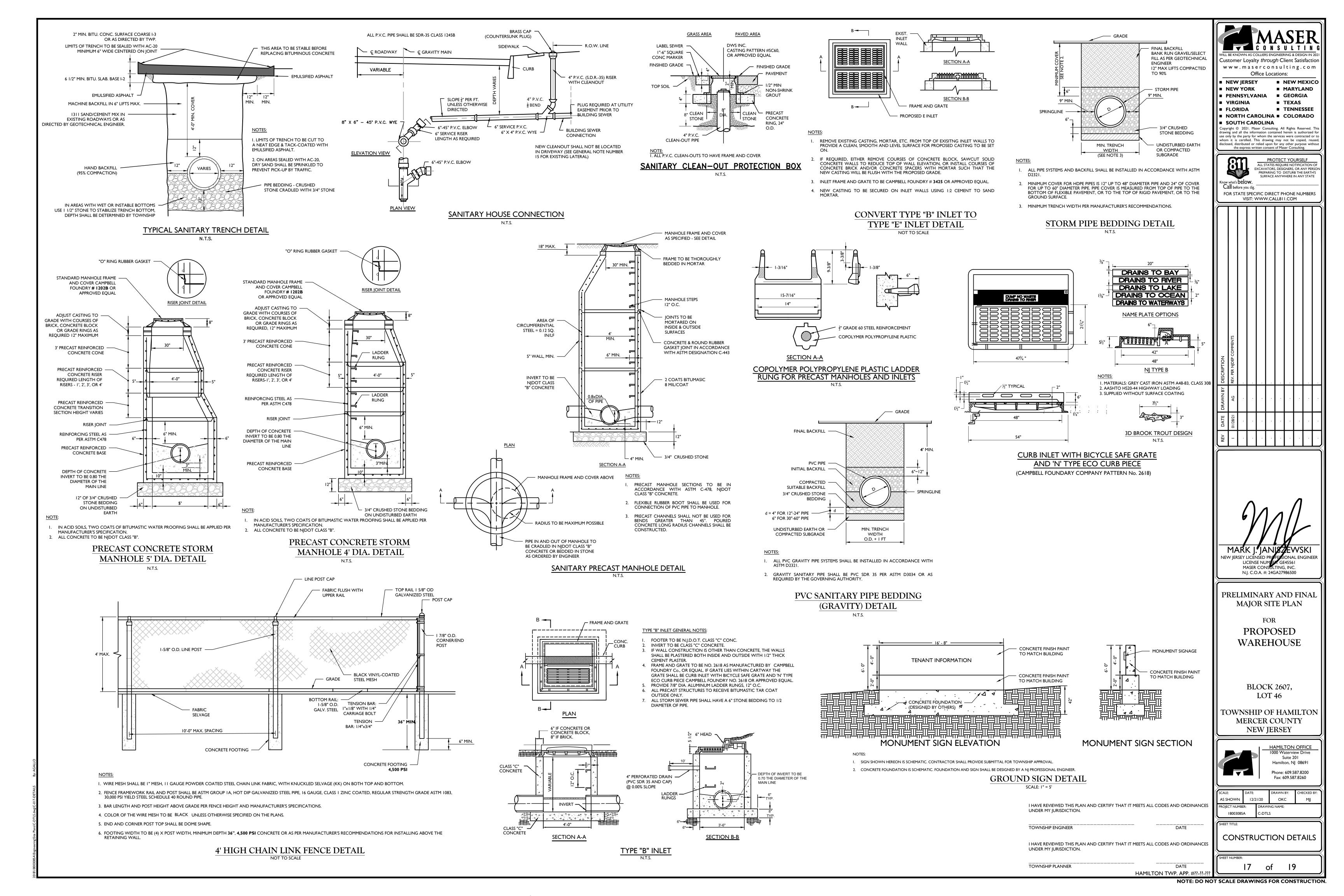
NEW JERSEY

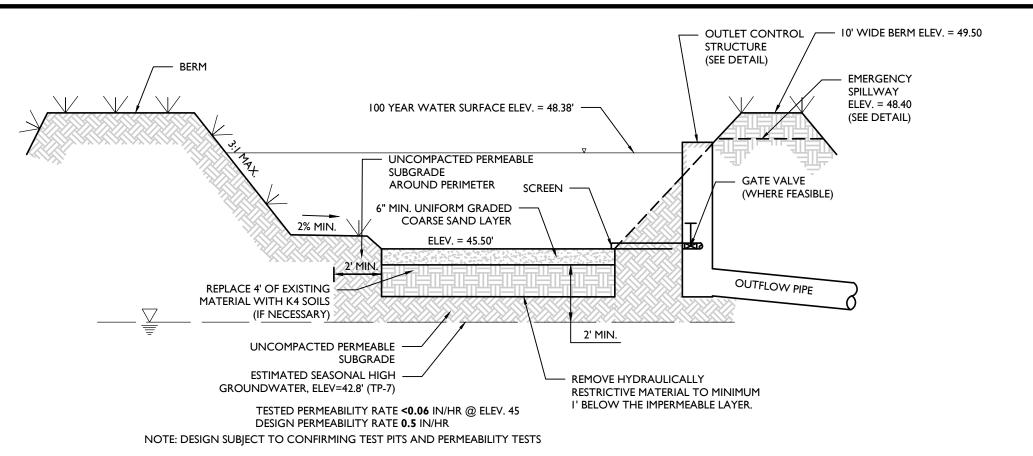
Hamilton, NJ 08691

Phone: 609.587.8200 Fax: 609.587.8260

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.







ABOVE GROUND INFILTRATION BASIN CONSTRUCTION NOTES:

