

PROPERTY OWNERS WITHIN 200 FT.

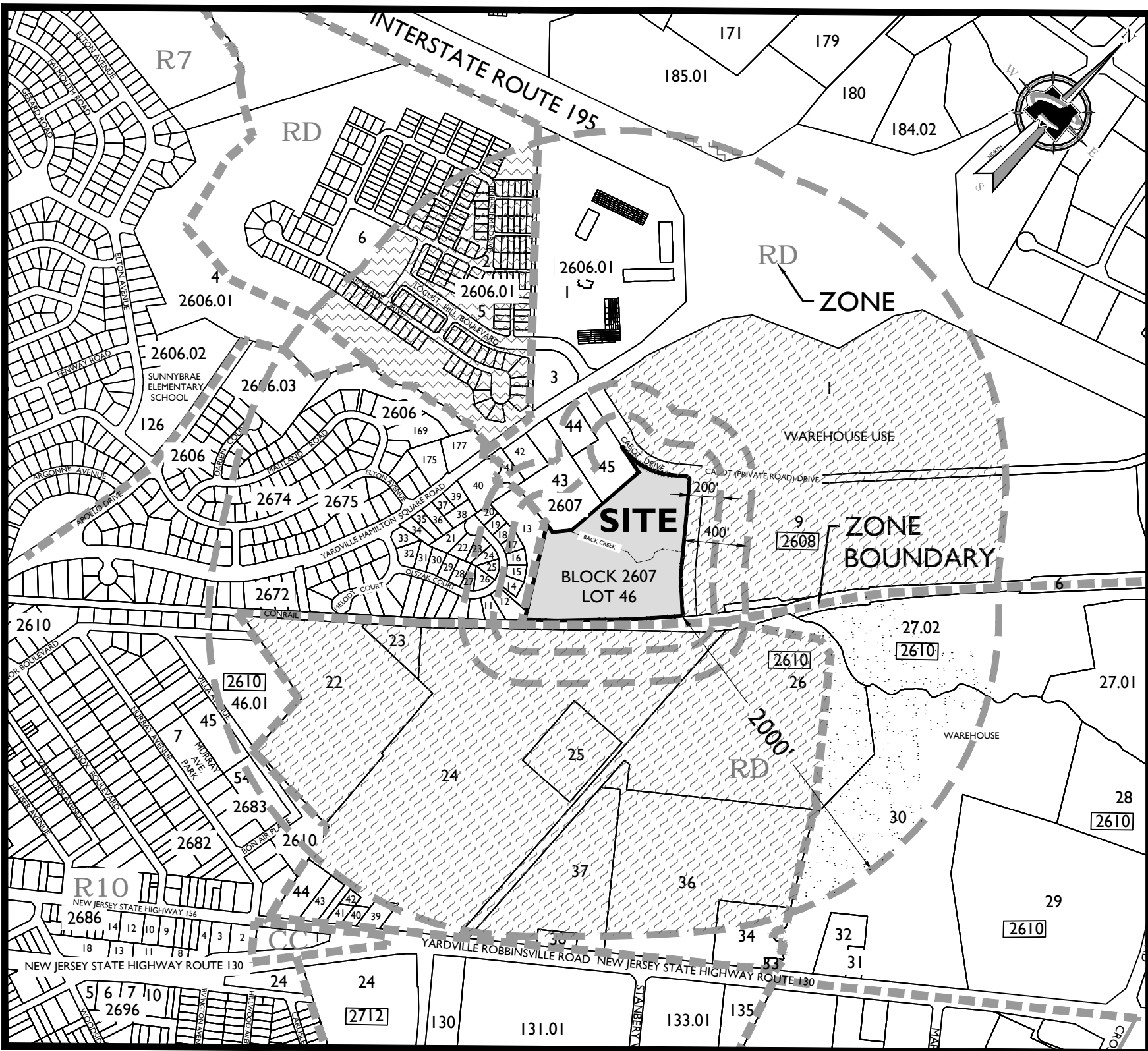
BLOCK	LOT	OWNER
2593	3 (4)	UNIRK & CANAL COMPANY 6 PENN CENTER PLAZA PHILADELPHIA, PA 19104
2607	11	DANIEL & VALERIE RECCHIA 16 OLSZAK COURT HAMILTON, NJ 08691
2607	12	DENISE R. CILIENTO, ETVR 18 OLSZAK COURT HAMILTON, NJ 08691
2607	13	TOWNSHIP OF HAMILTON 2090 GREENWOOD AVENUE TRENTON, NJ 08690
2607	14	JAMES H. TIPPETT, JR. 20 OLSZAK COURT HAMILTON, NJ 08691
2607	15	WILLIAM J. & DENISE A. STEIN 22 OLSZAK COURT TRENTON, NJ 08691
2607	16	SPENCER & DIANNE SYDOCKO 24 OLSZAK COURT HAMILTON, NJ 08691
2607	17	MICHAEL J. GOYDAN 26 OLSZAK COURT HAMILTON, NJ 08691
2607	18	PAMELA A. RICH 28 OLSZAK COURT HAMILTON, NJ 08691
2607	42 (41, 43)	ROBENSONS, LLC 6 POND VIEW LANE TITUSVILLE, NJ 08560
2607	44	JOHN R. & JAMES K. MAYER 890 YARDVILLE-HAMILTON SQUARE ROAD HAMILTON, NJ 08691
2607	45	KEITH E. JAMES K. & JOHN R. MAYER 900 YARDVILLE-HAMILTON SQUARE ROAD HAMILTON, NJ 08691
2607	46	MATRIX HAMILTON LAND, LLC FORSGATE DRIVE, CN 4000 CRANBURY, NJ 08512
2608	1	RAR-401 CABOT DRIVE, LLC P.O. BOX 4900, DEPARTMENT 207 SCOTTSDALE, AZ 85261
2608	6	THE 1-105 BUSINESS PARK OWNERS ASSOCIATION, INC. MATRIX FORSGATE DRIVE, CN-4000 CRANBURY, NJ 08512
2608	9	RECKSONMATRIX CABOT DRIVE CO S-2350 2 NORTH RIVERSIDE PLAZA CHICAGO, IL 60606
2610	24	MATRIX HAMILTON ROUTE 130 DEVELOPMENT LLC FORSGATE DRIVE CN 4000 CRANBURY, NJ 08512
2610	36.01	MREC TRENTON, NJ LLC C/O S-1405 101 CRAWFORDS CORNER ROAD HOLMDEL, NJ 07733

UTILITIES
PS&G COMPANY MANAGER CORPORATE PROPERTIES 80 PARK PLAZA, 700 NEWARK, NJ 07102
PS&G COMPANY ATTENTION: DONNA CONSIGLIO 4140 QUAKERBRIDGE ROAD TRENTON, NJ 08648
TRENTON WATER WORKS 553 CORTLAND STREET #2 TRENTON, NJ 08638
AQUA NJ, LLC 10 BLACK FOREST ROAD HAMILTON, NJ 08691

INDEX OF SHEETS

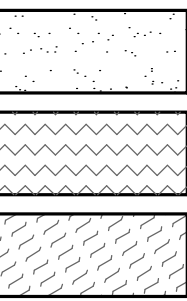
SHT. No.	DESCRIPTION	LATEST REVISION
1	COVER SHEET	
2	EXISTING CONDITIONS PLAN	
3	OVERALL DIMENSION PLAN	
4	DIMENSION PLAN	
5	GRADING PLAN	
6	UTILITY PLAN	
7	PROFILES	
8	SOIL EROSION & SEDIMENT CONTROL PLAN	
9	SOIL MANAGEMENT AND PREPARATION PLAN	
10	SOIL EROSION & SEDIMENT CONTROL DETAILS	
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PRELIMINARY AND FINAL MAJOR SITE PLAN FOR PROPOSED WAREHOUSE BLOCK 2607, LOT 46 TOWNSHIP OF HAMILTON MERCER COUNTY, NEW JERSEY



ZONING LEGEND:

RD	RESEARCH DEVELOPMENT
R7	SINGLE FAMILY RESIDENTIAL
R10	SINGLE FAMILY RESIDENTIAL
CC	COMMUNITY COMMERCIAL

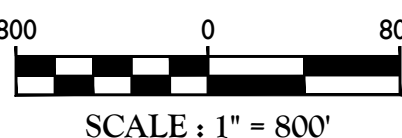


DOCUMENTED FLOOD PRONE AREAS

PLANNED RETIREMENT DEVELOPMENT OVERLAY ZONE

PLANNED COMMERCIAL DEVELOPMENT WITHIN PLANNED MIX-USE RESEARCH & DEVELOPMENT PARKS

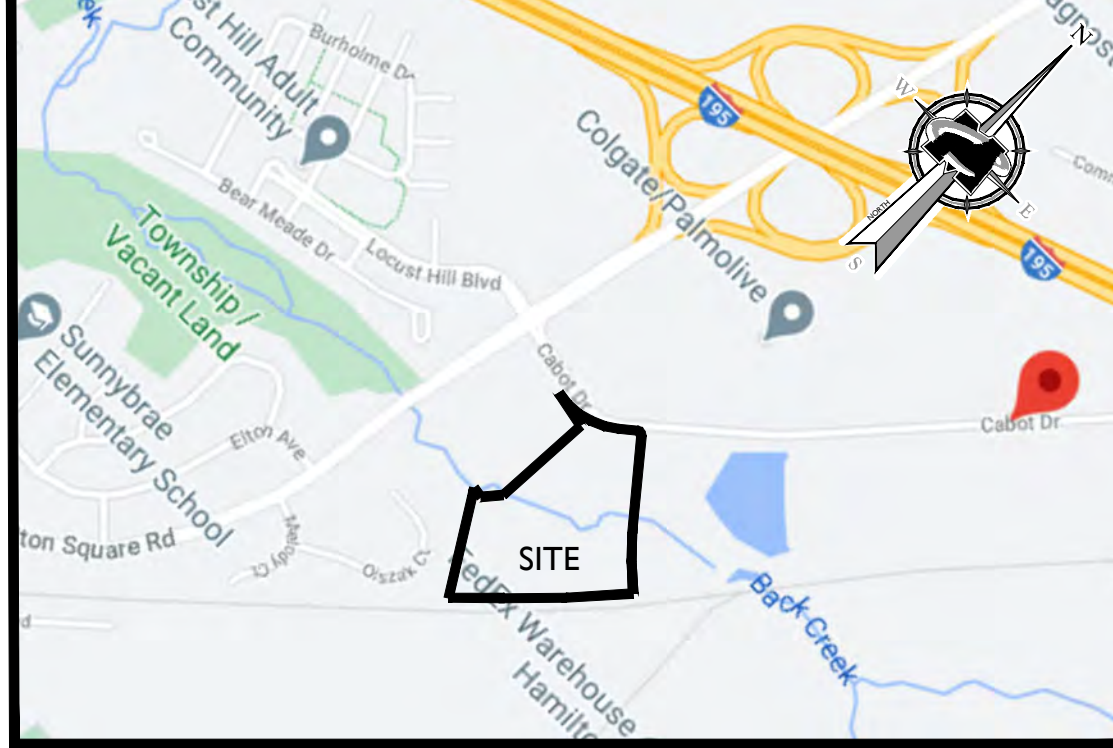
KEY & ZONING MAP



GENERAL NOTES

- THE SUBJECT PROPERTY IS KNOWN AS LOT 46 BLOCK 2607 AS SHOWN ON SHEET 300 OF THE OFFICIAL TAX MAP OF THE TOWNSHIP OF HAMILTON, MERCER COUNTY, NEW JERSEY DATED JULY 20, 2016.
 - THE PROPERTY IS LOCATED IN THE RD (RESEARCH DEVELOPMENT) ZONE DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 749,758 SF, 17.2 ACRES.
 - THE SUBJECT PROPERTY IS PRESENTLY AN UNDEVELOPED PARTIALLY WOODED FIELD. THE APPLICANT PROPOSES PRELIMINARY AND FINAL MAJOR SITE PLAN APPROVAL FOR A 53,960 SF WAREHOUSE BUILDING WITH 8 TRAILER PARKING SPACES, AND 37 CAR PARKING SPACES, UNDER THE RESEARCH PARK USE REQUIREMENTS OF THE RD ZONE.
- OWNER: MATRIX HAMILTON LAND, LLC
FORSGATE DR. CN 4000
CRANBURY, NJ 08512
- APPLICANT: MATRIX REALTY INC.
FORSGATE DR. CN 4000
CRANBURY, NJ 08512
- | 4. ZONE DATA: RESEARCH DEVELOPMENT (RD) | REQUIRED | EXISTING | PROPOSED |
|---|----------|----------|----------|
| MINIMUM LOT AREA | 4 AC | 17.2 AC | 17.2 AC |
| MINIMUM LOT WIDTH | 300 FT | 449 FT | 449 FT |
| MINIMUM LOT DEPTH | 400 FT | 898 FT | 898 FT |
- | PRINCIPAL BUILDING | MINIMUM FRONT YARD SETBACK | MINIMUM REAR YARD SETBACK | MINIMUM SIDE YARD SETBACK | MINIMUM COMBINED SIDE YARD SETBACK | MAX. BUILDING HEIGHT | MAX. FLOOR AREA RATIO | MAX. PERCENT LOT IMPERVIOUS COVERAGE |
|--------------------|----------------------------|---------------------------|---------------------------|------------------------------------|----------------------|-----------------------|--------------------------------------|
| | 80 FT | - | 63 FT (V) | 10 FT (V) | 35 FT | 0.07 | 13.8% |
| | 25 FT (I) | - | 640 FT | 91 FT (V) | 45 FT | 0.07 | 13.8% |
| | 50 FT | - | 640 FT | 91 FT (V) | 45 FT | 0.07 | 13.8% |
| | 50 FT | - | 640 FT | 91 FT (V) | 45 FT | 0.07 | 13.8% |
| | 50 FT | - | 640 FT | 91 FT (V) | 45 FT | 0.07 | 13.8% |
- LANDSCAPE BUFFER: 50 FT SOFT 10 FT (V)

- (V) DENOTES A VARIANCE
- (I) PER ORDINANCE SECTION 550-84, SITE FAR IS REDUCED BASED ON A PERCENTAGE OF WETLANDS AND FLOOD HAZARDOUS AREA ON THE SITE. THE REDUCED FAR IS CALCULATED AS FOLLOWS:
5.46 AC (WETLANDS/FHA) X 50% = 2.73 AC
17.2 AC (TOTAL SITE) - 5.46 (WETLANDS/FHA) = 11.74 AC
(11.74 AC - 2.73) X 0.25 = 3.62 AC
3.62 AC / 17.2 AC = 0.21 FAR
- (II) PER ORDINANCE SECTION 550-81 F(5) YARD REQUIREMENTS ADJOINING RAILROADS, THE SIDE AND REAR YARD REQUIREMENTS SHALL BE REDUCED BY 50% WHERE THEY APPLY TO THOSE PORTIONS OF A LOT IMMEDIATELY ADJOINING AND BOUNDED BY THE RIGHT-OF-WAY OF A RAILROAD.
5. PARKING REQUIREMENTS PER CURRENT ORDINANCE (SEE BELOW FOR CALCULATIONS):
WAREHOUSE (1 SPACE PER 750 SF)
OFFICE (1 SPACE PER 250 SF)
REQUIRED PARKING SPACES = 48,960 X (1 SPACE / 750 SF) + 5,000 X (1 SPACE / 250 SF) = 86 SPACES
PROPOSED CAR PARKING SPACES = 37 SPACES (V)
- PARKING REQUIREMENTS PER INFORMATION PROVIDED BY THE TOWNSHIP PLANNER ON NOVEMBER 13, 2019 REGARDING A PROPOSED ORDINANCE (SEE BELOW FOR CALCULATIONS):
WAREHOUSE (1 SPACE PER 3,000 SF)
OFFICE (1 SPACE PER 250 SF)
REQUIRED PARKING SPACES = 48,960 X (1 SPACE / 3,000 SF) + 5,000 X (1 SPACE / 250 SF) = 37 SPACES
PROPOSED CAR PARKING SPACES = 37 SPACES
6. THE FOLLOWING VARIANCES AND/OR DESIGN WAIVERS ARE REQUESTED FROM THE FOLLOWING ORDINANCE SECTIONS:
- ORDINANCE SECTION 550-119 F(2): A VARIANCE IS REQUESTED TO PROVIDE 37 CAR PARKING SPACES WHEREAS 86 ARE REQUIRED PER THE CURRENT ORDINANCE.
 - ORDINANCE SECTION 550-81 E: THE MINIMUM FRONT YARD SETBACK FOR A BUILDING WITHIN THE RD ZONE (RESEARCH PARK USE) IS 80 FEET. A VARIANCE IS REQUESTED TO PROPOSE A 63 FEET FRONT YARD SETBACK.
 - ORDINANCE SECTION 550-81 E: THE MINIMUM SIDE YARD SETBACK FOR A BUILDING WITHIN THE RD ZONE (RESEARCH PARK USE) IS 50 FEET. A VARIANCE IS REQUESTED TO PROPOSE A 10 FOOT SIDE YARD SETBACK.
 - ORDINANCE SECTION 550-81 E: THE MINIMUM COMBINED SIDE YARD SETBACK FOR A BUILDING WITHIN THE RD ZONE (RESEARCH PARK USE) IS 100 FEET. A VARIANCE IS REQUESTED TO PROPOSE A 91 FOOT COMBINED SIDE YARD SETBACK.
 - ORDINANCE SECTION 550-81 F(2): WITHIN A RESEARCH PARK, 50 FEET ADJACENT TO THE FRONT LOT LINE AND 50 FEET ADJACENT TO ANY LOT LINE SHALL NOT BE USED FOR PARKING AND SHALL BE PLANTED AND MAINTAINED IN LAWN OR COVER OR LANDSCAPED WITH EVERGREEN SHRUBBERY. THE REQUIRED BUFFER ALONG THE SIDE OR REAR PROPERTY LINES MAY BE REDUCED TO 25 FEET IN WIDTH. A VARIANCE IS REQUESTED TO PROPOSE A PARKING LOT WITHIN THE 50 FOOT FRONT YARD BUFFER AND THE PRINCIPAL BUILDING AND PARKING LOT WITHIN THE 25 FOOT SIDE YARD BUFFER.
 - ORDINANCE SECTION 550-81 F(3): ANY PARKING PROPOSED WITHIN THE FRONT YARD SHALL BE SCREENED BY A LANDSCAPED BERM OF AT LEAST 14 FEET IN HEIGHT AND HAVING A SLOPE OF 1 TO 1. A VARIANCE IS REQUESTED TO PROPOSE LANDSCAPING ONLY TO SCREEN THE PARKING WITHIN THE FRONT YARD.
 - ORDINANCE SECTION 550-81 F(4): A MINIMUM BUFFER AREA OF 150 FEET IN WIDTH SHALL BE PROVIDED ALONG ANY COMMON PROPERTY LINE WITH A RESIDENTIAL DISTRICT, AND A MINIMUM BUFFER AREA OF 75 FEET IN WIDTH SHALL BE PROVIDED ALONG ANY COMMON PROPERTY LINE WITH ANY RESIDENTIAL USE. A VARIANCE IS REQUESTED TO PROPOSE THE PARKING LOT WITHIN THE SIDE AND FRONT BUFFERS, RESPECTIVELY.
 - ORDINANCE SECTION 550-119 C(3): CURBING SHALL BE BELGIAN BLOCK. A DESIGN WAIVER IS REQUESTED TO PROVIDE CONCRETE CURB ON THE ACCESS DRIVEWAY AND TRUCK COURT.
 - ORDINANCE SECTION 550-124 F(4): THE GROUND SIGNS SHALL BE BACK 30 FEET FROM THE PROPERTY LINE. A DESIGN WAIVER IS REQUESTED TO PROPOSE GROUND SIGNS 10 FEET FROM THE PROPERTY LINE.
 - ORDINANCE SECTION 550-124 F(4): NO FREESTANDING OR ATTACHED SIGN SHALL BE HIGHER AT ANY POINT THAN THE ROOFLINE OF THE BUILDING OR 25 FEET, WHICHEVER IS LOWER. EXCEPT THAT NO SIGN SHALL EXCEED ANY LESSER HEIGHT IF PARTICULARLY SPECIFIED. A DESIGN WAIVER IS REQUESTED TO PROPOSE AN ATTACHED SIGN GREATER THAN 25 FEET.
 - ORDINANCE SECTION 550-117 C(1): TREES SHALL BE REPLANTED USING THE FOLLOWING FORMULA: LARGE-GROWING DECIDUOUS TREES SHALL BE PLANTED USING A RATIO OF 100 TREES PLANTED FOR EVERY ONE ACRE OF WOODLAND LOST. TREES SHALL BE A MINIMUM OF 1 1/2 TO 2" CALIBER AT THE TIME OF PLANTING. THERE ARE 158 ACRES OF WOODLAND TO BE RECOVERED, REQUIRING 158 COMPENSATION TREES. A DESIGN WAIVER IS REQUESTED TO PROPOSE 38 COMPENSATION TREES.
 - ORDINANCE SECTION 550-130 A(15): AT LEAST ONE TREE SHALL BE PLANTED FOR EVERY 10 PARKING SPACES IN OFF STREET PARKING AREAS. A DESIGN WAIVER IS REQUESTED TO PROPOSE 3 TREES, WHEREAS 4 TREES ARE REQUIRED.
7. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED FOR MATRIX HAMILTON LAND, LLC BLOCK 2607, LOT 46, TOWNSHIP OF HAMILTON, MERCER COUNTY, NEW JERSEY" PREPARED BY BOWMAN CONSULTING GROUP, LTD., DATED 09/04/18, LAST REVISED 04/06/20.
8. THE LIMITS OF FRESHWATER WETLANDS SHOWN HEREON WERE FIELD DELINEATED BY JOHN ALEXANDER, P.L.S. OF BOWMAN CONSULTING GROUP, LTD., AND FIELD VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION WITH A LETTER OF INTERPRETATION DATED: JUNE 11, 2019, (FILE NO. I103-05-0012), ACTIVITY NO. FFW1180001.
9. 100 YEAR FLOODPLAINS ARE PRESENT ON THE SITE AS SHOWN ON THE SITE PER THE FLOOD INSURANCE MAP FOR THE TOWNSHIP OF HAMILTON, MERCER COUNTY, NEW JERSEY, DATED JULY 20, 2016, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL ID NUMBER 340246-0231-F.
10. SOIL TEST PIT LOCATIONS HEREON ARE SHOWN IN A REPORT TITLED "GEO-TECHNICAL INVESTIGATION", DATED DECEMBER 10, 2010, PREPARED BY MELICK-TULLY AND ASSOCIATES, P.C.
11. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
- NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", 2019 AS SUPPLEMENTED.
 - TOWNSHIP CONSTRUCTION DETAILS AS REVISED TO FEBRUARY 2007, CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
12. WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE ON CABOT DRIVE, OWNED AND OPERATED BY THE TRENTON WATER WORKS. PROPOSED WATER MAIN SERVICES AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL. ACCORDING TO THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS, AMERICAN WATERWORKS ASSOCIATION STANDARDS, PIPE MATERIALS SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TYPE COATING OR AWWA C-900. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED GRADE.
13. SANITARY SEWER SERVICE SHALL BE PROVIDED BY A GRAVITY SEWER CONNECTION TO THE EXISTING SEWER MAIN ON CABOT DRIVE, OWNED AND OPERATED BY THE HAMILTON TOWNSHIP DEPARTMENT OF WATER POLLUTION CONTROL. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL. ACCORDING TO NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS, PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 3 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
14. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT).
- IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION THAT IS DUCTILE IRON PIPE WITH MECHANICAL RESTRAINT JOINTS, WITH WATER TIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN. CONTRACTOR SHALL USE LONGITUDINAL COUPLING, POWERFUL MODEL #3501-8AAB OR EQUIVALENT AT DIP/VC JOINTS.
15. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
16. ALL UTILITIES INCLUDING BUT NOT LIMITED TO ELECTRICAL, TELEPHONE, TELEVISION AND OTHER COMMUNICATIONS SHALL BE INSTALLED UNDERGROUND. PROPOSED PAYMENTS SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
17. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
18. STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOX SUPERSEAL OR EQUIVALENT), 16 GAUGE ALUMINIZED TYPE B COATED CORRUGATED PIPE (HDP), ADS 14-12 PER FOOT OR NORMALLY 1.0% FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHER WISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).
19. STRIPING: THE INTERNATIONAL SYMBOLS FOR ACCESSIBLE PARKING PAVEMENT MARKING SHALL HAVE A BLUE BACKGROUND WITH WHITE STRIPING.
20. IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICE PRIOR TO COMMENCING WORK.
21. I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.



LOCATION MAP

SCALE: 1" = 1000±

22. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. ALL SIGN POSTS SHALL BE GALVANIZED BREAK-AWAY STEEL "U" POSTS.
23. THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
24. BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR THE BUILDING SHALL BE FURNISHED AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BLANK ZONING REQUIREMENTS.
25. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THEREON.
26. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION".
- THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
27. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
28. THIS PLAN IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXCAVATION OR TESTING SERVICES. INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERGROUND PROFESSIONAL SHALL BE QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
29. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
30. THE OPERATION AND MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, AND SHALL BE PASSED TO ANY SUCCESSIVE OWNER.
31. ALL UTILITIES ARE THE RESPONSIBILITY OF THE APPLICANT.
32. ALL TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM UNDERGROUND UTILITIES.
33. ALL STRUCTURES (STORM INLETS, MANHOLES, SANITARY MANHOLES, ETC.) SHALL BE PRECAST, ALL CONCRETE AND CONCRETE STRUCTURES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI.
34. INSIDE DROP MANHOLES AND FLOOR DRAINS SHALL NOT BE INSTALLED WITHIN THE COLLECTION SYSTEM. GARBAGE DISPOSALS AND FLOOR DRAINS SHALL NOT BE CONNECTED TO THE SANITARY SEWER.
35. ALL TRAFFIC CONTROL STRIPING AND PAVEMENT MARKINGS SHALL BE LONG LIFE EPOXY RESIN. ALL STRIPING SHALL BE PER MUTCD AND NJDOT STANDARDS AND SPECIFICATIONS.
36. THE MAINTENANCE PLAN AND ANY FUTURE REVISIONS SHALL BE RECORDED UPON THE DEED OF RECORD FOR EACH PROPERTY ON WHICH THE MAINTENANCE DESCRIBED IN THE MAINTENANCE PLAN MUST BE UNDERTAKEN. APPLICANT SHALL SUBMIT FOR REVIEW AND APPROVAL PRIOR TO FILING. APPLICANT WILL NEED TO PROVIDE PROOF OF THE FILED DEED.
37. THE APPLICANT SHALL MAINTAIN A DETAILED LOG OF ALL PREVENTATIVE AND CORRECTIVE MAINTENANCE FOR THE STRUCTURAL STORMWATER MANAGEMENT ELEMENTS INCORPORATED INTO THE DESIGN OF THE DEVELOPMENT, INCLUDING A RECORD OF ALL INSPECTIONS AND COPIES OF ALL MAINTENANCE-RELATED WORK ORDERS.
38. THE APPLICANT SHALL EVALUATE THE EFFECTIVENESS OF THE MAINTENANCE PLAN AT LEAST ONCE PER YEAR AND ADJUST THE PLAN AND THE DEED AS NEEDED.
39. ONCE THE PROJECT IS COMPLETED, APPLICANT SHALL SUBMIT AN ANNUAL INSPECTION REPORT PREPARED BY A PROFESSIONAL ENGINEER LICENSED IN NEW JERSEY OR A NEW JERSEY CERTIFIED STORMWATER INSPECTOR TO THE TOWNSHIP OF HAMILTON DEPARTMENT OF COMMUNITY PLANNING AND COMPLIANCE, DIVISION OF ENGINEERING, BY JUNE 30 EACH YEAR.
40. AS A CONDITION OF APPROVAL, THE APPLICANT SHALL BE REQUIRED TO SUBMIT THE FOLLOWING UPON COMPLETION OF CONSTRUCTION AND PRIOR TO RELEASE OF ANY PERFORMANCE GUARANTEES:
A. AS-BUILT DRAWINGS PREPARED BY A NJ LICENSED LAND SURVEYOR FOR THE DRAINAGE SYSTEM AND DETERMINED FACILITIES.
B. ENGINEER'S CERTIFICATION THAT THE DETENTION FACILITIES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS AND APPROPRIATE DETENTION SIZE AND VOLUME OF STORAGE IS PROVIDED. THE CERTIFICATE SHALL INCLUDE A TABLE COMPARING THE DESIGN STORAGE VOLUMES TO THE AS-BUILT CONDITIONS.
C. POST-CONSTRUCTION SOIL PERMEABILITY TESTS SHALL BE PERFORMED AS PER NJDEP STORMWATER BEST MANAGEMENT PRACTICES MANUAL, APPENDIX E SECTION 46 AND SUBMITTED TO HAMILTON TOWNSHIP FOR REVIEW.
41. THE CONTRACTOR SHALL PROVIDE THE TOWNSHIP ENGINEER A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION.
42. THE APPLICANT SHALL SUBMIT THE UTILITY PLAN TO THE DEPARTMENT OF WATER POLLUTION (WPC) AT THE COMPLETION OF THE PROJECT. THE FILE SHALL BE A CAD-GENERATED DATA FILE.
43. THE APPLICANT SHALL SUBMIT THE AS-BUILT PLAN ON CD IN PDF FORMAT TO THE DEPARTMENT OF WATER POLLUTION (WPC).
44. ALL WORK IS TO BE DONE IN ACCORDANCE WITH NJDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", EDITION 2019 AND THE TOWNSHIP CONSTRUCTION DETAILS AS REVISED TO FEBRUARY 2007.
45. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

ADA INSTRUCTIONS TO CONTRACTOR:

- CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN, FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCES/EXITS. SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS, THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
- PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
 - CURB RAMPS - SLOPES SHALL NOT EXCEED 1:12 (8.3%).
 - LANDINGS SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
 - PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH), THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE.
 - WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
 - DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHER WISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).
 - STRIPING: THE INTERNATIONAL SYMBOLS FOR ACCESSIBLE PARKING PAVEMENT MARKING SHALL HAVE A BLUE BACKGROUND WITH WHITE STRIPING.
2. IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICE PRIOR TO COMMENCING WORK.
- I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

TOWNSHIP ENGINEER _____ DATE _____

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

TOWNSHIP PLANNER _____ DATE _____

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 NEW JERSEY LICENSED PROFESSIONAL ENGINEER
 LICENSE NUMBER: 3645561
 MASER CONSULTING, INC.
 NJ, C.O.A. #HJCAZ7986500

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR PROPOSED WAREHOUSE

BLOCK 2607,
 LOT 46
 TOWNSHIP OF HAMILTON
 MERCER COUNTY
 NEW JERSEY

HAMILTON OFFICE
 1000 Waterview Drive
 Suite 201
 Hamilton, NJ 08691
 Phone: 609.587.8200
 Fax: 609.587.8260

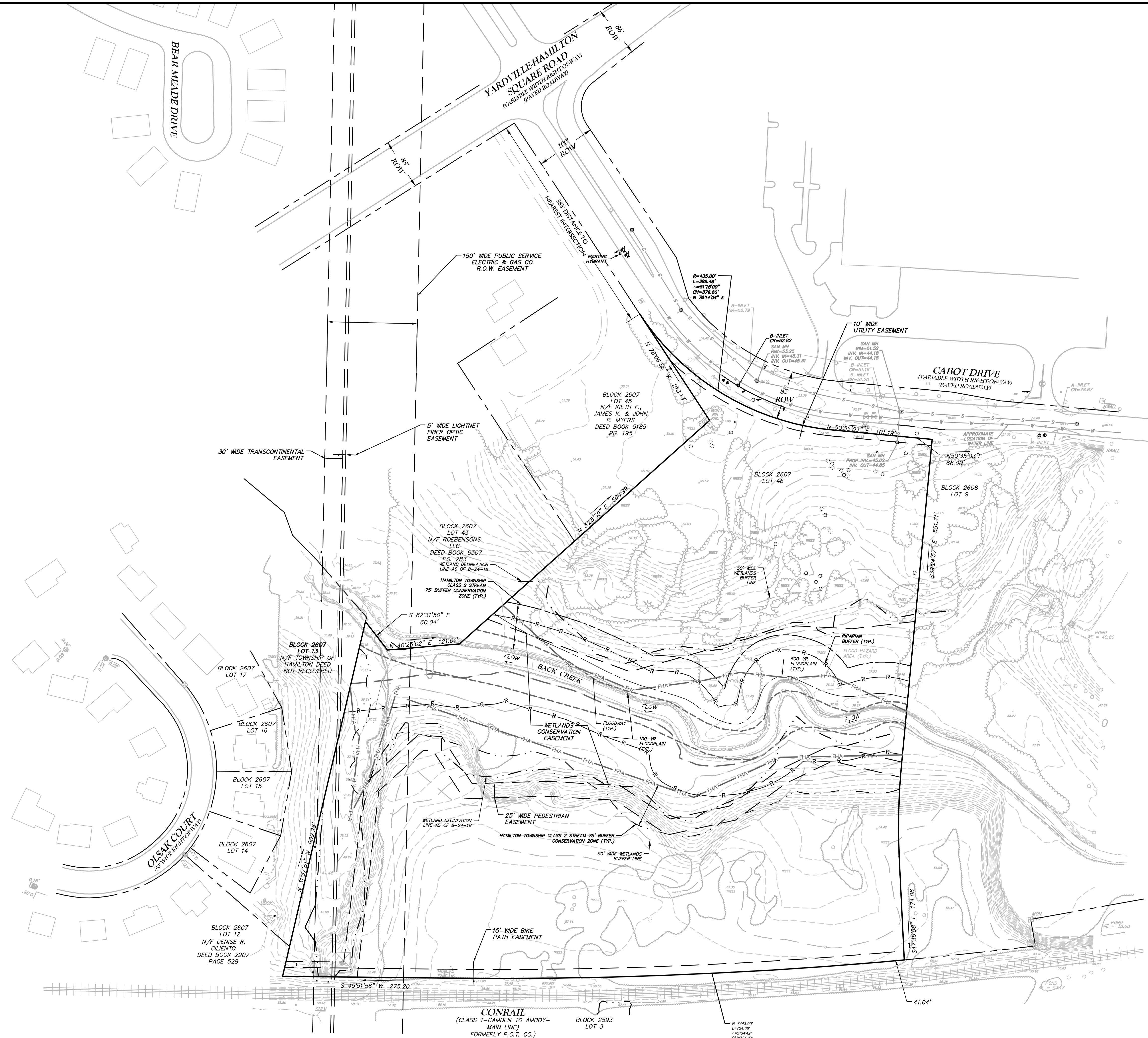
SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	12/21/20	OKC	MJ

PROJECT NUMBER: 18003085A
 DRAWING NAME: C-COVER

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
 1 of 19

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EXISTING CONDITIONS NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED FOR MATRIX HAMILTON LAND, LLC BLOCK 2607, LOT 46, TOWNSHIP OF HAMILTON, MERCER COUNTY, NEW JERSEY" PREPARED BY BOWMAN CONSULTING GROUP, LTD., DATED 09/04/18, LAST REVISED 04/06/20.
- THE HORIZONTAL DATUM IS BASED ON REFERENCE NAD83. THE VERTICAL DATUM IS RELATIVE TO NAVD88.
- THE LIMITS OF FRESHWATER WETLANDS SHOWN HEREON WERE FIELD DELINEATED BY JOHN ALEXANDER, P.L.S. OF BOWMAN CONSULTING GROUP, LTD. AND VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION WITH A LETTER OF INTERPRETATION DATED: JUNE 11, 2019, (FILE NO.1103-05-0012.1, ACTIVITY NO. FVW 18000).
- 100 YEAR FLOODPLAINS ARE PRESENT ON THE SITE AS SHOWN ON THE SITE PER THE FLOOD INSURANCE MAP FOR THE TOWNSHIP OF HAMILTON, MERCER COUNTY, NEW JERSEY, DATED: JULY 20, 2016, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL ID NUMBER 340246-0233-F.
- SOIL TEST PIT LOCATIONS HEREON ARE SHOWN IN A REPORT TITLED "GEOTECHNICAL INVESTIGATION" DATED DECEMBER 10, 2010, PREPARED BY MELICK-TULLY AND ASSOCIATES, P.C.
- THIS PLAN IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.