A. PRE-CONSTRUCTION:

- I. CONTRACTOR SHALL PROCURE THE SERVICES OF A NEW JERSEY LICENSED PROFESSIONAL ENGINEER TO PERFORM REGULAR OVERSIGHT OF THE CONSTRUCTION OF THE INFILTRATION BASIN TO ENSURE ITS EFFECTIVENESS. THE FOLLOWING REQUIRED OVERSIGHT ACTIVITIES INCLUDING. BUT NOT LIMITED TO:
- a. PARTICIPATION BY THE ENGINEER AND CONTRACTOR AT A PRE-CONSTRUCTION MEETING TO REVIEW THE CONTRACTOR'S FAMILIARITY WITH CONSTRUCTION OF THE BASIN. b. THE CONTRACTOR SHALL IDENTIFY THE CONSTRUCTION EQUIPMENT TO BE USED FOR THE BASIN CONSTRUCTION AND THE CONSTRUCTION TECHNIQUES THAT WILL BE USED
- TO MINIMIZE COMPACTION OF THE INFILTRATION AREA. c. ENSURING THAT EARTHWORK DOES NOT OCCUR WITHIN THE LIMITS OF THE BASIN WHEN THE SOIL MOISTURE CONTENT IS ABOVE THE LOWER PLASTIC LIMIT AND THAT THE SPECIFICATIONS OF THE REPLACEMENT SOIL ARE MET.
- d. TEST EACH SOIL LAYER WHERE THE PERMEABILITY RATE IS CRITICAL PRIOR TO THE PLACEMENT OF A NEW LAYER TO ENSURE THAT THE PERMEABILITY RATE HAS BEEN RETAINED. e. THE CONTRACTOR SHALL ENSURE THAT PROPER PRECAUTIONS ARE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE INFILTRATION AREA DURING CONSTRUCTION.
- 2. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF SOIL CONDITIONS ENCOUNTERED IN THE FIELD DIFFER FROM WHAT IS SHOWN HEREON. SUCH CONDITIONS COULD RENDER THE DESIGN HEREON INAPPROPRIATE OR INEFFECTIVE.

B. DURING CONSTRUCTION:

I. DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF THE PROPOSED INFILTRATION BASIN.

2. THE LOCATION OF THE PROPOSED INFILTRATION BASIN MUST BE CORDONED OFF DURING CONSTRUCTION TO PREVENT COMPACTION OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR STOCKPILES. EXCAVATION AND CONSTRUCTION OF THE INFILTRATION BASIN MUST BE PERFORMED USING EQUIPMENT PLACED OUTSIDE THE LIMITS OF THE BASIN. IF THE SIZE THE BASIN PRECLUDES THIS APPROACH, EXCAVATION SHALL BE PERFORMED FROM THE INSIDE OUT SUCH THAT ALL EQUIPMENT UTILIZED WITHIN THE BASIN IS AT LEAST 2 FEET ABOVE THE FINAL EXCAVATION DEPTH.

3. EXCAVATION FOR THE INFILTRATION BASIN MUST BE AT LEAST 6 INCHES ABOVE THE FINAL EXCAVATION DEPTH IF IMPORTED SAND IS TO BE UTILIZED FOR THE ENGINEERED SAND LAYER. EXCAVATION MAY BE TO THE DESIGN ELEVATION OF THE INFILTRATION BASIN BOTTOM IF IN-SITU SAND MEETS THE SPECIFICATIONS AND IS TO BE UTILIZED FOR THE ENGINEERED SAND LAYER. THE USE OF THE LOCATION PROPOSED FOR AN INFILTRATION BASIN AS A SEDIMENT BASIN DURING CONSTRUCTION IS PROHIBITED.

4. THE BASIN BOTTOM SHALL BE CLEARED OF SEDIMENT AND UNSUITABLE MATERIALS SHALL BE REMOVED PERIODICALLY AS NECESSARY AND PRIOR TO FINAL EXCAVATION. THE EXCAVATION TO FINAL SUBSOIL DEPTH AND INSTALLATION OF THE ENGINEERED SAND LAYER OR IF APPLICABLE TO THE FINAL DESIGN ELEVATION OF THE INFILTRATION BASIN BOTTOM MAY ONLY OCCUR AFTER ALL SITE CONSTRUCTION WITHIN ITS DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA, INCLUDING THE BASIN SIDE SLOPES, IS

5. IF CONSTRUCTION OF THE INFILTRATION BASIN CANNOT BE DELAYED BY INSTALLING TEMPORARY STOMRWATER MANAGEMENT MEASURES, SEDIMENT BARRIERS MUST BE PLACED AROUND THE ENTIRE PERIMETER OF THE BASIN BOTTOM DURING ALL PHASES OF CONSTRUCTION TO DIVERT ALL FLOWS AWAY FROM THE BASIN. INLET FOREBAYS (CONSTRUCTED USING SEDIMENT BARRIERS) MUST BE PLACED AROUND ALL BASIN INLET PIPES CONDUIT OUTLET PROTECTION. THE SEDIMENT BARRIERS REQUIRED HEREIN MAY NOT BE REMOVED UNTIL ALL SITE CONSTRUCTION WITHIN THE BASIN DRAINAGE AREA IS COMPLETED, AND THE DRAINAGE AREA, INCLUDING THE BASIN SIDE SLOPES, IS COMPLETELY STABILIZED. 6. ALL EARTHWORK OPERATIONS, INCLUDING EXCAVATION, GRADING AND BACKFILL OPERATIONS SHALL BE CONDUCTED UNDER THE SUPERVISION OF A NEW JERSEY LICENSED

PROFESSIONAL ENGINEER. IF APPLICABLE, EXCAVATIONS TO REMOVE HYDRAULICALLY RESTRICTIVE MATERIAL SHALL EXTEND A MINIMUM OF 1' BELOW THE IMPERMEABLE LAYER AND

7. THE REPLACEMENT MATERIAL MUST MEET ALL SPECIFICATIONS FOR CLEAN, COARSE SAND IN ACCORDANCE WITH AASHTO M-6 OR ASTM C-33 MEETING AGGREGRATE SIZE GRADATION SIZE NO. 10 (AASHTO M-43), AND THE MINIMUM TESTED PERMEABILITY RATE IS 8 INCHES PER HOUR, AS CERTIFIED BY A NJ LICENSED PROFESSIONAL ENGINEER. CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEER WITH A SUBMITTAL CONFIRMING THE REQUIREMENTS ARE MET.

8. PRIOR TO INSTALLATION OF THE ENGINEERED SAND LAYER THE PERMEABILITY RATE OF THE IN-SITU UNDERLYING OR REPLACEMENT SOILS SHALL BE CONFIRMED BY A NEW IERSEY LICENSED PROFESSIONAL ENGINEER TO MEET THE MINIMUM DESIGN PERMEABILITY RATE. THE BASIN INFILTRATION RATE SHALL BE CERTIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER, THAT IT MEETS THE MINIMUM DESIGN PERMEABILITY RATE. RESULTS OF THE PERMEABILITY TESTS SHALL BE PROVIDED TO THE DESIGN ENGINEER IN WRITING PRIOR TO THE PLACEMENT OF THE SAND LAYER. SEE PERMEABILITY TESTING REQUIREMENTS BELOW.

9. ONCE THE FINAL GRADING PHASE OF A SURFACE INFILTRATION BASIN IS REACHED, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAG OR EQUIVALENT GRADING EQUIPMENT. THESE PROCEDURES SHOULD PREFERABLY BE PERFORMED WITH EQUIPMENT LOCATED OUTSIDE THE BASIN BOTTOM. IF THIS IS NOT POSSIBLE, IT SHOULD BE PERFORMED WITH LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT.