LEGEND	
	WETLANDS BUFFER LINE
	WETLANDS BOUNDARY
	FLOOD HAZARD AREA
	FLOODWAY
	100 YEAR FLOODPLAIN
	500 YEAR FLOODPLAIN
	HAMILTON TOWNSHIP STREAM BUFFER CONSERVATION ZONE
	RIPARIAN ZONE



SCALE: 1" = 80'

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

TOWNSHIP ENGINEER _____ DATE _____

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

TOWNSHIP PLANNER _____ DATE _____

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NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: 3645561
MASER CONSULTING, INC.
NJ C.O.A. # 142A27986500

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR PROPOSED WAREHOUSE

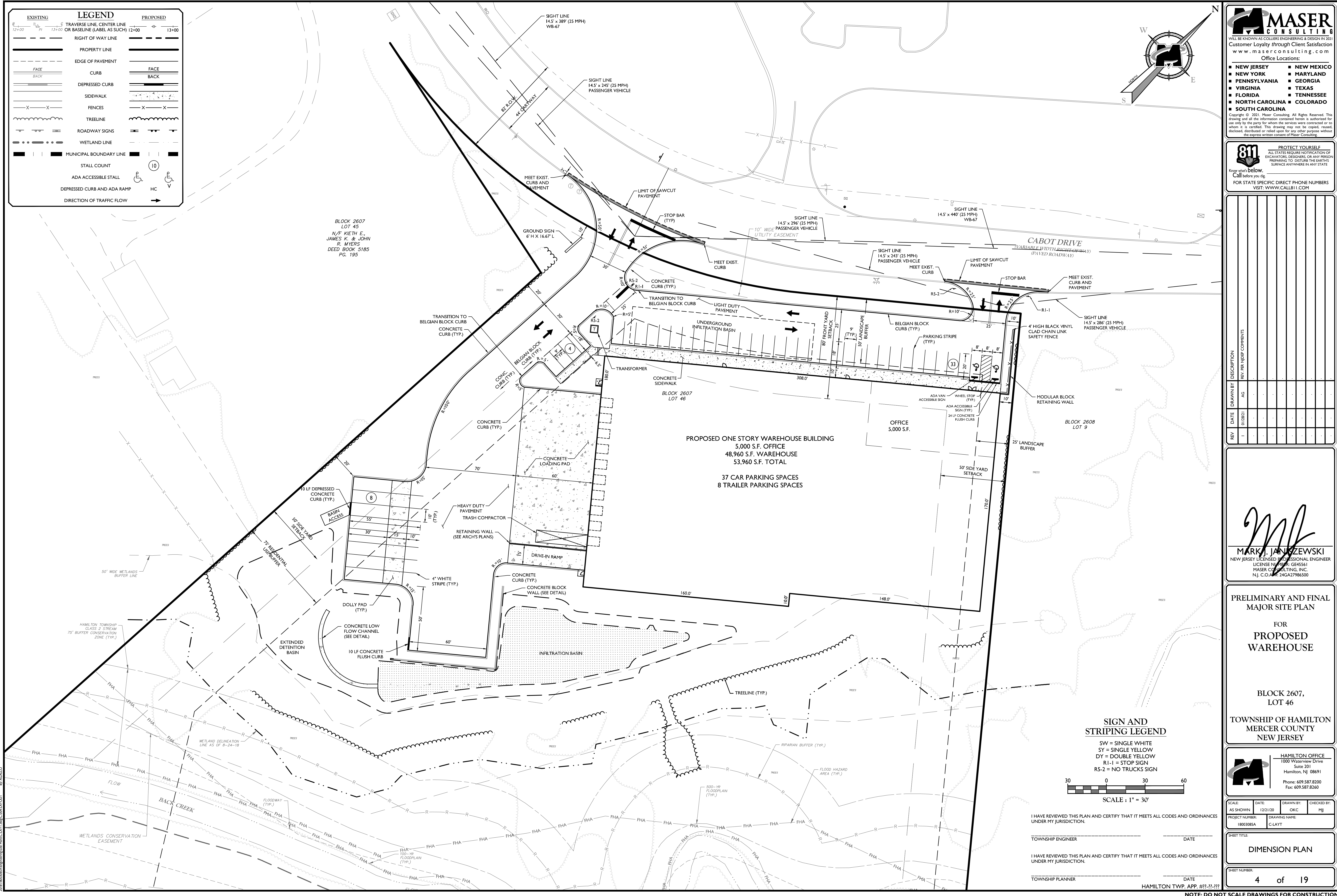
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LOT 46
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MERCER COUNTY
NEW JERSEY

HAMILTON OFFICE
1000 Waterview Drive
Suite 201
Hamilton, NJ 08691
Phone: 609.587.8200
Fax: 609.587.8260

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PROJECT NUMBER:	DRAWING NAME:		
18003085A	C-DEMO		

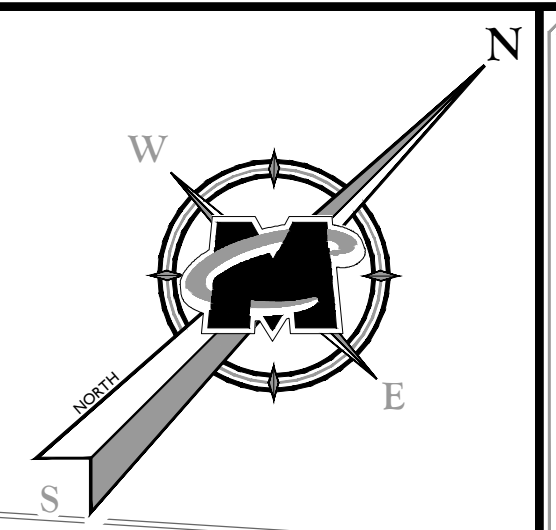
EXISTING CONDITIONS PLAN

SHEET NUMBER:
2 of 19



LEGEND

EXISTING	PROPOSED
TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)
RIGHT OF WAY LINE	RIGHT OF WAY LINE
PROPERTY LINE	PROPERTY LINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
CURB	CURB
DEPRESSED CURB	DEPRESSED CURB
SIDEWALK	SIDEWALK
FENCES	FENCES
TREELINE	TREELINE
ROADWAY SIGNS	ROADWAY SIGNS
WETLAND LINE	WETLAND LINE
MUNICIPAL BOUNDARY LINE	MUNICIPAL BOUNDARY LINE
STALL COUNT	STALL COUNT
ADA ACCESSIBLE STALL	ADA ACCESSIBLE STALL
DEPRESSED CURB AND ADA RAMP	DEPRESSED CURB AND ADA RAMP
DIRECTION OF TRAFFIC FLOW	DIRECTION OF TRAFFIC FLOW



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NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: GE45561
MASER CONSULTING, INC.
NJ C.O.# 246A27986500

PRELIMINARY AND FINAL
MAJOR SITE PLAN

FOR
PROPOSED
WAREHOUSE

BLOCK 2607,
LOT 46

TOWNSHIP OF HAMILTON
MERCER COUNTY
NEW JERSEY

HAMILTON OFFICE
1000 Waterview Drive
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PROJECT NUMBER:	DRAWING NAME:		
18003085A	CLAYT		

DIMENSION PLAN

SHEET NUMBER:
4 of 19

SIGN AND STRIPING LEGEND

SW = SINGLE WHITE
SY = SINGLE YELLOW
DY = DOUBLE YELLOW
R1-1 = STOP SIGN
R5-2 = NO TRUCKS SIGN

SCALE: 1" = 30'

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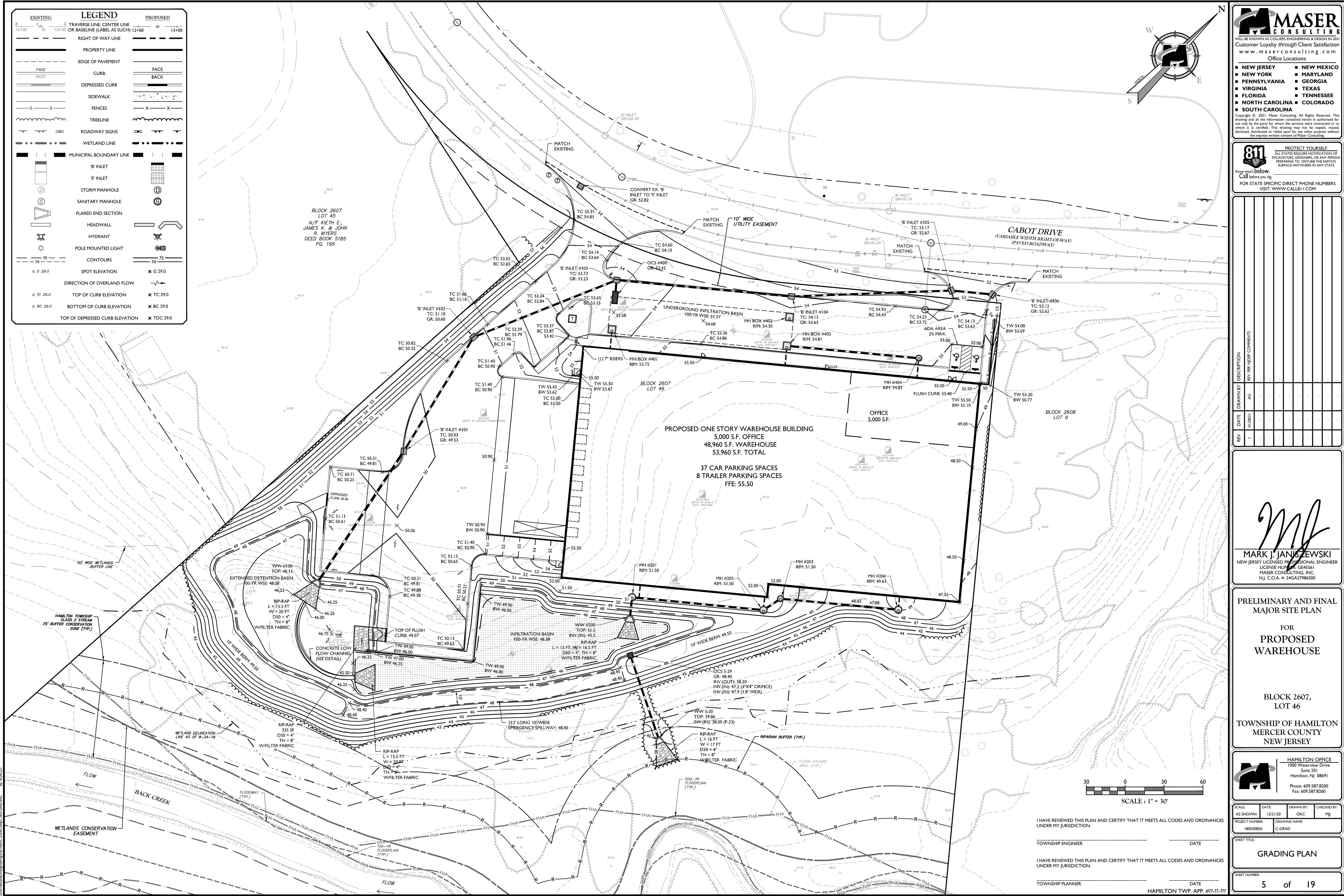
TOWNSHIP ENGINEER _____ DATE _____


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	AS SHOWN	12/21/20	OKC	MJJ
	PROJECT NUMBER: 18003085A		DRAWING NAME: C-GRAD	
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5 of 19				

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LEGEND

EXISTING PROPOSED

RIGHT OF WAY LINE

PROPERTY LINE

EDGE OF PAVEMENT

CURB

DEPRESSED CURB

SIDEWALK

FENCES

TREELINE

ROADWAY SIGNS

WETLAND LINE

MUNICIPAL BOUNDARY LINE

'B' INLET

'E' INLET

STORM MANHOLE

SANITARY MANHOLE

FLARED END SECTION

HEADWALL

HYDRANT

POLE MOUNTED LIGHT

CATV

CABLE TV CONDUIT

WATER MAIN

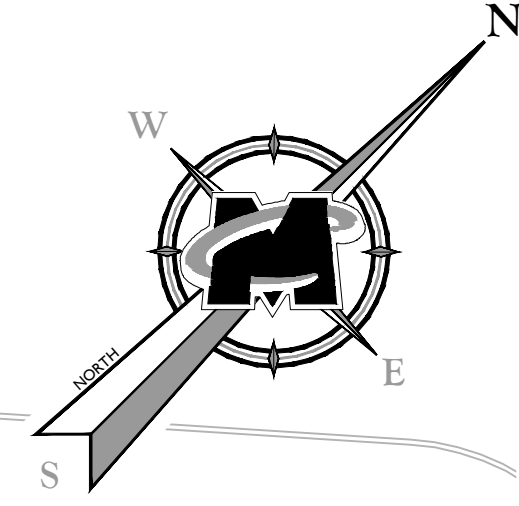
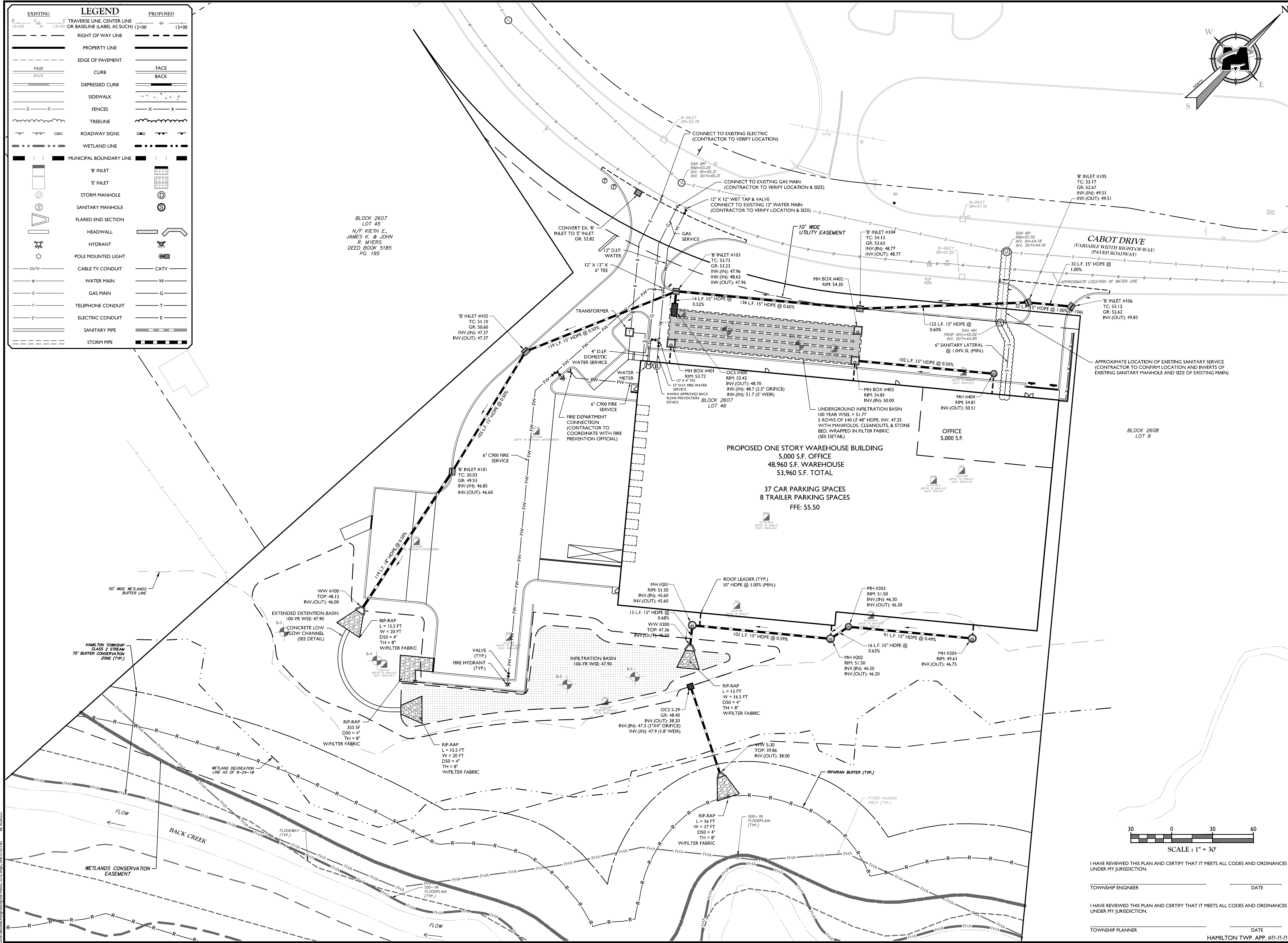
GAS MAIN

TELEPHONE CONDUIT

ELECTRIC CONDUIT

SANITARY PIPE

STORM PIPE



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MARK J. JANCZEWSKI

NEW JERSEY LICENSED PROFESSIONAL ENGINEER

LICENSE NUMBER: GE45561

MASER CONSULTING, INC.

NJ C.O.# 21427986500

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR PROPOSED WAREHOUSE

BLOCK 2607, LOT 46

TOWNSHIP OF HAMILTON MERCER COUNTY NEW JERSEY

HAMILTON OFFICE

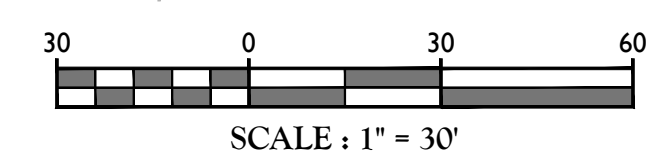
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PROJECT NUMBER:	18003085A	DRAWING NAME:	CUTIL

UTILITIES PLAN

SHEET NUMBER: 6 of 19



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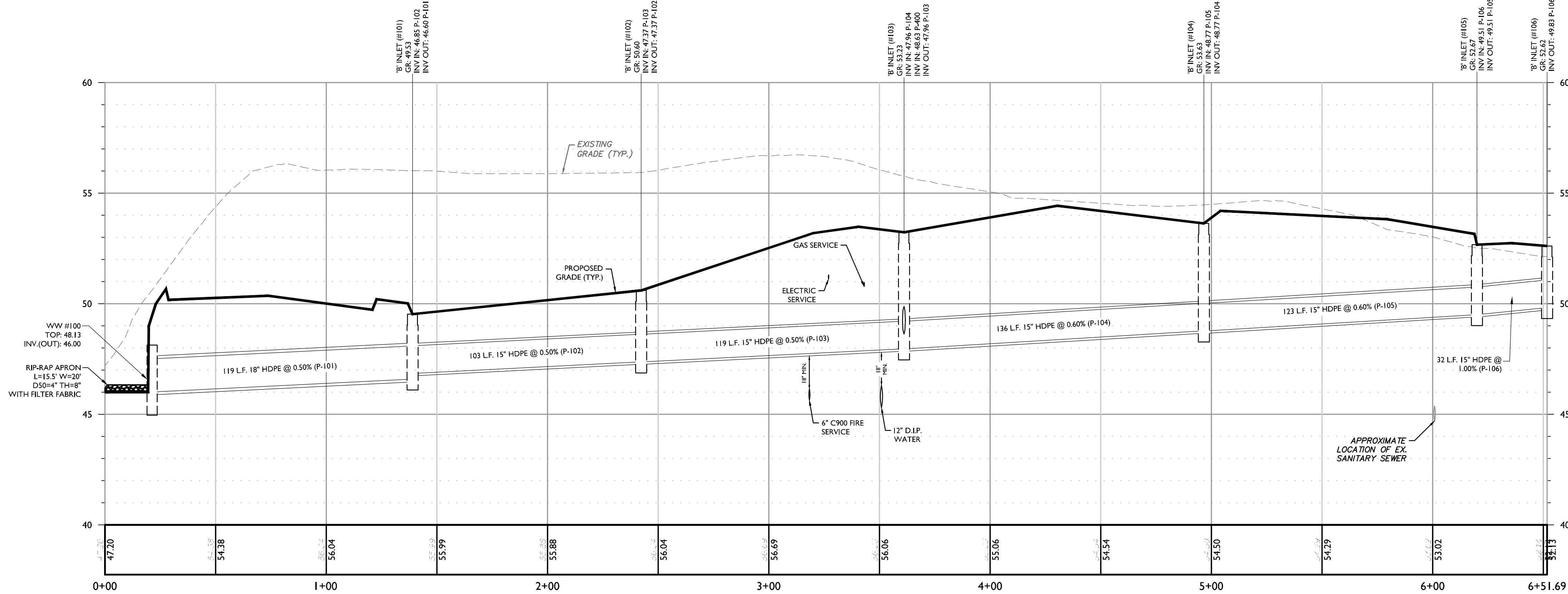
TOWNSHIP ENGINEER _____ DATE _____

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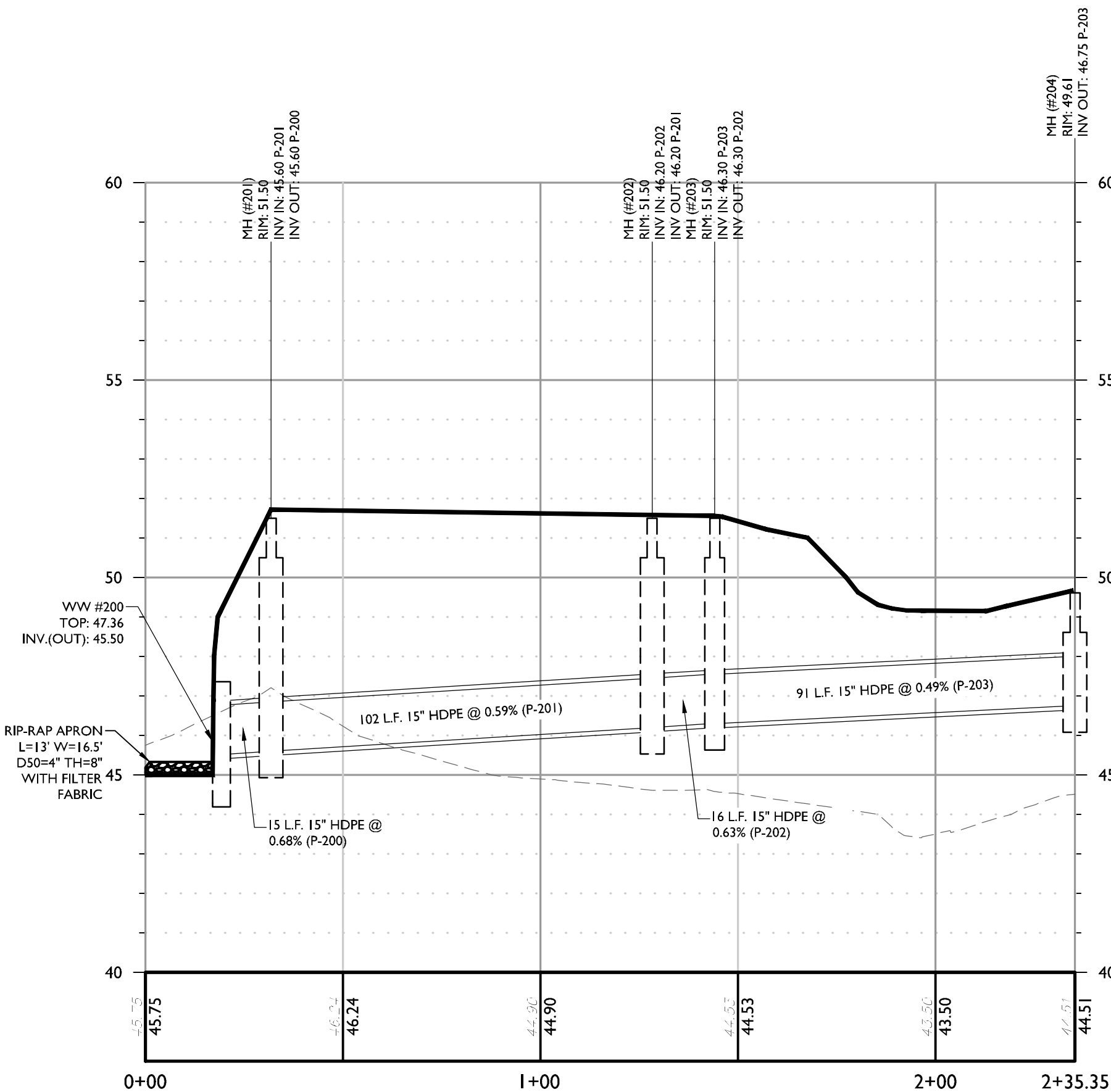
TOWNSHIP PLANNER _____ DATE _____

HAMILTON TWP. APP. #22-22-222

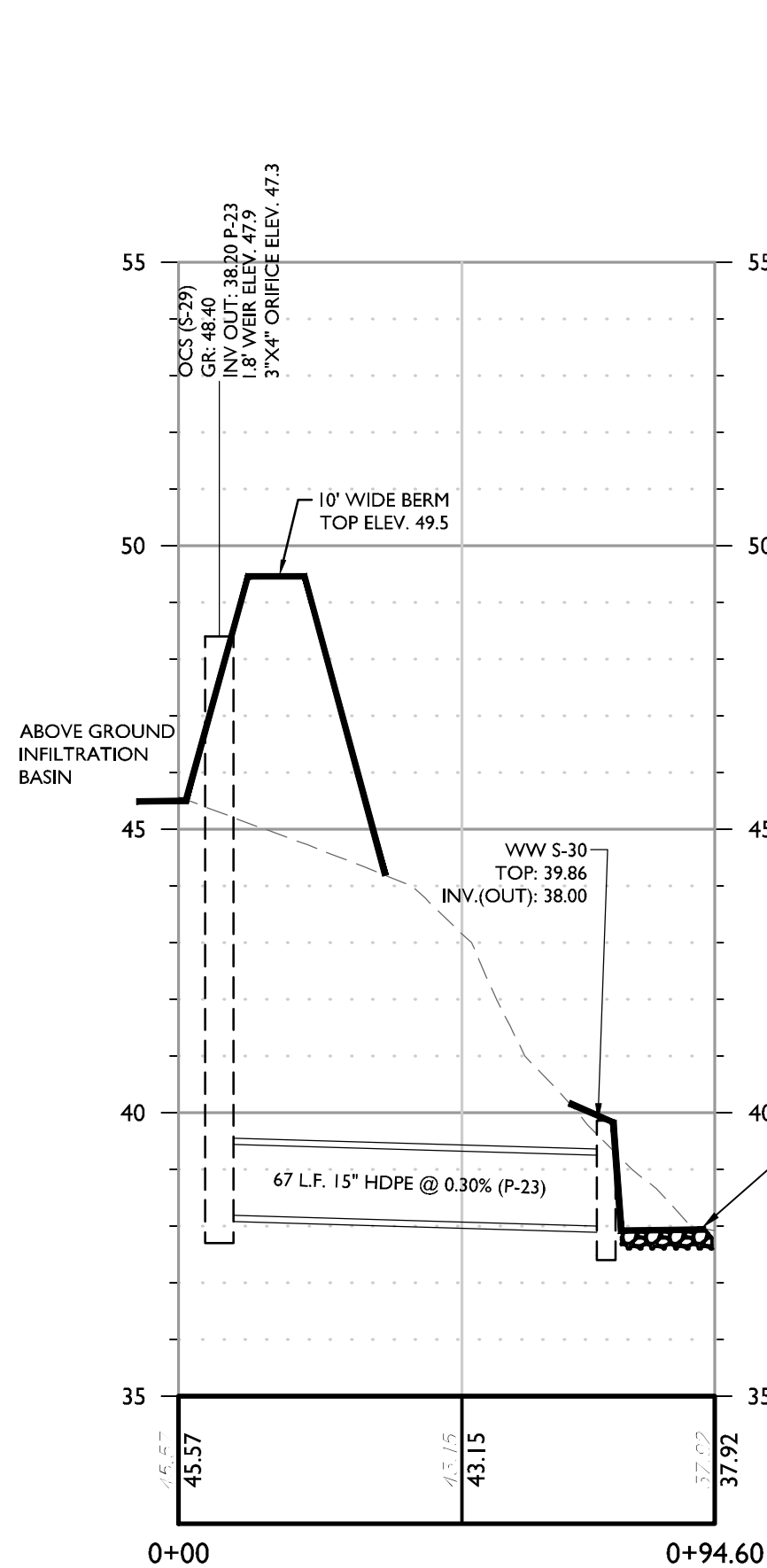
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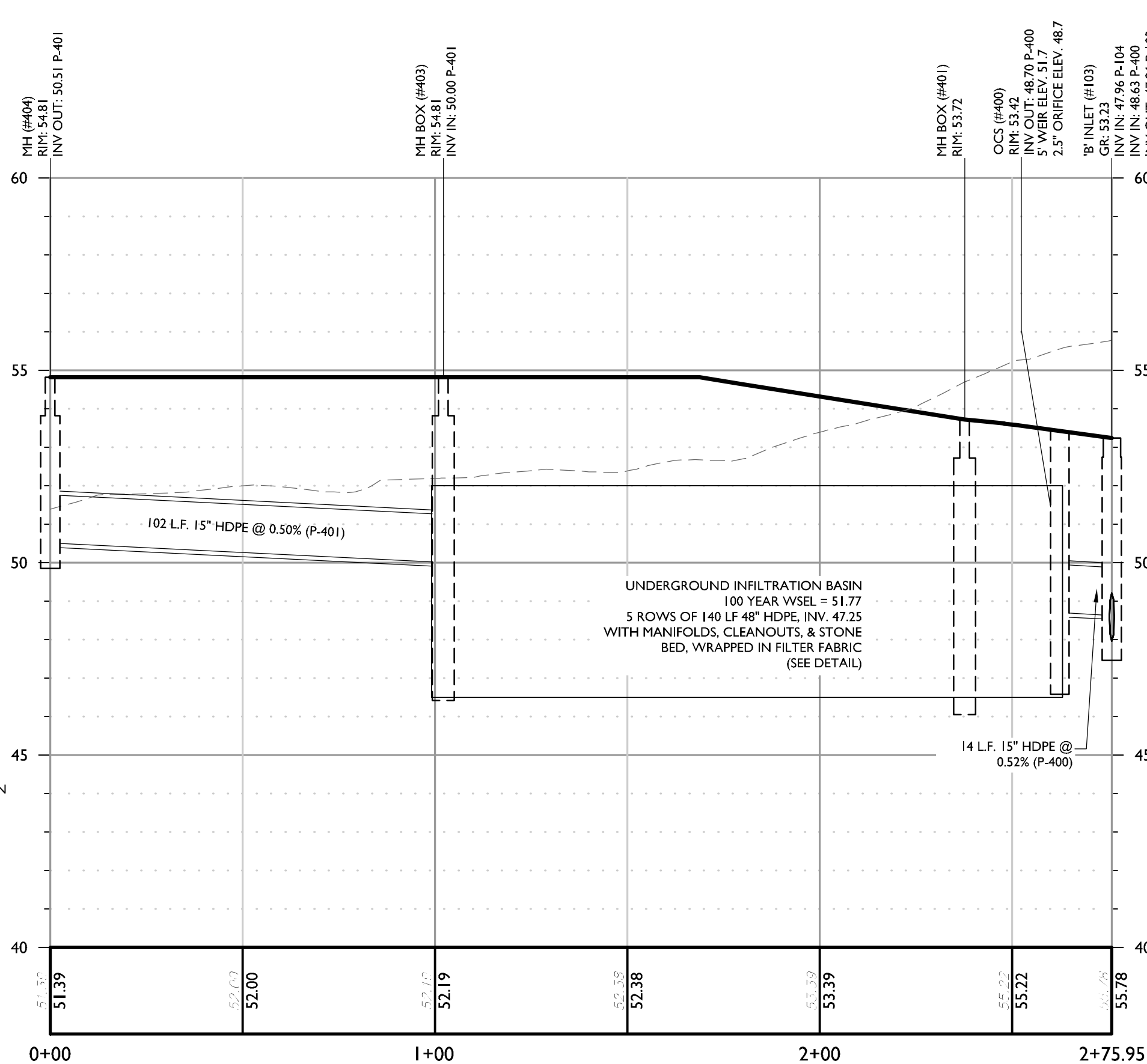
PROFILE OF WW #100 TO B-INLET #107
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



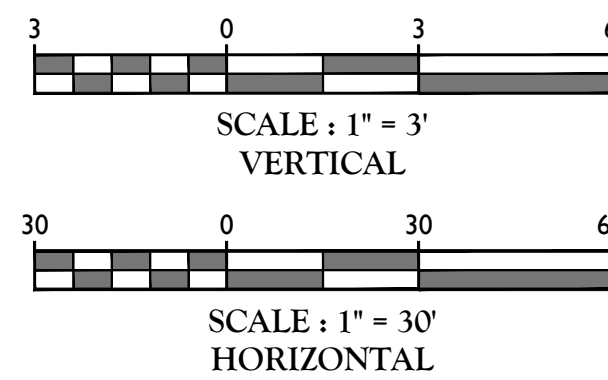
PROFILE OF WW #200 TO MH #204
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



PROFILE OF OCS #301 TO WW #300
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



PROFILE OF MH #404 TO B-INLET #103
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



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TOWNSHIP ENGINEER _____ DATE _____

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

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LICENSE NUMBER: PE45561
MASER CONSULTING, INC.
NJ C.O.A. # 246A27986500