10. THE BOTTOM ENGINEERED SAND LAYER MUST MEET ALL SPECIFICATIONS FOR CLEAN, UNIFORMLY GRADED COARSE SAND IN ACCORDANCE WITH AASHTO M-6 OR ASTM C-33 MEETING AGGREGRATE SIZE GRADATION SIZE NO. 9 (AASHTO M-43). THE ABOVE MATERIAL MUST BE CERTIFIED BY A NJ LICENSED PROFESSIONAL ENGINEER. CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEER WITH A SUBMITTAL CONFIRMING THE REQUIREMENTS ARE MET. II. SOD PLACEMENT ON THE SIDE SLOPES SHALL BE EXTENDED TO THE TOP OF BERM OR AT LEAST TO I FOOT ABOVE THE 100-YR WATER SURFACE ELEVATION. SOD SHOULD BE

PLACED FIRST TO STABILIZE THE EMBANKMENT BEFORE PREPARING THE BASIN BOTTOM FOR SAND PLACEMENT. 12. THE GATE VALVE WITHIN THE OUTLET STRUCTURE SHALL REMAIN CLOSED AT ALL TIMES, EXCEPT FOR PERIODS OF MAINTENANCE.

REMOVAL OF THE MATERIAL SHALL BE WITNESS AND CERTIFIED BY A PROFESSIONAL ENGINEER

C. PERMEABILITY TESTING REQUIREMENTS:

DESIGN ENGINEER WITH THE RESULTS OF THE INFILTRATION TESTS.

I. PERMEABILITY TESTING MUST BE PERFORMED ON THE AS-BUILT INFILTRATION BASIN IN ACCORDANCE WITH THE CONSTRUCTION AND POST-CONSTRUCTION OVERSIGHT AND SOIL PERMEABILITY TESTING SECTION IN THE "NJDEP BMP MANUAL, APPENDIX E: SOIL TESTING CRITERIA"

2. AS REQUIRED BY APPENDIX E OF THE NIDEP BMP MANUAL, THE MINIMUM NUMBER OF PERMEABILITY TESTS SHALL BE A FUNCTION OF THE BASIN BOTTOM INFILTRATION AREA. THE MINIMUM PERMEABILITY RATE OF EACH TEST PIT SHALL BE 20 INCHES PER HOUR.

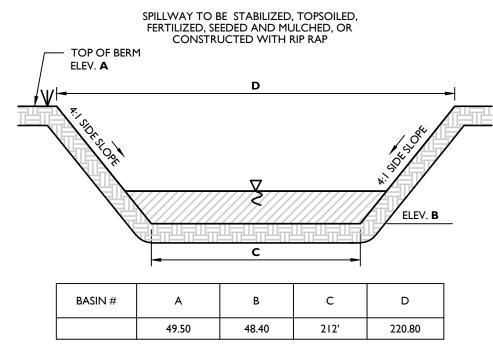
3. IF THE FIELD-TESTED PERMEABILITY RATES CONFIRM THE BASIN'S ABILITY TO TOTALLY DRAIN WITHIN 72 HOURS AFTER THE CESSATION OF THE DESIGN STORM, THE DESIGN ENGINEER, IN CONSULTATION WITH THE OWNER AND ANY AGENCY HAVING JURISDICTION, MAY ACCEPT THE BASIN DESIGN. THE CONTRACTOR HAS THE OPTION TO DEMONSTRATE THAT THE INFILTRATION BMP, WHEN FLOODED WITH WATER, EITHER ARTIFICIALLY OR NATURALLY BY RAIN EVENT, PERFORMS AS DESIGNED FOR INFILTRATION. 4. IF NEITHER THE TESTING NOR FLOODING OF THE BASIN WORKS, WHERE THE PERMEABILITY RATES DO NOT MEET THE REQUIRED DESIGN RATE NOTED ABOVE BY SHOWING A LONGER DRAIN TIME THAN DESIGNED, REMEDIAL/CORRECTIVE ACTION MUST BE TAKEN BY THE CONTRACTOR. THE SOILS BELOW THE INFILTRATION BMP MUST BE REMEDIATED OR REPLACED AND THEN RE-TESTED UNTIL THE REQUIRED DRAIN TIME IS ACHIEVED. ALL POST-CONSTRUCTION SOIL PERMEABILITY TEST RESULTS SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.

D. POST-CONSTRUCTION:

I. UPON COMPLETION OF THE BASIN, THE CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEER WITH A TOPOGRAPHIC SURVEY OF THE BASIN PREPARED BY A NEW JERSEY LICENSED PROFESSIONAL SURVEYOR. THE SURVEY SHALL INCLUDE I FOOT CONTOURS OF THE ENTIRE BASIN, TOP OF BERM ELEVATIONS, BOTTOM OF BASIN ELEVATIONS AND ALL INFORMATION PERTAINING TO THE OUTLET CONTROL STRUCTURE INCLUDING ORIFICE AND WEIR SIZES AND ELEVATIONS. THE OUTLET PIPE AND NEXT DOWN-STREAM 2. THE PROFESSIONAL ENGINEER THAT WITNESSES THE BASIN CONSTRUCTION AND PERFORMED THE SOIL INFILTRATION TESTS SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE

INFILTRATION AND EXTENDED DETENTION BASIN CROSS-SECTION DETAIL

NOT TO SCALE

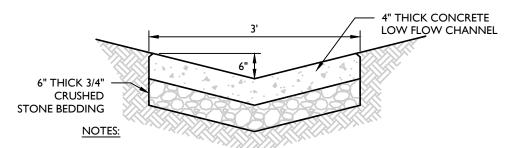


NOTES:

0% SLOPE ACROSS EMERGENCY SPILLWAY.