PRELIMINARY AND FINAL
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FOR
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BLOCK 2607,
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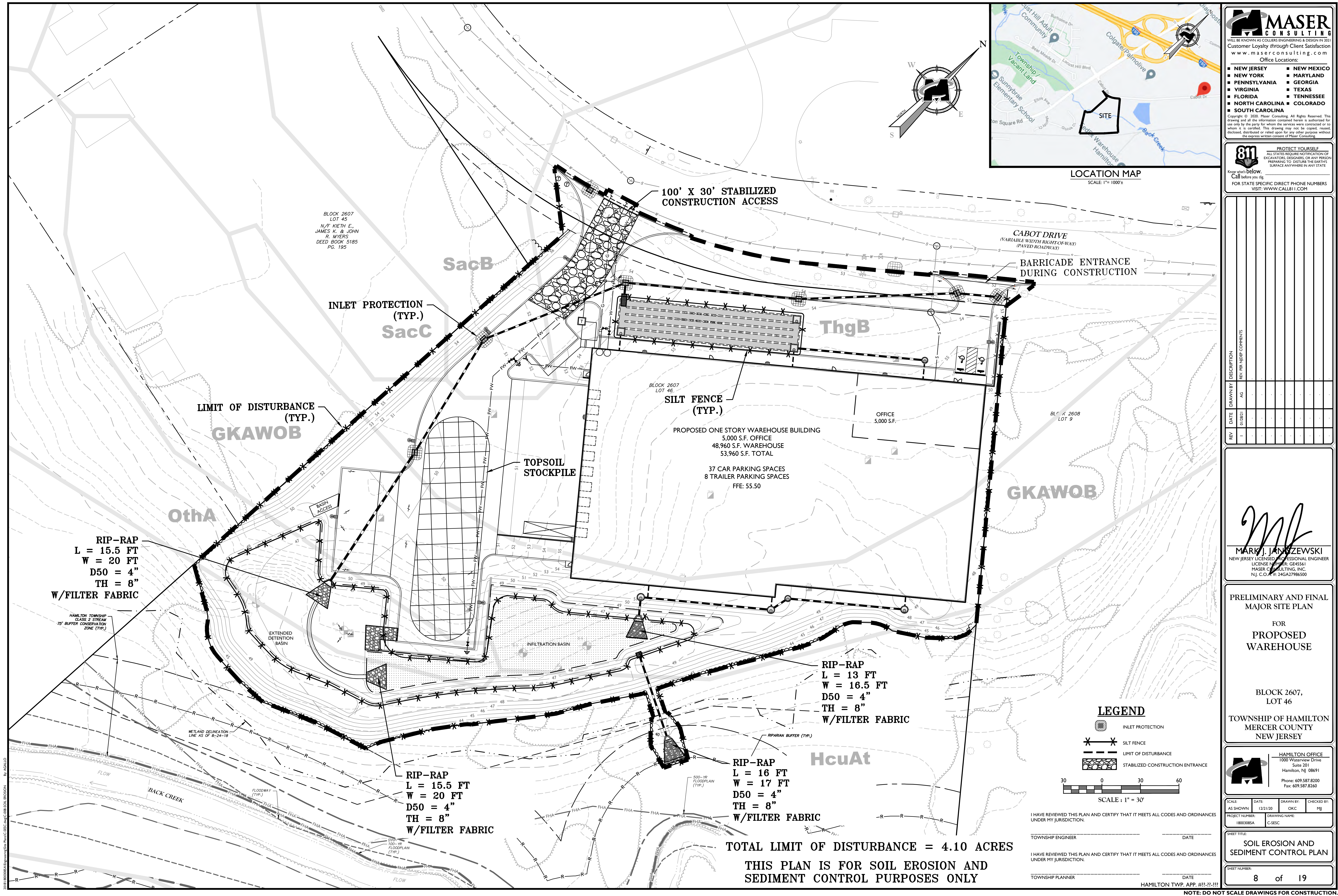
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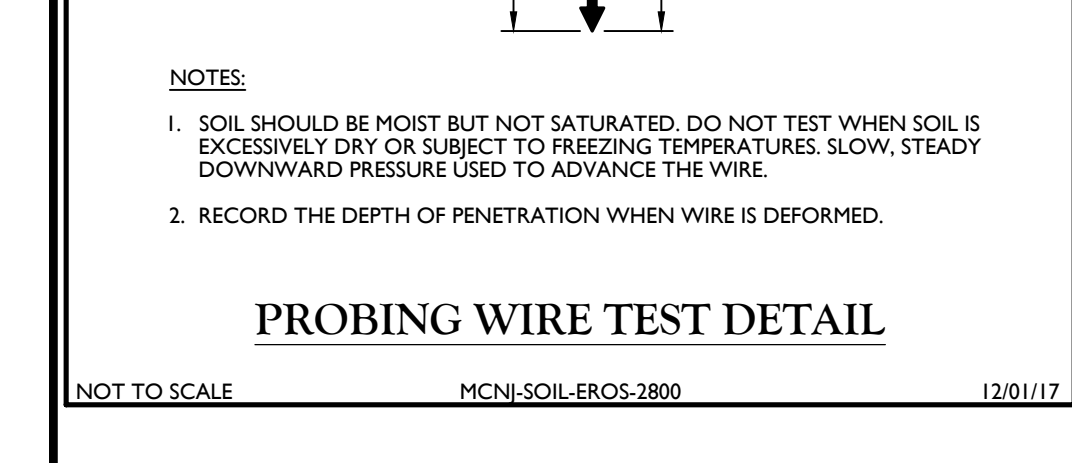
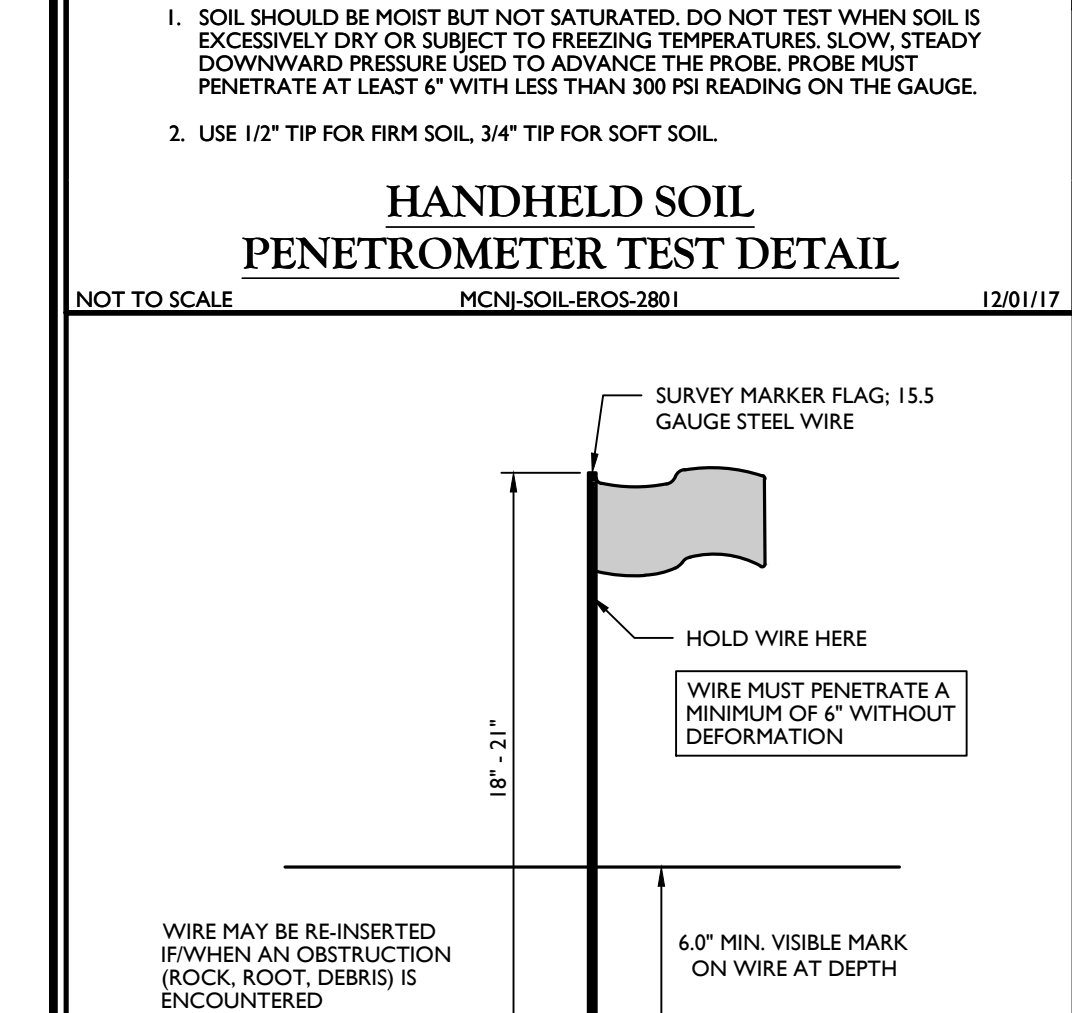
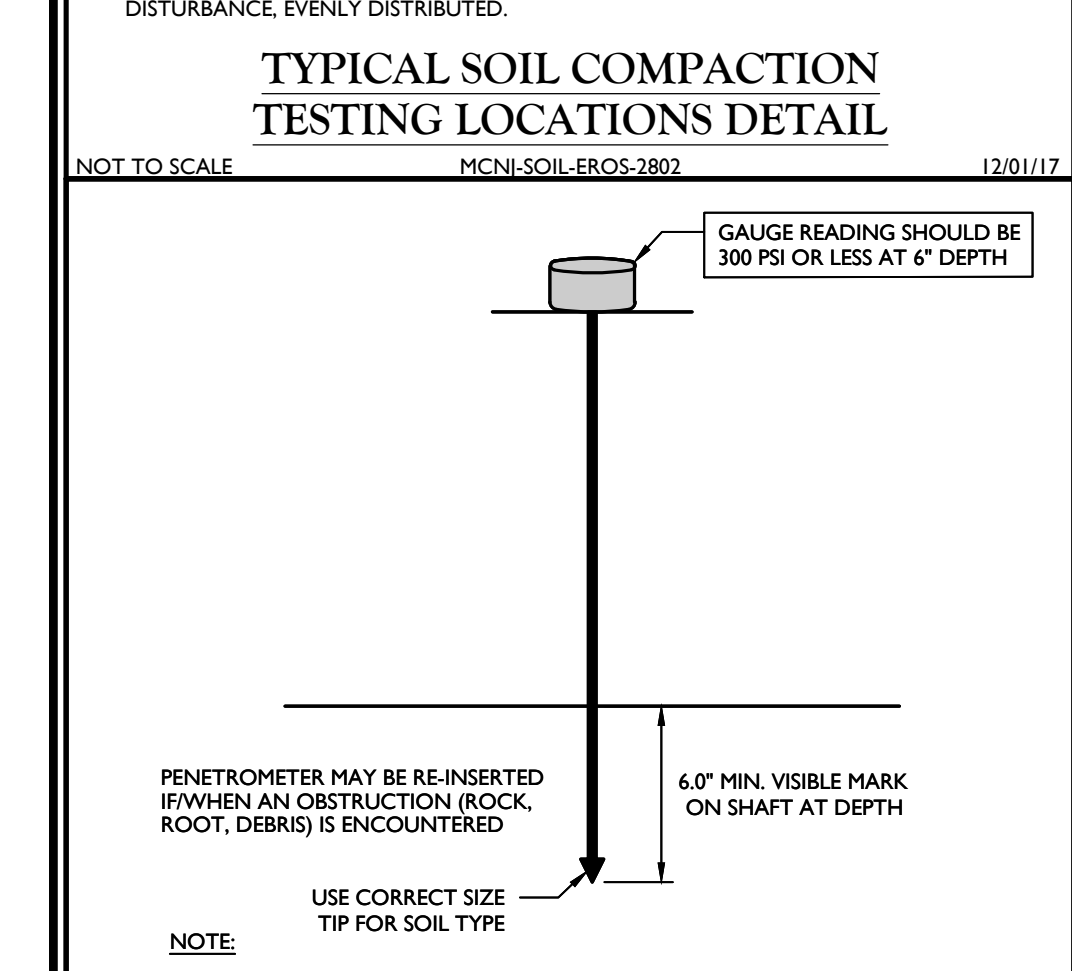
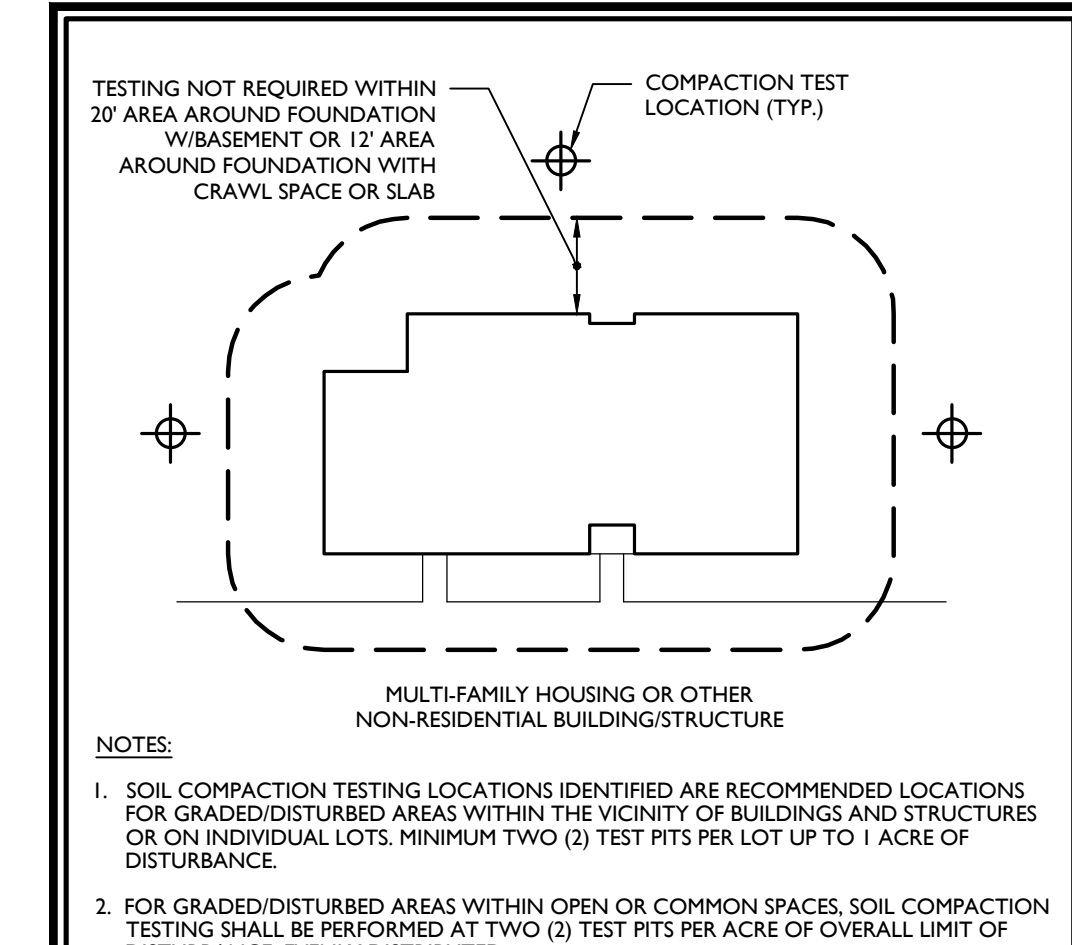
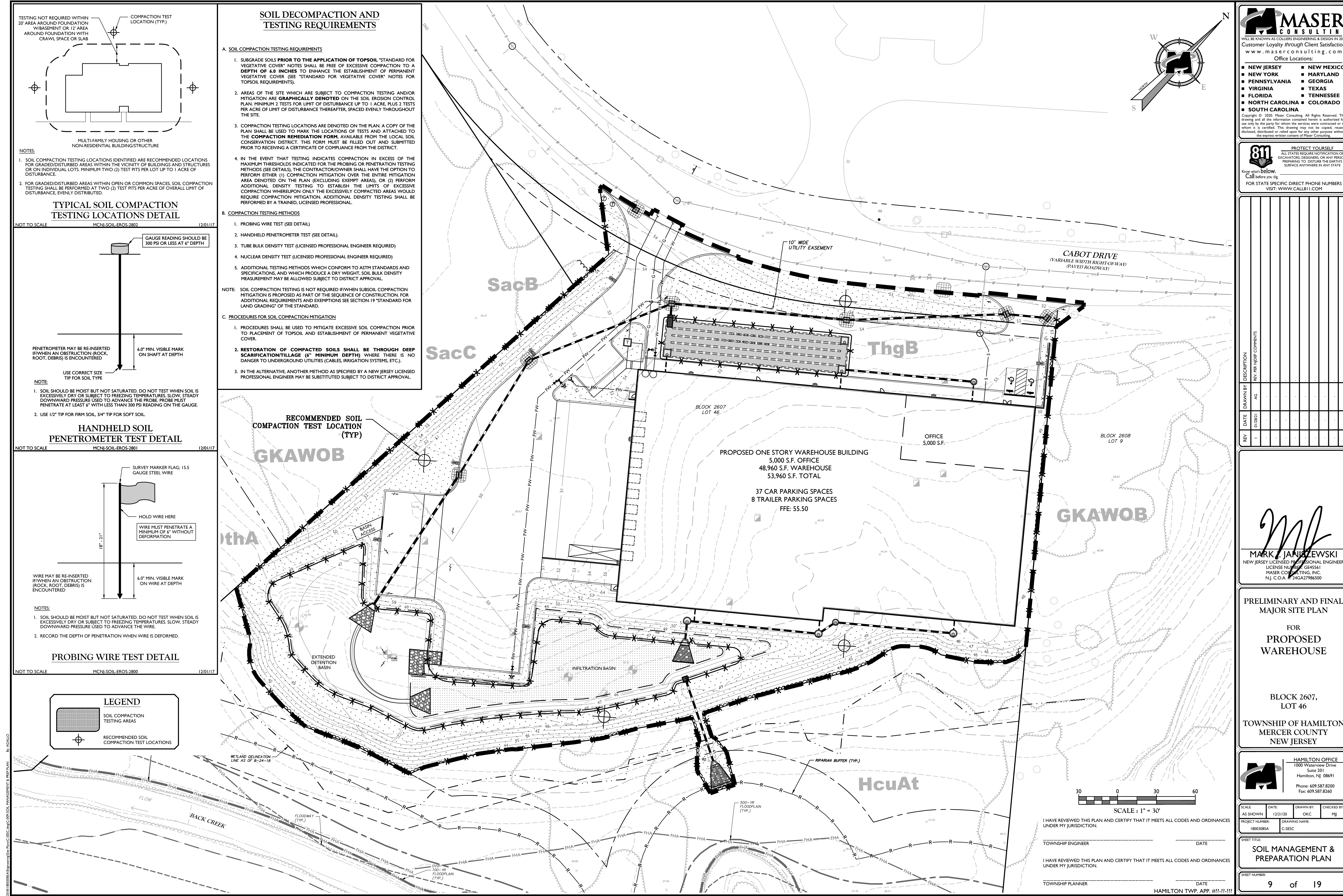
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PROJECT NUMBER: 18003085A	DRAWING NAME: C-PROF		

SHEET TITLE:
PROFILES

SHEET NUMBER:
7 of 19





SOIL DECOMPACTION AND TESTING REQUIREMENTS

A. SOIL COMPACTION TESTING REQUIREMENTS

- SUBGRADE SOILS **PRIOR TO THE APPLICATION OF TOPSOIL** "STANDARD FOR VEGETATIVE COVER" NOTES SHALL BE FREE OF EXCESSIVE COMPACTION TO A **DEPTH OF 6.0 INCHES** TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. (SEE "STANDARD FOR VEGETATIVE COVER" NOTES FOR TOPSOIL REQUIREMENTS).
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE **GRAPHICALLY DENOTED** ON THE SOIL EROSION CONTROL PLAN. MINIMUM 2 TESTS FOR LIMIT OF DISTURBANCE UP TO 1 ACRE, PLUS 2 TESTS PER ACRE OF LIMIT OF DISTURBANCE THEREAFTER, SPACED EVENLY THROUGHOUT THE SITE.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN SHALL BE USED TO MARK THE LOCATIONS OF TESTS AND ATTACHED TO THE **COMPACTION REMEDIATION FORM**, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE PROBING OR PENETRATION TESTING METHODS (SEE DETAILS), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL DENSITY TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DENSITY TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

B. COMPACTION TESTING METHODS

- PROBING WIRE TEST (SEE DETAIL)
- HANDHELD PENETROMETER TEST (SEE DETAIL).
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

NOTE: SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION MITIGATION IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION. FOR ADDITIONAL REQUIREMENTS AND EXEMPTIONS SEE SECTION 19 "STANDARD FOR LAND GRADING" OF THE STANDARD.

C. PROCEDURES FOR SOIL COMPACTION MITIGATION

- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH)** WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

RECOMMENDED SOIL COMPACTION TEST LOCATION (TYP)

PROPOSED ONE STORY WAREHOUSE BUILDING
5,000 S.F. OFFICE
48,960 S.F. WAREHOUSE
53,960 S.F. TOTAL

37 CAR PARKING SPACES
8 TRAILER PARKING SPACES
FFE: 55.50

OFFICE 5,000 S.F.

EXTENDED DETENTION BASIN

INFILTRATION BASIN

WETLAND DELINEATION LINE AS OF 8-24-18

FLOW

BACK CREEK

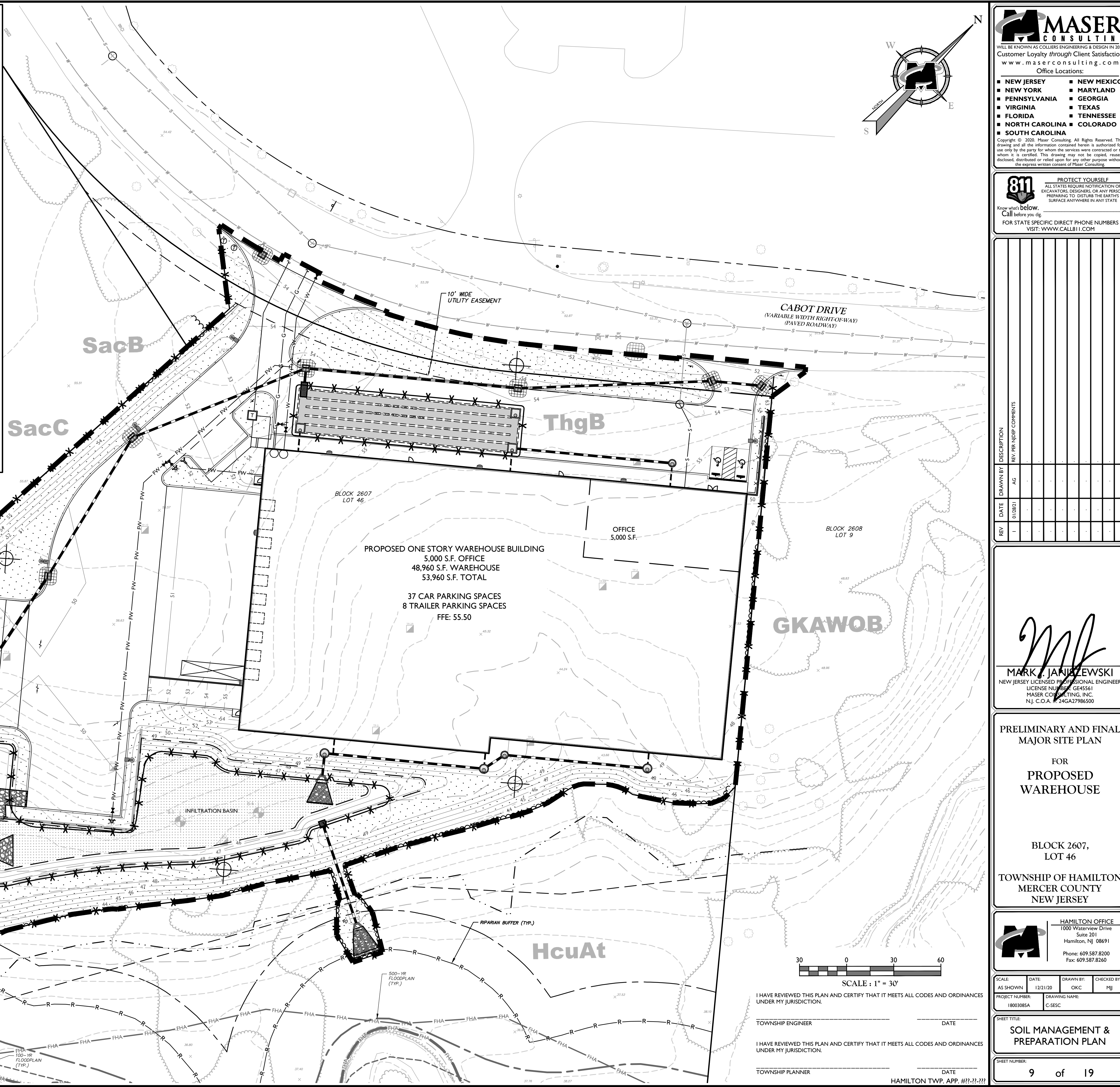
FLOODWAY (TYP.)

500-YR FLOODPLAIN (TYP.)

RIPARIAN BUFFER (TYP.)

LEGEND

- SOIL COMPACTION TESTING AREAS
- RECOMMENDED SOIL COMPACTION TEST LOCATIONS



[illegible]

LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH-ACID PRODUCING SOILS ARE ENCOUNTERED.

TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH-ACID PRODUCING SOILS.

STOCKPILES OF HIGH-ACID-PRODUCING SOIL SHALL BE LOCATED ON LEVEL LAND TO MINIMIZE ITS MOVEMENT, ESPECIALLY WHEN THIS MATERIAL HAS A HIGH CLAY CONTENT.

TEMPORARILY STOCKPILED HIGH-ACID-PRODUCING SOIL MATERIAL TO BE STORED MORE THAN 48 HOURS SHOULD BE COVERED WITH PROPERLY ANCHORED, HEAVY GRADE SHEETS OF POLYETHYLENE WHEN POSSIBLE. IF NOT POSSIBLE, STOCKPILE SHALL BE COVERED WITH A MINIMUM OF 3 TO 6 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE. SOIL MATERIAL WITH UNDESIRABLE MOVEMENT DUE TO THE RATE OF STOCKPILE MOVEMENT OF THE STOCKPILED MATERIAL, TOPSOIL, SHALL NOT BE APPLIED TO THE STOCKPILE. TOPSOIL CONTAMINATION WITH HIGH-ACID-PRODUCING SOIL.

HIGH-ACID PRODUCING SOILS WITH A pH OF 4.0 OR LESS OR CONTAINING IRON SLUDGE (INCLUDING BORING FROM CUTS OR DREGGED SEDIMENT) SHALL BE ULTIMATELY PLACED TOGETHER WITH UNDESIRABLE MATERIALS AT THE RATE OF 100 TONS (OR 450 POUNDS PER 1,000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A pH OF 14.0 OR MORE EXCEPT AS FOLLOWS:

- A. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF 24 INCHES OF SOIL WITH A pH OF 9.0 OR MORE.
- B. DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24 INCHES OF ANY SURFACE OF A SOLE OR BANK, SUCH AS STREAMS, STREAMS, DITCHES, AND OTHERS, TO PREVENT POTENTIAL LATERAL LEACHING DAMAGES.

EQUIPMENT USED FOR MOVEMENT OF HIGH-ACID-PRODUCING SOILS SHALL BE CLEANED AT THE END OF EACH DAY TO PREVENT SPREADING OF HIGH-ACID-PRODUCING SOILS MATERIAL TO OTHER PARTS OF THE PROJECT, TO STREAMS, OR STOPWATER CONVEYANCES, AND TO PROTECT MACHINERY FROM ACCELERATED RUSTING.

NON-VEGETATIVE EROSION CONTROL PRACTICES (GROE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHALK PAD, SEDIMENT BARRIER, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH-ACID-PRODUCING SOILS FROM, AROUND, OR OFF THE SITE.

FOLLOWING BURNAL OR REMOVAL OF HIGH-ACID-PRODUCING SOIL, TOPSOILING AND SEEDING OF THE SITE (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, PERMANENT VEGETATION, OR SOIL STABILIZATION) SHALL BE REQUIRED FOR A MINIMUM OF 60 DAYS TO ENSURE THERE IS ADEQUATE STABILIZATION AND THAT NO HIGH-ACID-PRODUCING SOIL PROBLEMS EXIST. IF PROBLEMS STILL EXIST, THE AFFECTED AREA MUST BE TREATED AS NOTICED ABOVE TO CORRECT THE PROBLEM.

CONTROL METHODS:

APPLY MULCHES OR VEGETATIVE COVER AS PER NJ SOIL EROSION AND SEDIMENT CONTROL STANDARDS.

TILL AND ROUGHEN SURFACE AND BRING COLDS TO THE SURFACE. THIS IS A TEMPORARY EROSION MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. PRECIPITATION FLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE FLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY BE USED TO DISRUPT THE SOIL SURFACE.

SPRINKLE THE SITE UNTIL THE SURFACE IS WET.

BRECK BARRIERS SUCH AS SOIL BOUND FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL TO CONTROL AIR CURRENTS AND SOIL BLOWING.

APPLY CALCIUM CHLORIDE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. NOT SUITABLE ON STEEPER SLOPES NEAR THE STREAMS OR POTENTIALLY ACCUMULATE AROUND PLANTS.

COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

USE SPRAY-ON ADHESIVE ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. MATERIALS AS FOLLOWS:

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD, P. 26-1		
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

1. ATTEND A PRE-CONSTRUCTION MEETING WITH THE HCCSD, DESIGN ENGINEER AND INSPECTING GEOTECHNICAL ENGINEER, CONTRACTOR TO REVIEW ALL NOTES AND REQUIREMENTS FOR INFLTRATION BASIN CONSTRUCTION PRIOR TO CONSTRUCTION COMMENCEMENT AND PROVIDE A DETAILED SCHEDULE OF CONSTRUCTION IN ACCORDANCE WITH THIS PLAN.
2. CLEARING OF ENTRANCE AND LIMIT OF DISTURBANCE FOR INSTALLATION OF SILT FENCE AND CONSTRUCTION ENTRANCE PADS (1 WEEK).
3. CLEARING, STRIPPING, STOCKPILING, AND ROUGH GRADING (4 WEEKS).
4. CONSTRUCT FORM SYSTEM SEWER AND STABILIZE ALL ROUGH GRADED AREAS. INSTALL INLET PROTECTION. DO NOT BRING ONLINE THE ABOVE GRADED INFLTRATION BASIN OR BELOW GRADED STORM BASIN. SEE NOTES ON DETAILS REGARDING EACH BASIN. BASINS SHALL NOT BE BROUGHT ONLINE UNTIL THE SITE IS FULLY STABILIZED WITH BARE PAVEMENT AND PERMANENT GRASS ESTABLISHED (10 WEEKS).
5. CONSTRUCT CURBS AND PLACE ROAD SUBBASE (4 WEEKS).
6. CLEAR AND GRADE BUILDING AREAS AND CONSTRUCT BUILDING (6 MONTHS).
7. ALL DISTURBED AREAS SHALL BE STABILIZED AS DEFINED IN SOIL EROSION AND SEDIMENT CONTROL NOTES (ONGOING FROM COMMENCEMENT OF PROJECT).
8. ALL SUBSOIL AREAS SHALL BE TESTED/SCARIFIED AND VERIFIED PRIOR TO THE APPLICATION OF TOP SOIL.
9. PRIOR TO THE SPREAD OF TOPSOIL, CONTRACTOR SHALL PERFORM THE SOIL DECOMPACTION AND TESTING (1 WEEK).
10. AFTER ACCEPTANCE OF DECOMPACTION TESTING BY THE SOIL DISTRICT AND TOWNSHIP PLANNER, CONTRACTOR SHALL SPREAD A MINIMUM OF 5" OF TOPSOIL IN ALL VEGETATED AREAS, ESTABLISH FINISH GRADES AND PLACE PERMANENT VEGETATION COVER. SEEDING SHALL TAKE PLACE DURING THE GROWING SEASON (4 WEEKS).
11. AFTER ALL AREAS HAVE STABILIZED, CONSTRUCT ABOVE GRADED INFLTRATION BASIN BY REPLACING ALL UNSUITABLE SOIL AND INSTALLING THE SAND LAYER, THE BELOW GRADED INFLTRATION BASIN SHALL BE BROUGHT ONLINE (4 WEEKS).
12. FINAL PAVE PARKING AREAS, COMPLETE PLANT TREES AND COMPLETE FINAL LANDSCAPING.
13. REMOVE TEMPORARY ACCESS PROTECTION, SILT FENCE, AND INLET PROTECTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.

[illegible]

ROUTINE INSPECTIONS

A. THE PERMITTEE SHALL CONDUCT AND DOCUMENT ROUTINE INSPECTIONS OF THE FACILITY TO IDENTIFY AREAS CONTRIBUTING TO THE STORMWATER DISCHARGE AUTHORIZED BY THE STORMWATER DISCHARGE PERMIT. THE STORMWATER PREVENTION PLAN (SPP) IDENTIFIED UNDER 1.1 OF THE S/C CONSTRUCTION ACTIVITY STORMWATER (S/C) PART 1 NARRATIVE REQUIREMENTS, INCLUDING THE S/C EROSION AND SEDIMENT CONTROL PLAN, IS BEING PROPERLY IMPLEMENTED AND MAINTAINED. ON WHATEVER ADDITIONAL MEASURES ARE NEEDED TO FULFILL THE SPP, (ROUTINE INSPECTIONS MINIMUM WEEKLY).

B. ONCE INSTALLATION OF ANY REQUIRED OR UNALLOWED EROSION CONTROL DEVICE OR MEASURE HAS BEEN IMPLEMENTED, ROUTINE INSPECTIONS, MINIMUM: OF EACH AREA SHALL BE PERFORMED BY THE CONTRACTOR TO INSPECT THE CONTRACT AREA AND REPORT THE RESULTS RECORDED TO INVENTORY AND REPORT THE CONDITION OF EACH MEASURE TO ASSIST IN MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER.

C. THESE REPORT FORMS SHALL BECOME AN INTEGRAL PART OF THE SPP AND SHALL BE MADE READILY ACCESSIBLE TO GOVERNMENTAL INSPECTION OFFICIALS, THE OPERATOR'S ENGINEER, AND THE OPERATOR FOR REVIEW UPON REQUEST DURING VISITS TO THE PROJECT SITE. IN ADDITION, COPIES OF THE REPORTS SHALL BE PROVIDED TO ANY OF THESE PERSONS, UPON REQUEST, MAIL OR FACSIMILE TRANSMISSION.

D. OTHER RECORD-KEEPING REQUIREMENTS

THE CONTRACTOR SHALL KEEP THE FOLLOWING RECORDS RELATED TO CONSTRUCTION ACTIVITIES AT THE SITE:

DATES WHEN MAJOR GRADING ACTIVITIES OCCUR AND THE AREAS WHICH WERE GRADED
DATES AND DETAILS CONCERNING THE INSTALLATION OF STRUCTURAL CONTROLS
DATES WHEN CONSTRUCTION ACTIVITIES CEASE IN AN AREA
DATES WHEN AN AREA IS STABILIZED, EITHER TEMPORARILY OR PERMANENTLY
DATES OF RAINFALL AND THE AMOUNT OF RAINFALL
DATES AND DISCUSSIONS OF THE CHARACTER AND AMOUNT OF AN SPLITS OF HAZARDOUS MATERIALS
RECORDS OF REPORTS FILED WITH REGULATORY AGENCIES IF REPORTABLE QUANTITIES OF HAZARDOUS MATERIALS SPILLED

2. ANNUAL REPORTS AND CERTIFICATIONS

A. THE PERMITTEE SHALL PREPARE AN ANNUAL REPORT SUMMARIZING EACH INSPECTION PERFORMED UNDER 1.A. ABOVE. THIS REPORT SHALL BE ACCOMPANIED BY AN ANNUAL REPORT COVER ON A FORM COVERED BY THE NOTER THAT THE FACILITY IS IN COMPLIANCE WITH ITS SPP AND THIS PERMIT, EXCEPT THAT IF THERE ARE ANY INCIDENTS OF NONCOMPLIANCE, THOSE INCIDENTS SHALL BE IDENTIFIED IN THE CERTIFICATION. IF THERE ARE INCIDENTS OF NONCOMPLIANCE, THE REPORT SHALL IDENTIFY THE STEPS BEING TAKEN TO CORRECT THE NONCOMPLIANCE. THE REPORT SHALL BE SUBMITTED TO THE DEPARTMENT BY THE PERMITTEE BY THE LAST DAY OF JANUARY OF EACH YEAR, IN ACCORDANCE WITH N.J.A.C. 7:14A-4.9, SHALL BE MAINTAINED FOR A PERIOD OF AT LEAST FIVE YEARS ALONG WITH COPIES OF ALL INSPECTION REPORTS AND RECORD KEEPING. THIS PERIOD MAY BE EXTENDED BY WRITTEN REQUEST FROM THE DEPARTMENT AT ANY TIME (SEE N.J.A.C. 7:14A-4.6).

3. REPORTS OF NONCOMPLIANCE

A. ALL INSTANCES OF NONCOMPLIANCE NOT REPORTED UNDER N.J.A.C. 7:14A-4.9 SHALL BE REPORTED TO THE DEPARTMENT ANNUALLY.

4. NOTIFICATION OF COMPLETION

A. THE SOIL CONSERVATION DISTRICT WILL PROVIDE THE DEPARTMENT A COPY OF THE REPORT OF COMPLIANCE ISSUED UNDER N.J.A.C. 20A-1 FOR COMPLETED CONSTRUCTION ACTIVITIES, EXCEPT SINGLE FAMILY HOME CONSTRUCTION UNDER B. BELOW. THE REPORT OF COMPLIANCE SHALL SERVE AS THE NOTIFICATION OF COMPLETION

B. THE BUILDER OF A SINGLE FAMILY HOME THAT IS AUTHORIZED UNDER THIS PERMIT, BUT NOT WITHIN THE DEFINITION OF "PROJECT AT N.J.A.C. 20A-4.16, SHALL SEND A COPY OF THE REPORT OF COMPLIANCE TO THE DEPARTMENT. THE DEPARTMENT WILL PROVIDE THE SOIL CONSERVATION DISTRICT WILL PROVIDE A COPY OF THE FINAL CERTIFICATE OF OCCUPANCY TO THE DEPARTMENT, WHICH WILL SERVE AS NOTIFICATION OF COMPLETION.

C. THE DOT SHALL PROVIDE WRITTEN NOTIFICATION TO THE DEPARTMENT WHEN DOT CERTIFIED PROJECTS ARE COMPLETED.

- A. FIELD DILORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING.
- B. A F STRIPPING DEPTH IS TYPICAL, BUT MAY VARY DEPENDING ON THE PARTICULAR STRIPPING OR PRE-EXISTING USE.
- C. STOCKPILES SHOULD BE LOCATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE CAPABILITY, PREVENT FLOOD DAMAGE, AND SHALL BE DELINEATED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND BE CONSTRUCTED IN ACCORDANCE WITH THE TOPSOIL STOCKPILE DETAIL.
- D. STOCKPILES SHOULD BE TEMPORARILY STABILIZED ACCORDING TO THE STANDARD PRACTICE.
- E. SITE PREPARATION
- F. INSTALL EROSION CONTROL MEASURES AND FACILITIES SUCH AS SILT FENCE, DITCHES, ETC.
- G. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL, EQUIP-SEEDING PREPARATION, SEEDING, MULCH APPLICATION AND TACKING, AND TO PREPARE GRASSINGS SHOULD BE DONE IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING P. 4.11.
- H. SEEDING PREPARATION
- I. TOPSOIL REQUIRED
- J. MIN. DEPTH: 6" (UNSETTLED)
6.0 TO 8.0
K. ORGANIC: 15 TO 45%
L. NITRATE N: 30 LB/ACRE
M. PHOSPHORUS: 100 LB/ACRE
N. POTASSIUM: 120 LB/ACRE
O. THE CONTRACTOR SHOULD BE AWARE OF THE POSSIBILITY, DEPENDING UPON SITE CONDITIONS, THAT ALL TOPSOIL MAY HAVE TO BE PROVIDED FROM AN OFF-SITE SOURCE.
P. TOPSOIL SHOULD BE HANDLED ONLY WHEN DRY ENOUGH TO WORK WITHOUT DAMAGE.
Q. APPLY A UNIFORM 6" UNSETTLED OF TOPSOIL OVER ALL DISTURBED AREAS. TOPSOIL OF A 4 OR LESS OR CONTAINING RICH SULFIDE SHALL BE COVERED WITH A 4" MINIMUM OF TOPSOIL. TOPSOIL SHALL BE PLACED IN ACCORDANCE WITH THE TOPSOIL STANDARD AND SHALL BE UNIFORM TO THE SPECIFICATIONS.
R. IF THE TOPSOIL BECOMES COMPACTED, THE SURFACE MUST BE SACRIFICED TO PRO- GOOD SEED-TO-SOIL BOND.
S. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATION AND/OR AGRICULTURE AND FORESTRY COOPERATIVE EXTENSION. IF SOIL IS NOT FERTILE, FERTILIZER (10-20-20) OF 500 WATER INSOLUBLE NITROGEN SHALL BE APPLIED TO THE TOPSOIL.
T. APPLY LIMESTONE (50% PURE) AT 100 LB/ACRE TO CLIMB AND MAGNOLIA COVES AND

1. PREPARE SLOPE BEFORE INSTALLING ROLL-ON EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATOR TRAINING AND EQUIPMENT.
- NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA, CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OR RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH TO STAPLE INTO THE ADJACENT TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND LAPPED-SEAL SOIL. SECURE RECP'S TO UNDERLAYER WITH STAPLES AT ROWS OF STAPLES/STAPLES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP'S.
3. ROLL THE RECP'S (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE; RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE WITH STAPLES AT START AND END OF EACH RECP'S LENGTH AS SHOWN IN THE STAPLE PATTERNS. WHEN USING THE DOT SYSTEM™, STAPLES/STAPLES MUST BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH STAPLING 27" – 51" (5 CM -12.5 CM) OVERLAP OR INTERLOCK ON RECP'S.
5. CONSECUTIVE RECP'S SPIZZED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP'S WIDTH.
- NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM), MAY BE REQUIRED TO PROPERLY SECURE THE RECP'S.
6. THIS DETAIL, IS FOR THE INSTALLATION OF THE NA GREEN SC150 EROSION CONTROL MATTING OR APPROVED EQUIV. REFER TO THE MANUFACTURER'S SPECIFICATIONS FOR STAPLE PATTERNS.

1. STEEL PICKETS OR 2"x2" STAKES ARE NOT REQUIRED IN PAVEMENT AREAS.

<p>THE WIDTH OF CONSTRUCTION ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF PAVEMENT OR DRIVE, OR AS SHOWN ON THE PLAN.</p> <p>THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.</p> <p>THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS.</p> <p>THE ENTRANCE SHALL BE PERIODICALLY TOP DRESSED WITH ADDITIONAL STONE TO ADDITIONAL LENGTH AS ON-SITE CONDITIONS REQUIRE.</p> <p>SPIRLED, DROPPED, WASHED, OR TRACKED SEDIMENT ONTO ROADWAYS OR OTHER INTERFERING SURFACES SHALL BE REMOVED IMMEDIATELY.</p> <p>WHERE ACCUMULATION OF DUST, SEDIMENT OR LIMBOULDER IS OBSERVED OR WHEN CLEANING BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER SHALL BE USED TO REMOVE ALL DEBRIS.</p> <p>ALL OTHER ACCESS POINTS TO THE SITE WHICH DO NOT CONTAIN A CONSTRUCTION ACCESS PAD SHALL BE BLOCKED OFF.</p> <p>STONE SIZE PER ASTM C-33, SIZE #2 (2" TO 1 1/4") OR #3 (1 1/4" TO 2") STONE.</p> <p>INDIVIDUAL INTERIOR LOT INGRESS/EGRESS CONSTRUCTION SHALL HAVE A 3' (1" TO 2") STONE THRESHOLD (12" X 12" X 6") AND 4" THICK</p>	<p>drawing, use only when not disclosed</p> <p>PERCENT LOSS OF ROADWAY</p> <table border="1"> <thead> <tr> <th>PERCENT LOSS OF ROADWAY</th><th>COARSE GRAINED SOLIDS</th><th>FINE GRAINED SOLIDS</th></tr> </thead> <tbody> <tr> <td>0% TO 2%</td><td>50 FT</td><td>100 FT</td></tr> <tr> <td>2% TO 5%</td><td>100 FT</td><td>200 FT</td></tr> </tbody> </table> <p>ENTIRE SURFACE STABILIZED WITH HPB BASE COURSE, MIX 6-2</p>	PERCENT LOSS OF ROADWAY	COARSE GRAINED SOLIDS	FINE GRAINED SOLIDS	0% TO 2%	50 FT	100 FT	2% TO 5%	100 FT	200 FT
PERCENT LOSS OF ROADWAY	COARSE GRAINED SOLIDS	FINE GRAINED SOLIDS								
0% TO 2%	50 FT	100 FT								
2% TO 5%	100 FT	200 FT								

TOPSOIL STOCKPILE DETAIL

N.T.S.