2. SPILLWAY SURFACE TO BE STABILIZED AS SHOWN ON THE PLANS.

EMERGENCY SPILLWAY DETAIL NOT TO SCALE

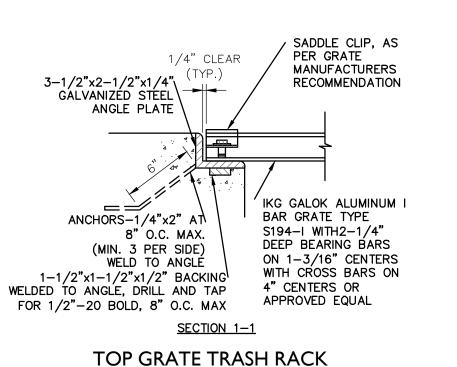


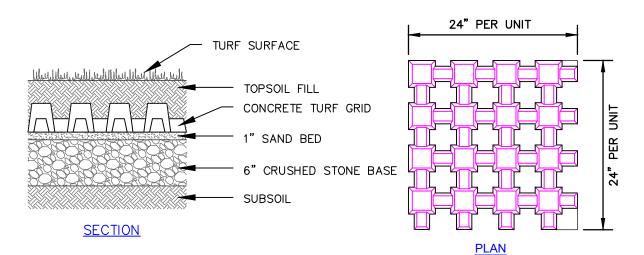
I. CONCRETE TO BE 3,000 PSI

2. CONSTRUCTION JOINT EVERY 30', EXPANSION JOINT EVERY 90'. 3. MINIMUM CHANNEL BOTTOM SLOPE = 0.5%.

CONCRETE LOW FLOW CHANNEL (V-SHAPE) DETAIL

NOT TO SCALE

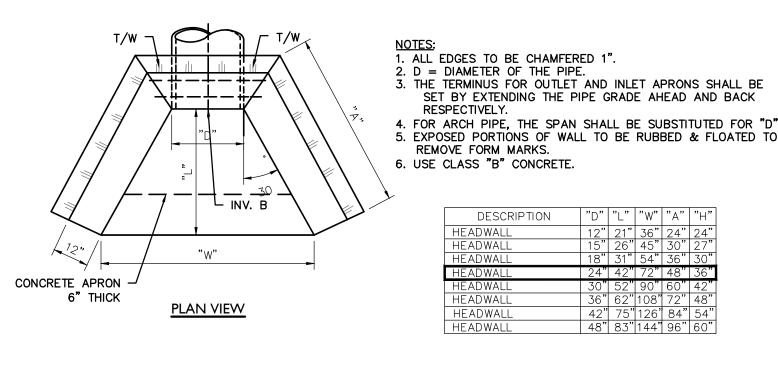


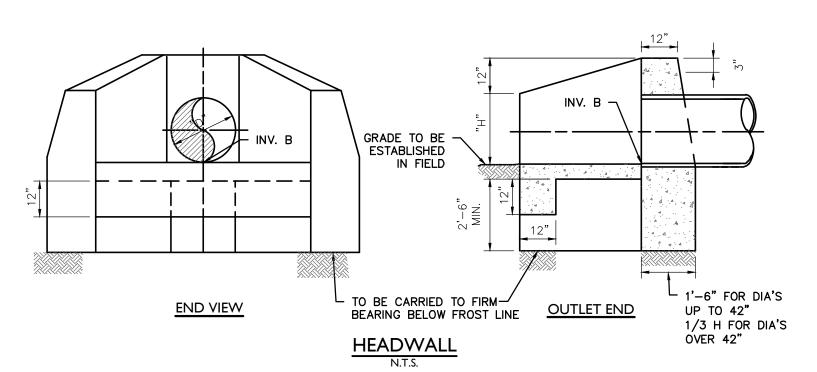


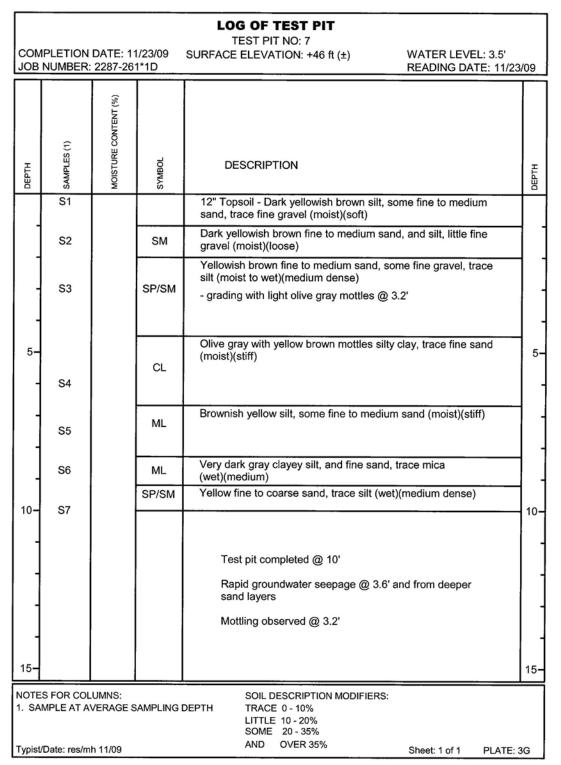
THE NEED FOR A PAVER BLOCK BASIN ACCESS DRIVE WILL BE DETERMINED AT THE TIME OF CONSTRUCTION AND WILL BE PROVIDED IF THE CONDITIONS WARRENT AND IF DIRECTED BY