...TERED WATER FLOW

The diagram illustrates the topsoil stockpile detail. It features a rectangular box labeled "SEDIMENT CONTROL BAG" on the left. A line with an arrow points from this box to a pump assembly on the right. The pump assembly consists of a rectangular box labeled "PUMP" and a smaller box labeled "PUMP DISCHARGE" positioned above it. A line with an arrow points from the pump to an irregular, cloud-like shape labeled "EXCAVATION AREA".

DRAWN	DATE	REV

DEWATERING DETAIL

N.T.S.

P-RAP IRON

W

FLOW

THICKNESS

0.0%

CUTTED SANDY

15-0

TO

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

TOWNSHIP PLANNER

DATE

[illegible]



MARK J. JANUSZEWSKI
NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: GE45561
MASER CONSULTING, INC.
N.J. C.O.# 245A27986500

PRELIMINARY AND FINAL
MAJOR SITE PLAN

FOR
PROPOSED
WAREHOUSE

BLOCK 2607,
LOT 46

TOWNSHIP OF HAMILTON
MERCER COUNTY
NEW JERSEY

		HAMILTON OFFICE 1000 Waterview Drive Suite 201 Hamilton, NJ 08691 Phone: 609.587.8200 Fax: 609.587.8260	
SCALE:	DATE:	DRAWN BY:	CHECKED BY:
A3 SHOWN	1/21/20	OKKC	MJJ
PROJECT NUMBER: 18003085A		DRAWING NAME: C-SECC	
SHEET TITLE: <div style="text-align: center;"> <h1>SOIL EROSION & SEDMIMENT CONTROL PLAN</h1> </div>			
SHEET NUMBER:			
<div style="display: flex; justify-content: space-around; font-size: 2em;"> 10 of 19 </div>			

- NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.**

LIGHTING STATISTICS

AREA DESCRIPTION	SYMBOL	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
OVERALL ILLUMINATION AREA		1.2 FC	2.3 FC	0.5 FC	4.6 : 1.0	2.4 : 1.0
PARKING AND WALKWAYS	□	1.3 FC	2.3 FC	0.5 FC	4.6 : 1.0	2.6 : 1.0
TRUCK COURT	◇	1.0 FC	2.1 FC	0.5 FC	4.2 : 1.0	2.0 : 1.0

LIGHTING SCHEDULE

SYMBOL	LABEL	QTY	CATALOG NUMBER	LAMP	LUMENS PER LAMP	WATTAGE	MOUNT
☐	A	2	DSX1 LED P2 40K TFFM MVOLT HS	30 LED	8,896	70	POLE, 25'
☐	B	3	DSX1 LED P2 40K T4M MVOLT HS	30 LED	8,708	70	POLE, 25'
☐	C	2	DSX1 LED P2 40K T4M MVOLT	30 LED	8,708	70	WALL, 25'
☐	D	3	DSX1 LED P2 40K T3M MVOLT	30 LED	8,901	70	WALL, 25'
☐	E	1	DSX1 LED P2 40K TFFM MVOLT	30 LED	8,896	70	POLE, 25'

GENERAL NOTES

- THIS SHEET IS TO BE USED FOR LIGHTING PURPOSES ONLY.
- REFER TO SHEET 1 FOR GENERAL NOTES.

LIGHTING PLAN NOTES

- REFER TO SHEET 13 FOR LIGHTING DETAILS AND ORDERING INFORMATION.
- LIGHT LEVELS ON PLAN REPRESENT AVERAGE MAINTAINED FOOTCANDLE LEVELS AT FINISHED EXTERIOR GRADE.
- ALL MOUNTING HEIGHTS ARE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE.
- POLE LOCATIONS MAY VARY DUE TO SITE CONDITIONS. CONTRACTOR TO FIELD VERIFY POLE LOCATIONS PRIOR TO INSTALLATION TO ACCOMMODATE UTILITIES, PAVEMENTS, FENCES, ETC.
- UNDERGROUND CONDUIT LOCATIONS SHALL BE COORDINATED WITH THE PROPOSED TREE LOCATIONS.
- CONCRETE FOOTING FOR POLE MOUNTED LIGHTS TO BE DESIGNED BY OTHERS. FOOTING DETAIL TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
- ELECTRICAL WIRING DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.
- SITE LIGHTING SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS SUBSTITUTIONS ARE SUBMITTED AND APPROVED.
- LUMINAIRES TO BE MANUFACTURED BY LITHONIA OR APPROVED EQUAL.
- LUMINAIRES AND POLE FINISHES TO BE BLACK.

LIGHTING LEGEND

☐	LABEL HEIGHT	POLE MOUNT LUMINAIRE
☐	LABEL HEIGHT	WALL MOUNT LUMINAIRE
☐		EXISTING LIGHT FIXTURE
☐		0.25 FOOTCANDLES
☐		0.50 FOOTCANDLES
☐		1.00 FOOTCANDLES

BLOCK 2607
LOT 45
N/F KIETH E.,
JAMES K. & JOHN
R. MYERS
DEED BOOK 5185
PG. 195

PROPOSED ONE STORY WAREHOUSE BUILDING
5,000 S.F. OFFICE
48,960 S.F. WAREHOUSE
53,960 S.F. TOTAL

37 CAR PARKING SPACES
8 TRAILER PARKING SPACES
FFE: 55.50

OFFICE
5,000 S.F.

SCALE: 1" = 30'

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

TOWNSHIP ENGINEER _____ DATE _____

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

TOWNSHIP PLANNER _____ DATE _____

HAMILTON TWP. APP. #27-22-227

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



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PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DIG THE EARTH'S SURFACE ANYWHERE IN ANY STATE
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REV. DATE. DRAWN BY. DESCRIPTION.

Raymond C. Liotta
NEW JERSEY LICENSED LANDSCAPE ARCHITECT
LICENSE NUMBER: AS00036
MASER CONSULTING, INC.
NJ C.O.A. #: 24GA27986500

PRELIMINARY AND FINAL
MAJOR SITE PLAN

FOR
PROPOSED
WAREHOUSE

BLOCK 2607,
LOT 46

TOWNSHIP OF HAMILTON
MERCER COUNTY
NEW JERSEY



HAMILTON OFFICE
1000 Waterview Drive
Suite 201
Hamilton, NJ 08691

Phone: 609.587.8200
Fax: 609.587.8260

SCALE: AS SHOWN
DATE: 12/21/20
DRAWN BY: JRD
CHECKED BY: RCL
PROJECT NUMBER: 18003085A
DRAWING NAME: CLIGHT

SHEET TITLE:
LIGHTING PLAN

SHEET NUMBER:
12 of 19

811
Know what's below.
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Gustave E. DeBlasio
GUSTAVE E. DeBLASIO
NEW JERSEY LICENSED
TREE EXPERT - LICENSE NUMBER: 485

FOR
PROPOSED
WAREHOUSE

TOWNSHIP OF HAMILTON
MERCER COUNTY
NEW JERSEY

SCALE: AS SHOWN	DATE: 12/21/20	DRAWN BY: JRD	CHECKED BY: RCL
PROJECT NUMBER: 18003085A		DRAWING NAME: C-TREE	

SHEET NUMBER:
15 of 19

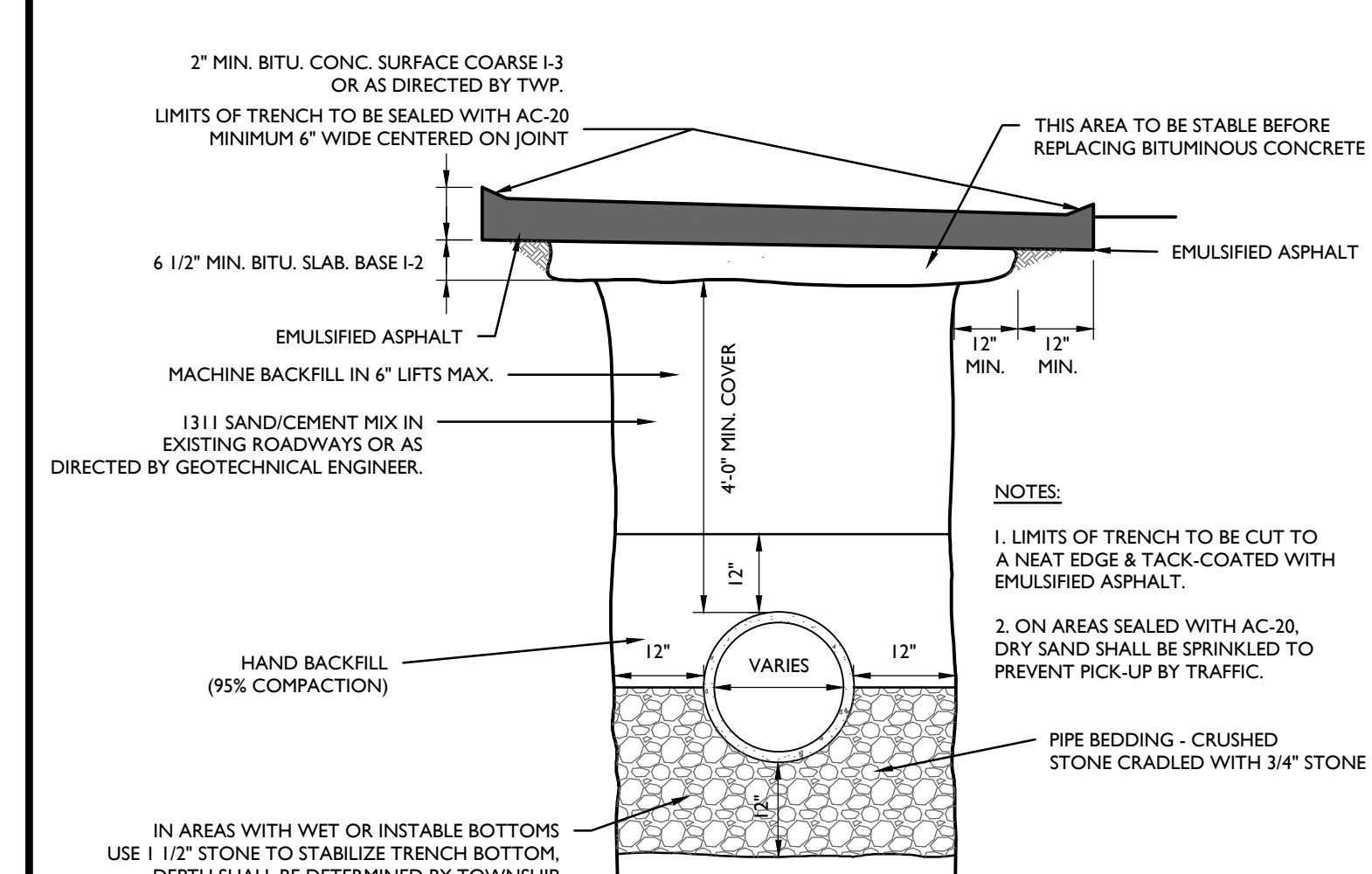
1. THIS SHEET IS TO BE USED FOR TREE LOCATION AND REMOVAL PURPOSES ONLY.
2. REFER TO SHEET I FOR GENERAL NOTES.

1. REFER TO THIS SHEET FOR TREE SPECIES, SIZES, AND TREE CONDITION NOTES.
2. TREES 10" CALIPER AND GREATER WERE GPS LOCATED ON DECEMBER 8 AND 14, 2020 BY MASER CONSULTING AND LOCATIONS ARE SHOWN ON THIS PLAN.
3. THE TOTAL WOODED AREA TO BE REMOVED IS 1.63 ACRES, AND IS SHOWN HATCHED ON PLAN.
4. A TOTAL OF 163 TREES ARE REQUIRED FOR COMPENSATING REMOVED WOODLAND.

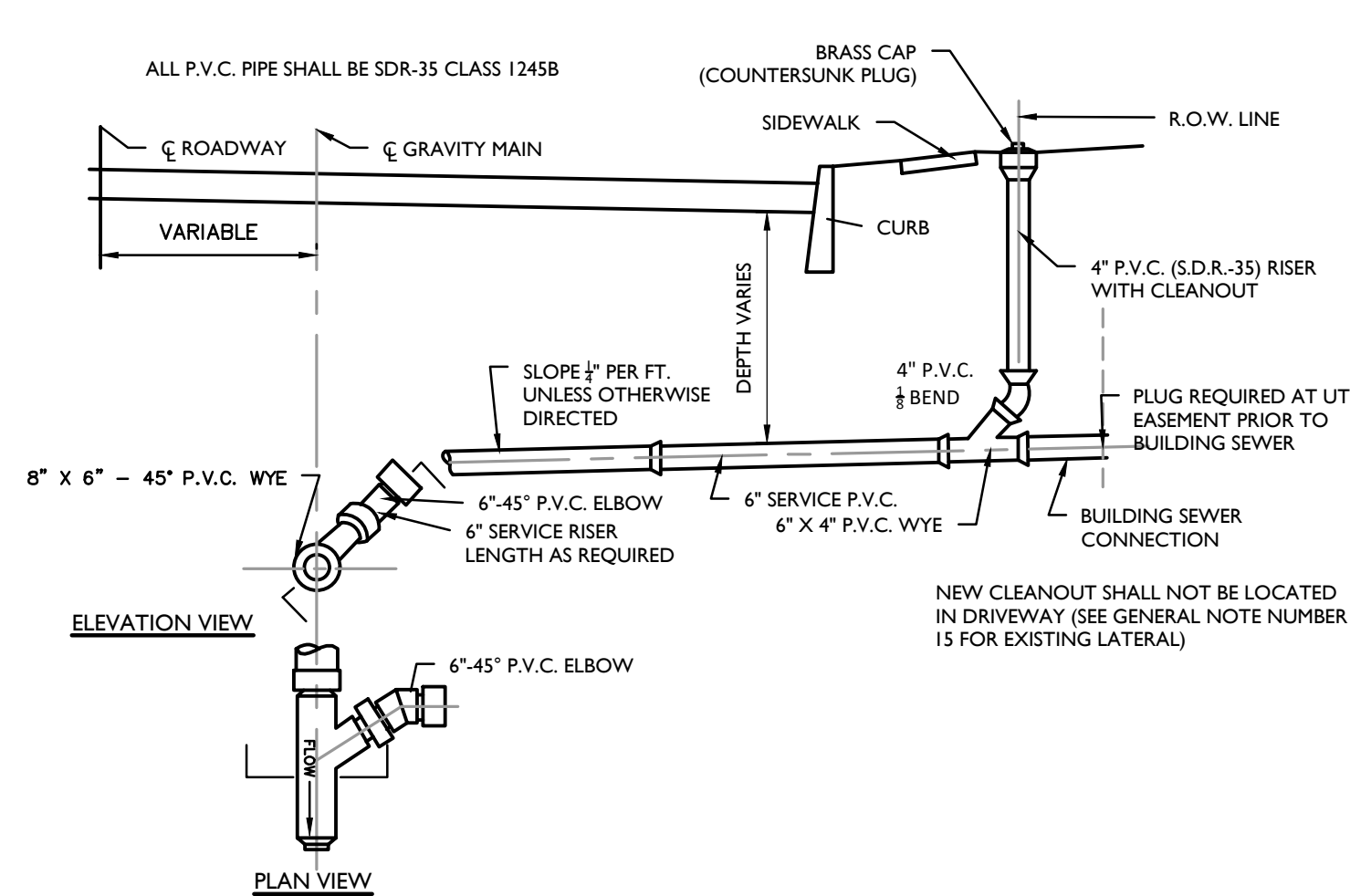
I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

HAMILTON TWP. APP. #??-??-??

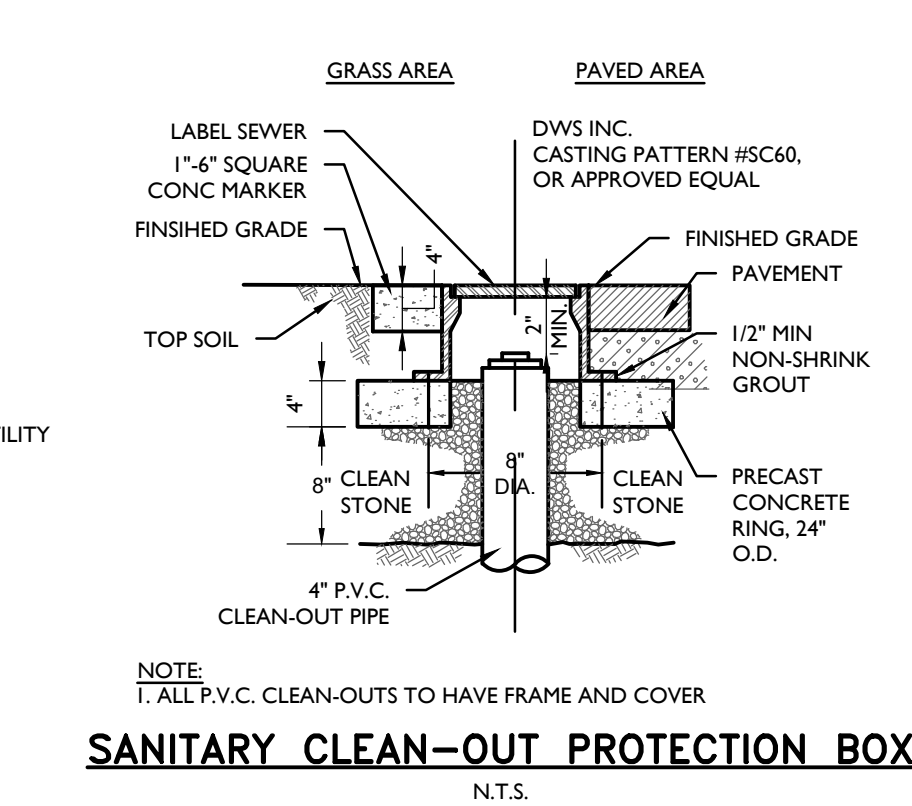
2018100008A04Engineering-Site-Plan-C-DTL3-14-17-2017-DETAILS By: A.SALUD



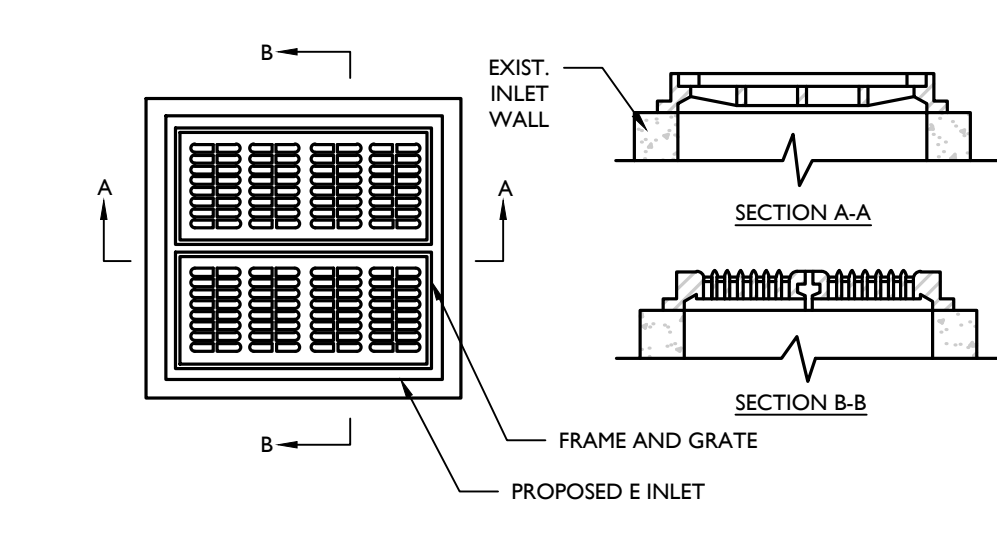
TYPICAL SANITARY TRENCH DETAIL
N.T.S.