BASIN GRASS PAVER ACCESS DRIVE DETAIL MINIMUM REQUIREMENTS ONLY

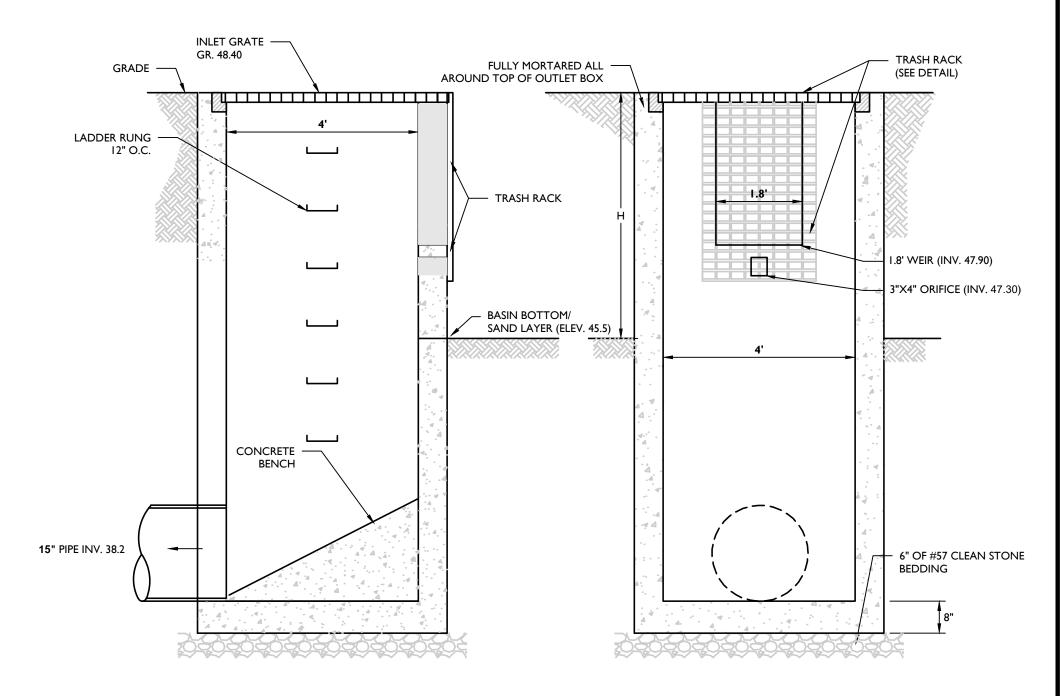
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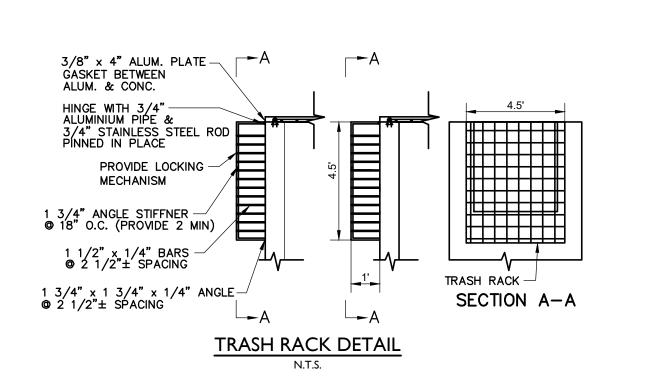
MELICK-TULLY AND ASSOCIATES, P.C. Geotechnical Engineers and Environmental Consultants



I. CONTRACTOR TO SUBMIT SHOP DRAWING FOR REVIEW AND APPROVAL

2. ALL CONCRETE TO BE 4,500 PSI.

SURFACE INFILTRATION BASIN OUTLET STRUCTURE



I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

TOWNSHIP ENGINEER

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCE UNDER MY JURISDICTION. TOWNSHIP PLANNER

HAMILTON TWP. APP. #??-??-?? NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

NEW JERSEY Hamilton, NJ 08691

Phone: 609.587.8200 Fax: 609.587.8260 AS SHOWN

NEW JERSEY LICENSED PROFESSIONAL ENGINEER LICENSE NUMBER: GE45561 MASER CONSULTING, INC.

N.J. C.O.A. #: 24GA27986500

PRELIMINARY AND FINAI

MAJOR SITE PLAN

FOR

PROPOSED

WAREHOUSE

BLOCK 2607,

LOT 46

TOWNSHIP OF HAMILTON MERCER COUNTY

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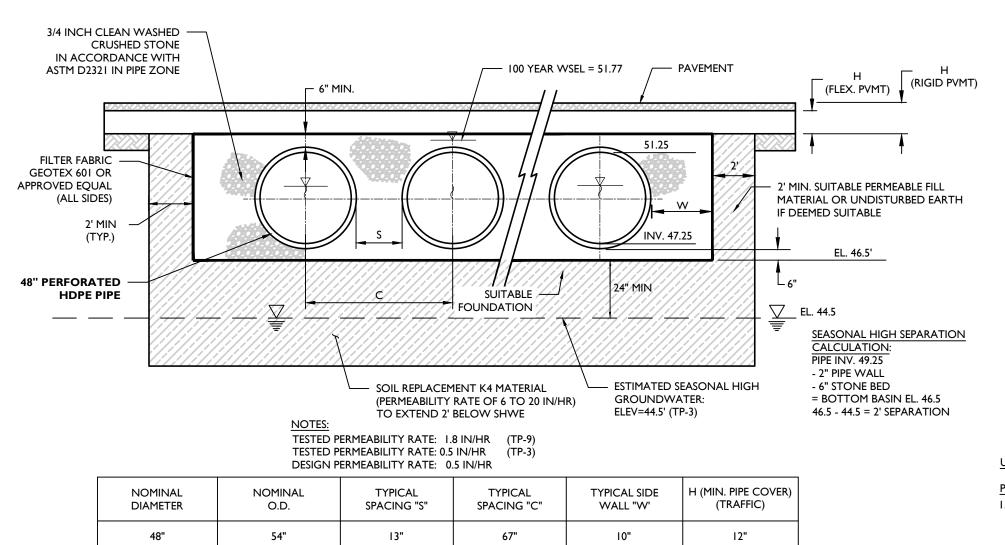
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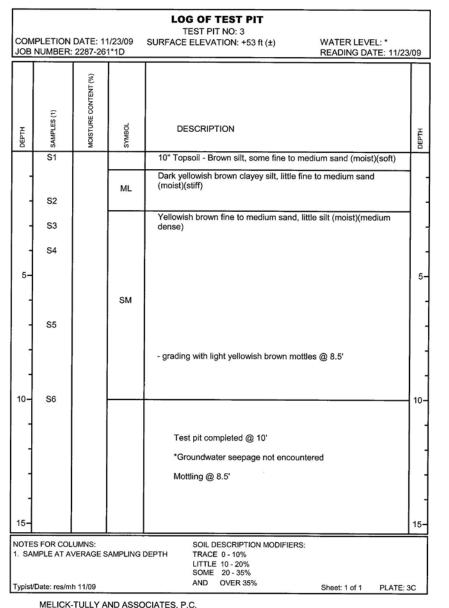
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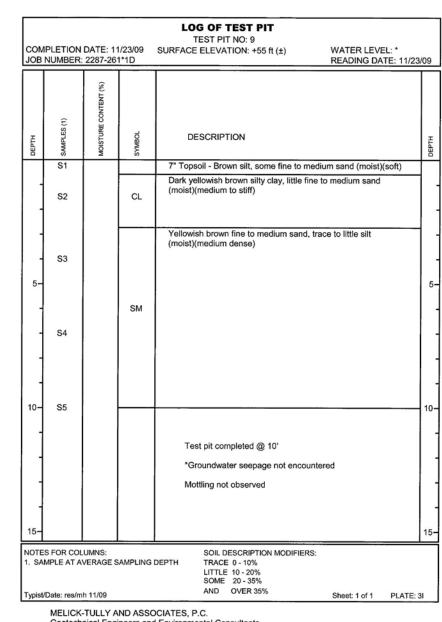
CONSTRUCTION DETAILS

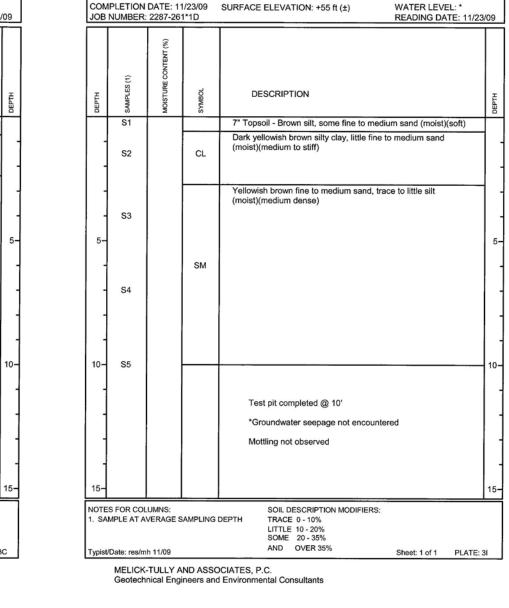


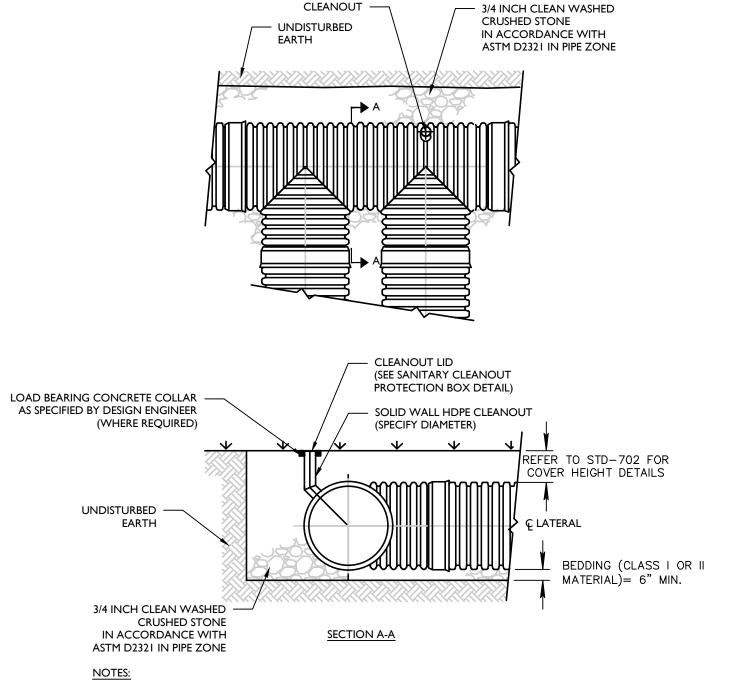
SECTION - UNDERGROUND BASIN

NOT TO SCALE



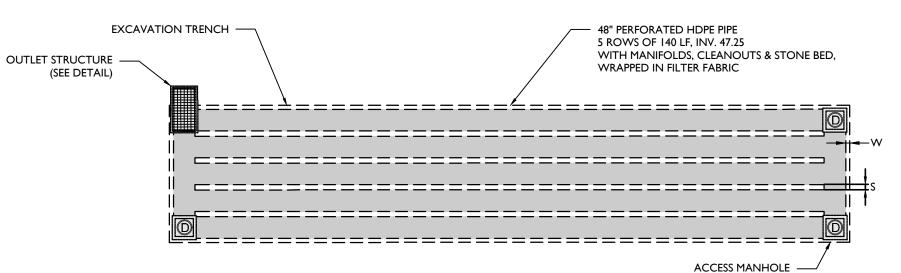






I. LOAD BEARING CONCRETE COLLAR SHALL BE CONSTRUCTED IN TRAFFIC AREAS SUCH THAT THE LIVE LOAD IS TRANSMITTED TO THE SURROUNDING SOIL AND NOT DIRECTLY TO THE RISER.

> RETENTION-DETENTION RISER AND CLEANOUT DETAIL



- I. SEE ABOVE CHART SPECIFIC TO MATERIAL/PIPE SIZES PER MANUFACTURER'S SPECIFICATIONS.
- 2. (H) FOR FLEXIBLE PAVEMENT MAY INCLUDE THE PAVEMENT SUBBASE THICKNESS AS MINIMUM COVER

SCALE: I"=20'

3. CLASS IA BACKFILL MATERIAL PER ASTM 2321 REQUIRED FOR PIPES 60" DIAMETER OR LARGER

UNDERGROUND INFILTRATION & DETENTION BASIN (OPEN SYSTEM) DETAIL

UNDERGROUND INFILTRATION BASIN CONSTRUCTION NOTES:

PRE-CONSTRUCTION:

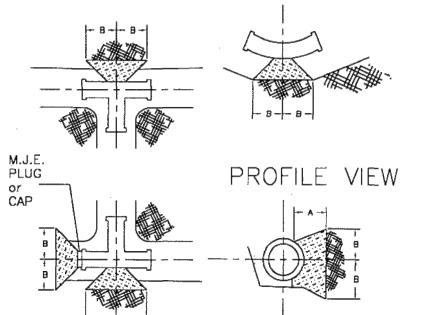
- I. CONTRACTOR SHALL PROCURE THE SERVICES OF A NEW JERSEY LICENSED PROFESSIONAL ENGINEER TO PERFORM REGULAR OVERSIGHT OF THE CONSTRUCTION OF THE UNDERGROUND INFILTRATION BASIN TO ENSURE ITS EFFECTIVENESS. THE FOLLOWING REQUIRED OVERSIGHT ACTIVITIES INCLUDING, BUT NOT LIMITED TO:
- a. PARTICIPATION BY THE ENGINEER AND CONTRACTOR AT A PRE-CONSTRUCTION MEETING TO REVIEW THE CONTRACTOR'S FAMILIARITY WITH CONSTRUCTION OF THE UNDERGOUND
- b. THE CONTRACTOR SHALL IDENTIFY THE CONSTRUCTION EQUIPMENT TO BE USED FOR THE BASIN/BMP CONSTRUCTION AND THE CONSTRUCTION TECHNIQUES THAT WILL BE USED TO MINIMIZE COMPACTION OF THE INFILTRATION AREA.
- c. ENSURING THAT EARTHWORK DOES NOT OCCUR WITHIN THE LIMITS OF THE BASIN/BMP WHEN THE SOIL MOISTURE CONTENT IS ABOVE THE LOWER PLASTIC LIMIT AND THAT THE SPECIFICATIONS OF THE REPLACEMENT SOIL ARE MET. d. TESTING EACH SOIL LAYER WHERE THE PERMEABILITY RATE IS CRITICAL PRIOR TO THE PLACEMENT OF THE HDPE PIPES TO ENSURE THAT THE PERMEABILITY RATE OF THE SUBSOIL HAS BEEN
- e. THE CONTRACTOR SHALL ENSURE THAT PROPER PRECAUTIONS ARE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE INFILTRATION AREA DURING CONSTRUCTION.
- 2. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF SOIL CONDITIONS ENCOUNTERED IN THE FIELD DIFFER FROM WHAT IS SHOWN HEREON. SUCH CONDITIONS
- COULD RENDER THE DESIGN HEREON INAPPROPRIATE OR INEFFECTIVE. 3. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE ENGINEER PRIOR TO ORDERING MATERIALS.

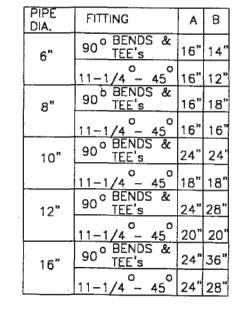
- I. ALL EARTHWORK OPERATIONS, INCLUDING EXCAVATION, GRADING AND BACKFILL OPERATIONS SHALL BE CONDUCTED UNDER THE SUPERVISION OF A NEW JERSEY LICENSED PROFESSIONAL
- 2. DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF THE PROPOSED INFILTRATION BASIN/BMF
- 3. THE LOCATION OF THE PROPOSED INFILTRATION BASIN/BMP MUST BE CORDONED OFF DURING CONSTRUCTION TO PREVENT COMPACTION OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR STOCKPILES. EXCAVATION AND CONSTRUCTION OF THE INFILTRATION BASIN MUST BE PERFORMED USING EQUIPMENT PLACED OUTSIDE THE LIMITS OF THE BASIN.
- 4. PRIOR TO INSTALLATION OF STONE BEDDING, THE PERMEABILITY RATE OF THE UNDERLYING OR REPLACEMENT SOILS SHALL BE CONFIRMED AND CERTIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER THAT IT MEETS THE MINIMUM DESIGN PERMEABILITY RATE. RESULTS OF THE PERMEABILITY TESTS SHALL BE PROVIDED TO THE DESIGN ENGINEER IN WRITING PRIOR TO THE PLACEMENT OF THE STONE BEDDING AND HDPE PIPES.
- 5. UNSUITABLE MATERIALS SHALL BE REMOVED. EXCAVATIONS TO REMOVE HYDRAULICALLY RESTRICTIVE MATERIAL SHALL EXTEND A MINIMUM OF 1' BELOW THE IMPERMEABLE LAYER AND REMOVAL OF THE MATERIAL SHALL BE WITNESS AND CERTIFIED BY A PROFESSIONAL ENGINEER. 6. THE REPLACEMENT MATERIAL MUST MEET ALL SPECIFICATIONS FOR CLEAN COARSE SAND IN ACCORDANCE WITH AASHTO M-6 OR ASTM C-33, MEETING AGGREGATE GRADATION SIZE No. 10 (AASHTO M-43) AND THE MINIMUM TESTED PERMEABILITY RATE IS 8 INCHES PER HOUR, AS CERTIFIED BY A NJ LICENSED PROFESSIONAL ENGINEER. CONTRACTOR SHALL PROVIDE THE DESIGN
- ENGINEER WITH A SUBMITTAL CONFIRMING THE REQUIREMENTS ARE MET. 7. THE CONTRIBUTING DRAINAGE AREA MUST BE COMPLETELY STABILIZED PRIOR TO INFILTRATION BASIN/BMP PUT INTO OPERATION.

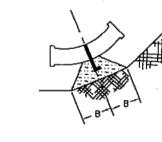
- I. PERMEABILITY TESTING MUST BE PERFORMED ON THE UNDERLYING SOIL BEFORE STONE BEDDING AND HDPE PIPE INSTALLATION IN ACCORDANCE WITH THE CONSTRUCTION AND POST-CONSTRUCTION OVERSIGHT AND SOIL PERMEABILITY TESTING SECTION IN THE "NIDEP BMP MANUAL, APPENDIX E: SOIL TESTING CRITERIA".
- 2. AS REQUIRED BY APPENDIX E OF THE NIDEP BMP MANUAL, A MINIMUM OF 4 PERMEABILITY TESTS SHALL BE PERFORMED WITHIN THE BASIN BOTTOM OF BASIN #1 AND 2 PERMEABILITY TESTS WITHIN THE BASIN BOTTOM OF BASIN #2. THE MINIMUM PERMEABILITY RATE OF EACH TEST PIT SHALL BE I INCHES PER HOUR.
- 3. IF THE PERMEABILITY RATES DO NOT MEET THE REQUIRED DESIGN RATE NOTED ABOVE, REMEDIAL ACTION MAY BE REQUIRED BY THE CONTRACTOR. THE SOILS BELOW THE INFILTRATION BMP MUST BE EXCAVATED AND REPLACED AND THEN RE-TESTED UNTIL THE REQUIRED DRAIN TIME IS ACHIEVED. ALL POST-CONSTRUCTION SOIL PERMEABILITY TEST RESULTS SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.

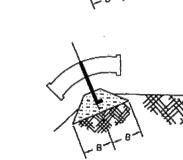
POST-CONSTRUCTION:

- L. UPON COMPLETION OF THE BASIN/BMP. THE CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEER WITH A PHOTO DOCUMENTATION OF THE UNDERGROUND SYSTEM BEFORE BACKFILL, AND AN AS-BUILT SURVEY AFTER THE COMPLETION OF THE UNDERGROUND BASIN/BMP, PREPARED BY A NEW JERSEY LICENSED PROFESSIONAL SURVEYOR. THE SURVEY SHALL BOTTOM OF BASIN/BMP elevations, and all information pertaining to the outlet control structure including orifice and weir sizes and elevations. The outlet pipe and next down-stream DRAINAGE STRUCTURE SHALL BE SURVEYED.
- 2. THE PROFESSIONAL ENGINEER THAT WITNESSES THE BASIN/BMP CONSTRUCTION AND PERFORMED THE SOIL PERMEABILITY TESTS SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE DESIGN ENGINEER WITH THE RESULTS OF THE PERMEABILITY TESTS.

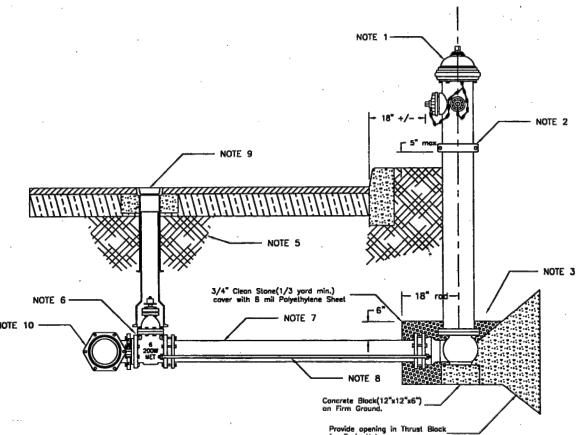






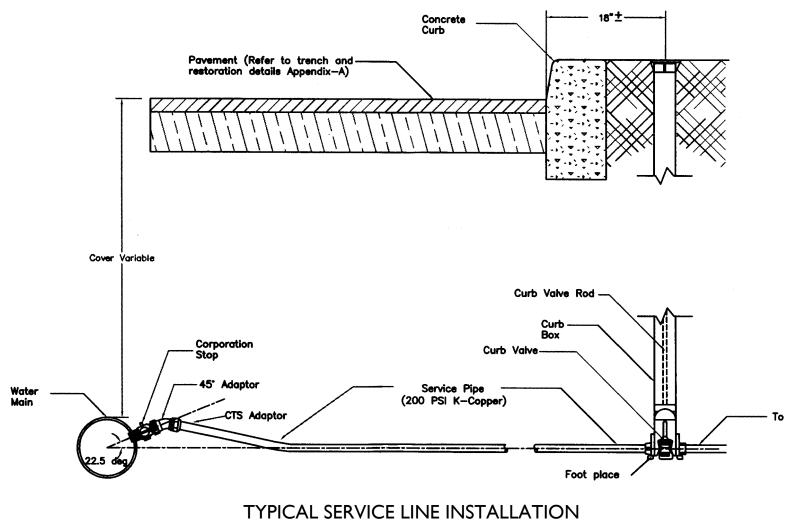


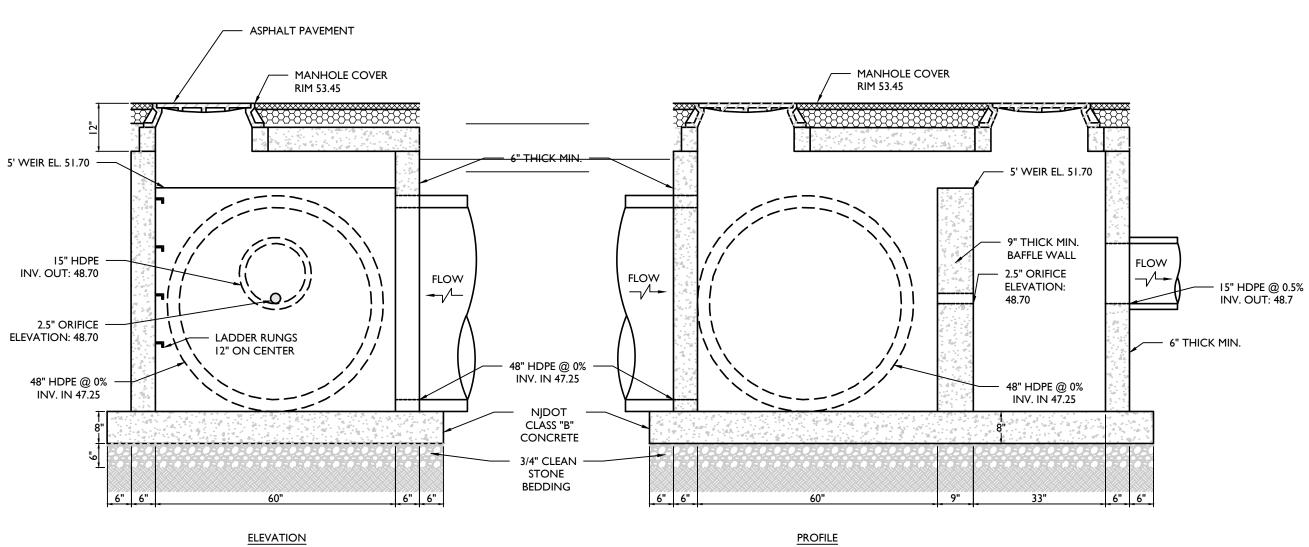
CONCRETE THRUST BLOCKS



- Hydrant shall be T.W.W. Standard U.S. Pipe METROPOLITAN 250 Dry-Barrel Traffic Model Design with the following specification. Safety coupled standpipe.
- b. 6" Mechanical joint inlet connection
- f. Hydrant hose caps shall be attached by means of chains,
- Hydrant barrels shall be pointed—RED, bonnets—YELLOW, and nozzle cops—BLACK.
- h. Hydronis shall OPEN COUNTER CLOCKWISE. Standpipe (break-away) coupling shall not exceed a MAXIMUM of Sinches from the top of the curb to the bottom of the coupling
- The drain valve shall be clear of any obstructions, and 3/4" clean grovel be placed from the bottom of the hydrant to a point 6" above the Hydrant Lateral pipe.
- 4. Thrust Blocks shall be made of Class B Concrete(3300 psi Bookfill material shall be in accordance with the local jurisdiction.
- Mechanical Joint End Gate Valve (Right Hand).
- 7. 6" Ductile iron cement lined class 52 pipe.
- 8. 3/4" Diameter tie rod with eye bolts- 2 required(side view
- Hydrant Tee shall be U.S. Pipe catalog #U-592 TRIM-TYTE Ductile Iron, Mechanical Joint or on T.W.W. approved entherthree
- Modifications of the fire hydrant location shall be the determination of the T.W.W. representive.

STANDARD HYDRANT INSTALLATION





I. CONTRACTOR TO SUBMIT SHOP DRAWING FOR REVIEW AND APPROVAL.

2. ALL CONCRETE TO BE NJDOT CLASS "B", 4500 PSI

UNDERGROUND BASIN OUTLET CONTROL STRUCTURE (WITH TOP SLAB) DETAIL

SCALE: I"=2'

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

TOWNSHIP ENGINEER I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCE UNDER MY JURISDICTION.

TOWNSHIP PLANNER

HAMILTON TWP. APP. #??-??-

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N.J. C.O.A. #: 24GA27986500

PRELIMINARY AND FINAI MAJOR SITE PLAN

PROPOSED WAREHOUSE

> BLOCK 2607, LOT 46

TOWNSHIP OF HAMILTON MERCER COUNTY **NEW JERSEY**



Hamilton, NJ 08691 Phone: 609.587.8200 Fax: 609.587.8260

CONSTRUCTION DETAILS

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.