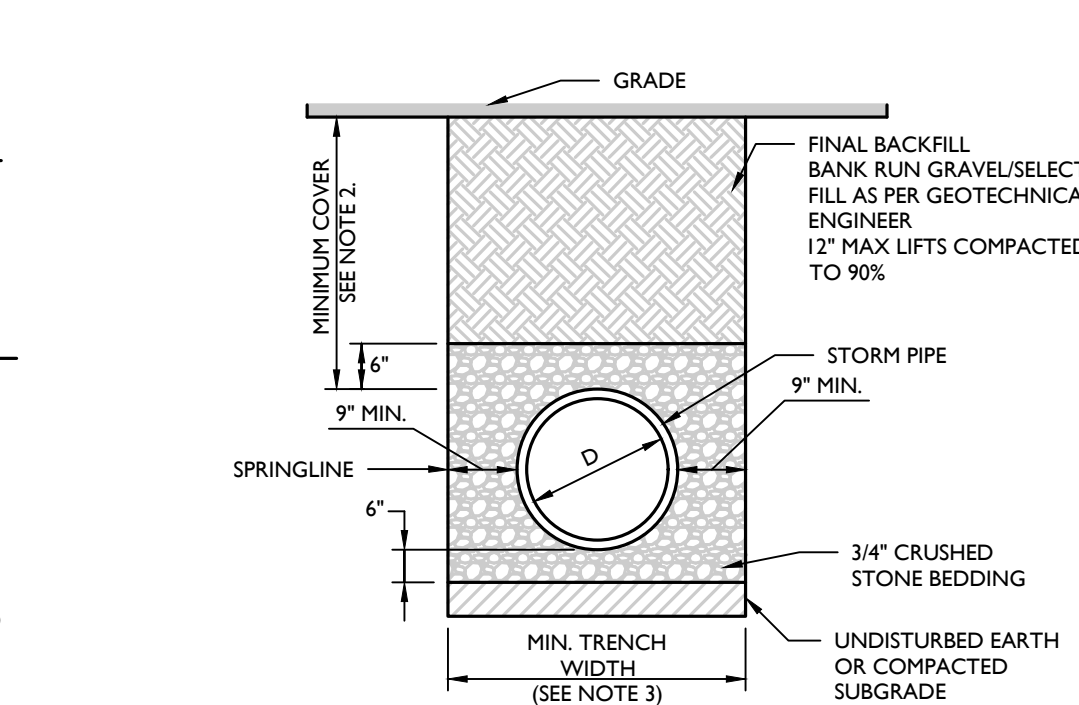
SANITARY HOUSE CONNECTION
N.T.S.



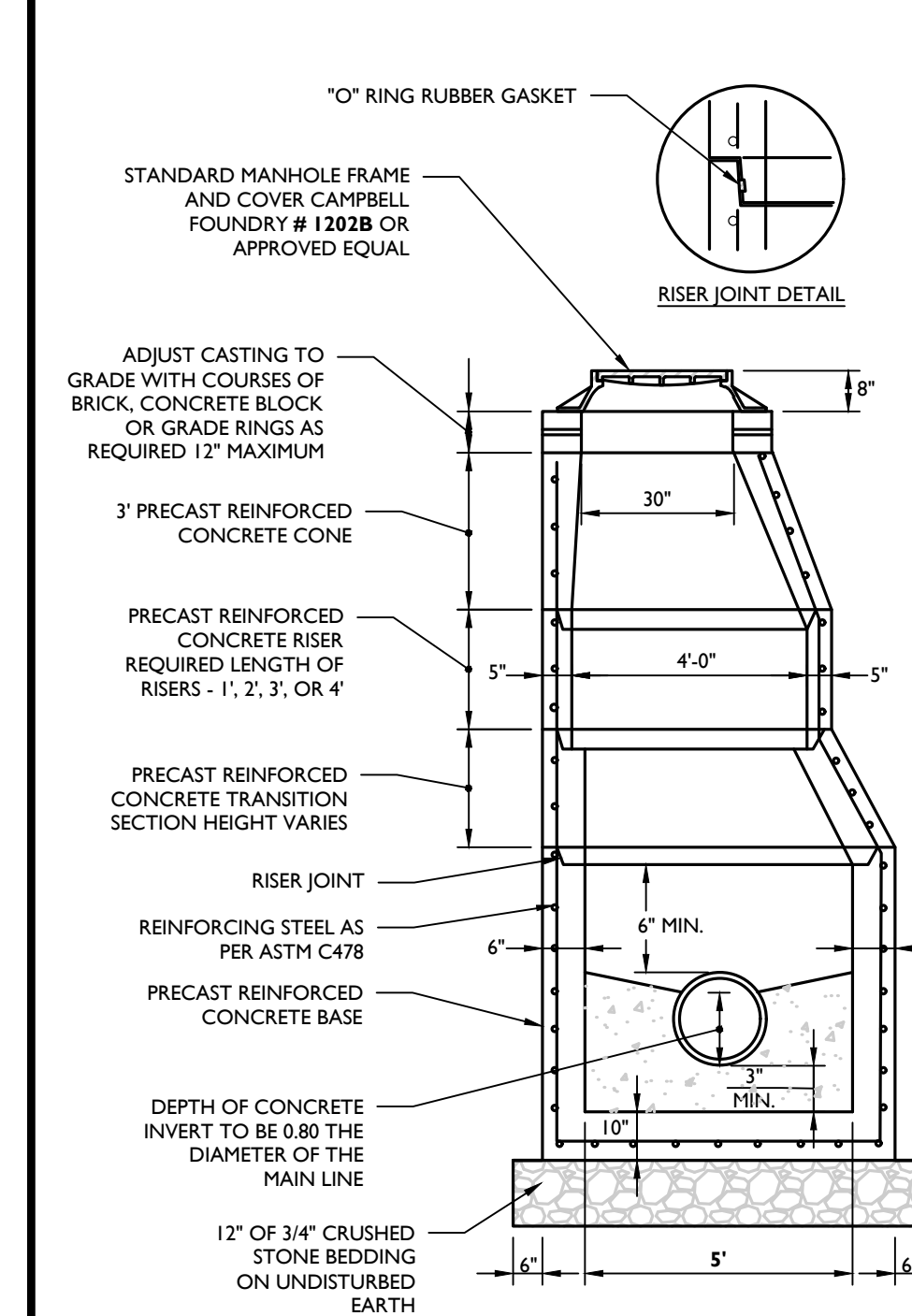
SANITARY CLEAN-OUT PROTECTION BOX
N.T.S.



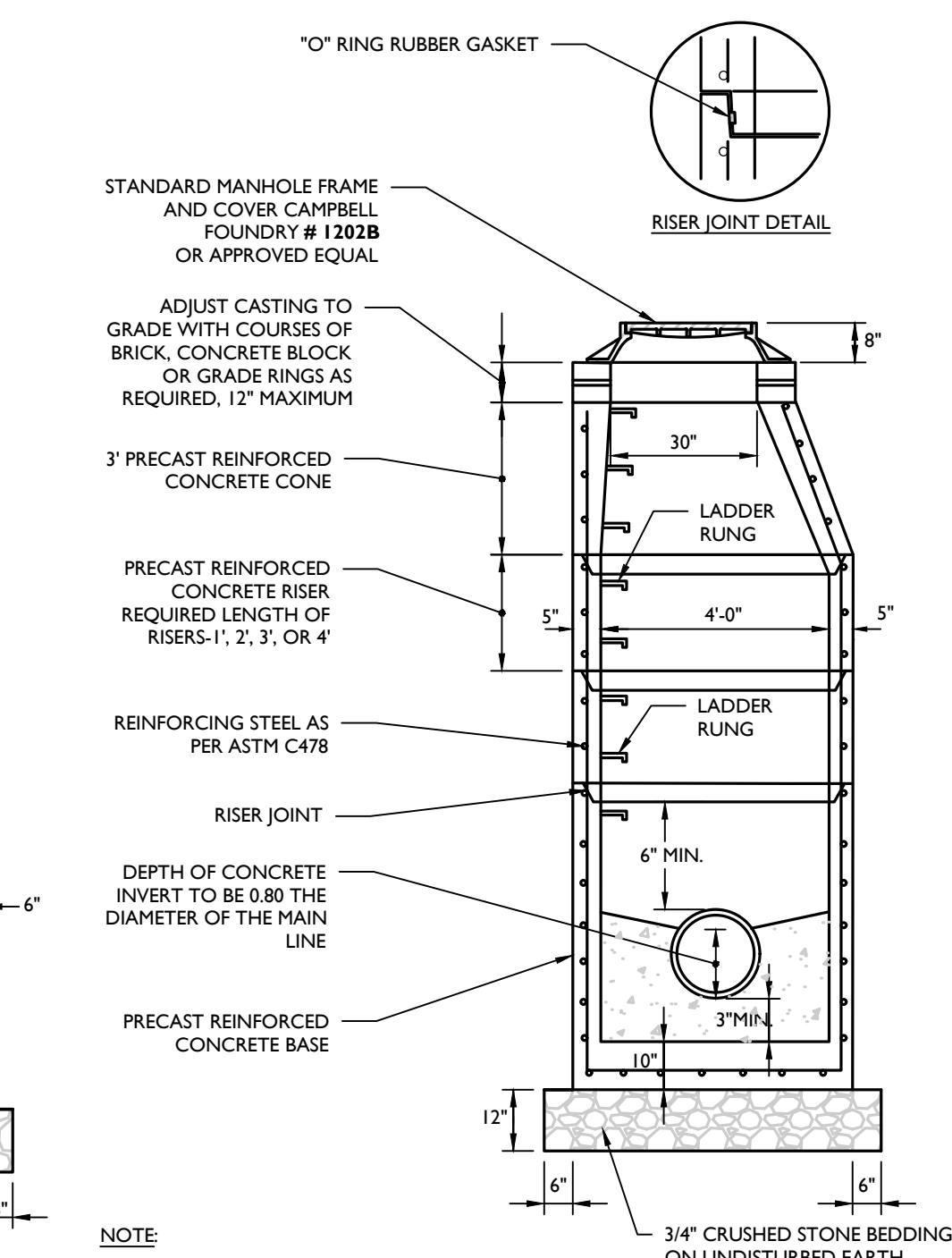
CONVERT TYPE "B" INLET TO TYPE "E" INLET DETAIL
NOT TO SCALE



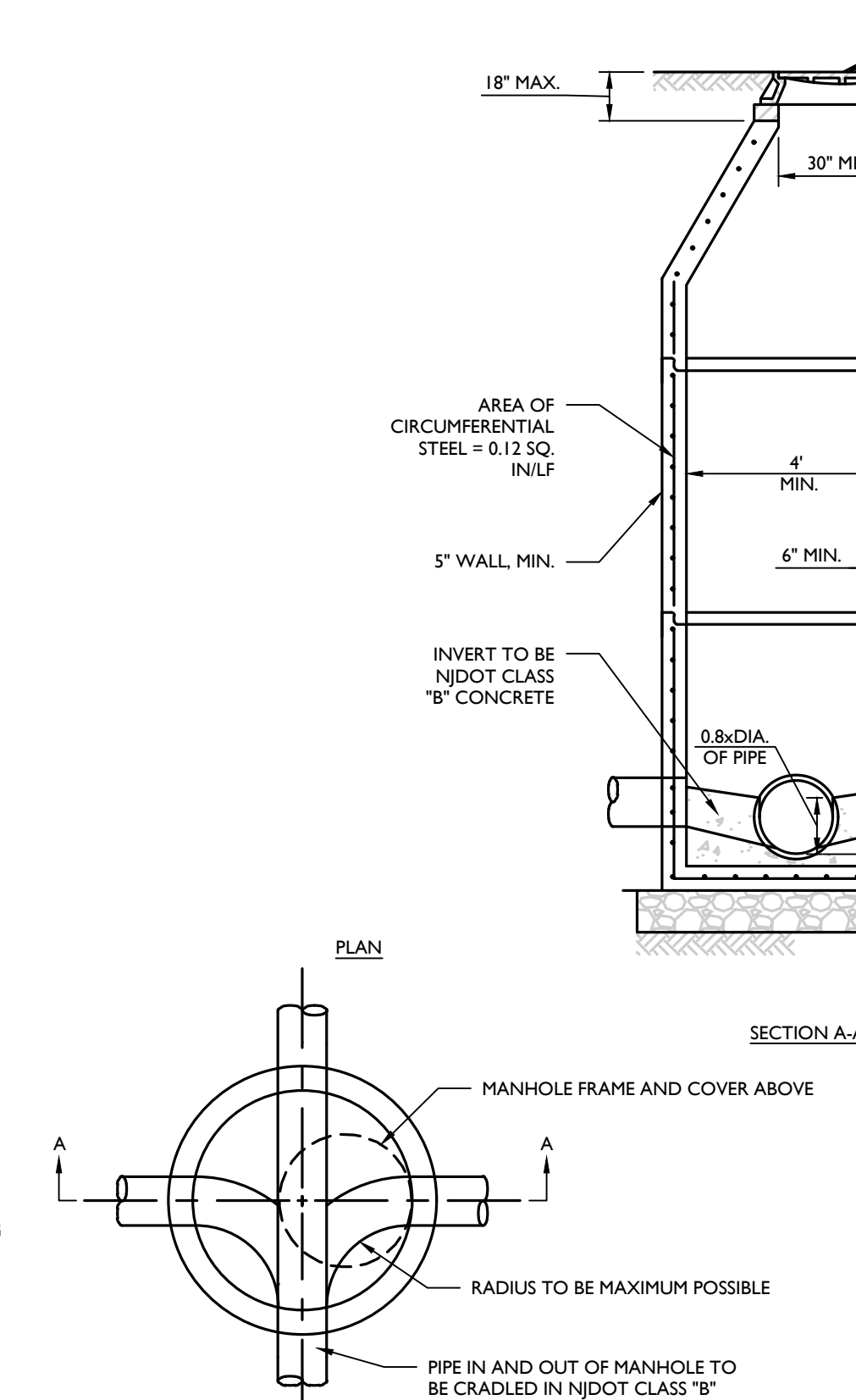
STORM PIPE BEDDING DETAIL
N.T.S.



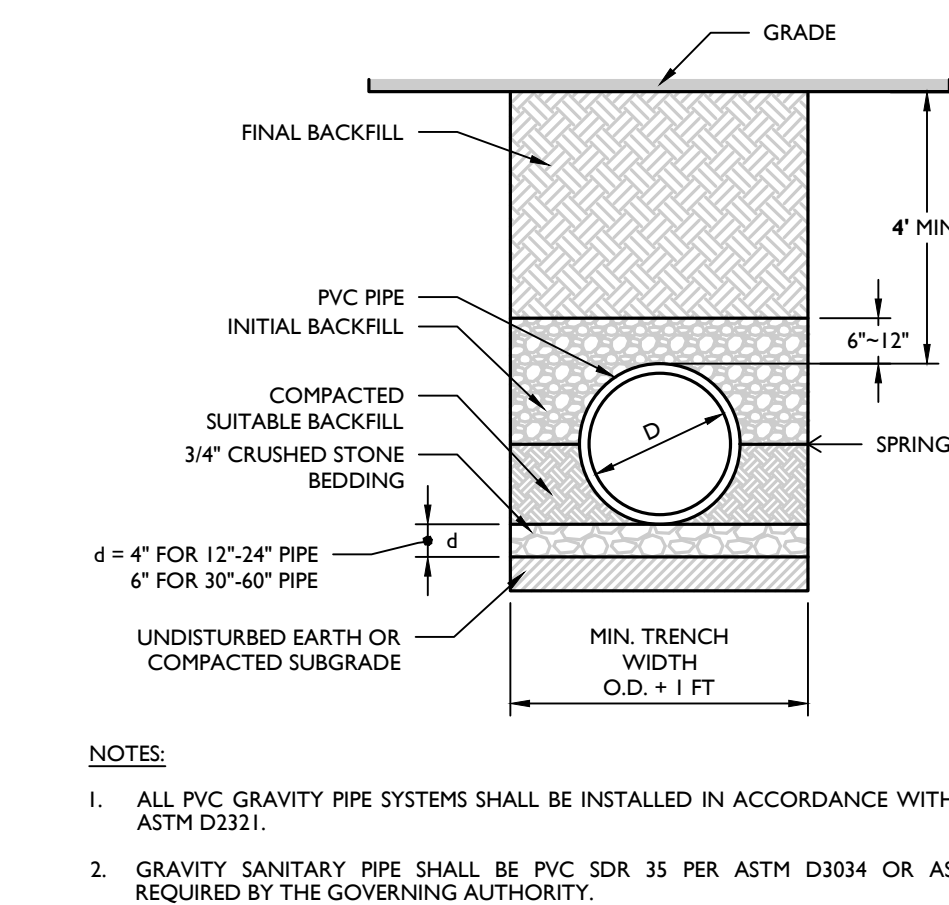
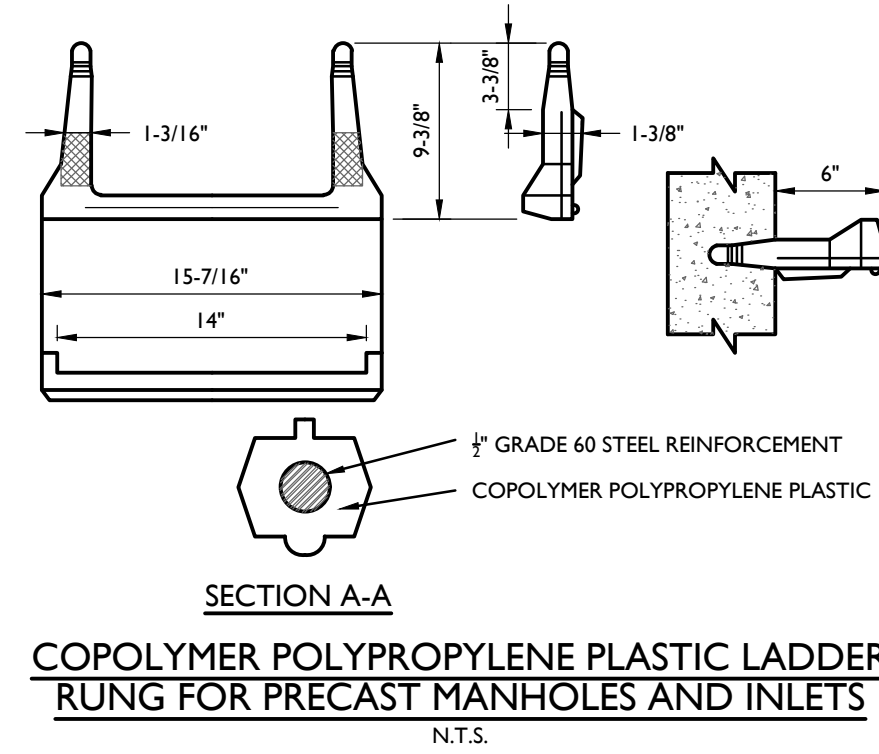
PRECAST CONCRETE STORM MANHOLE 5' DIA. DETAIL
N.T.S.



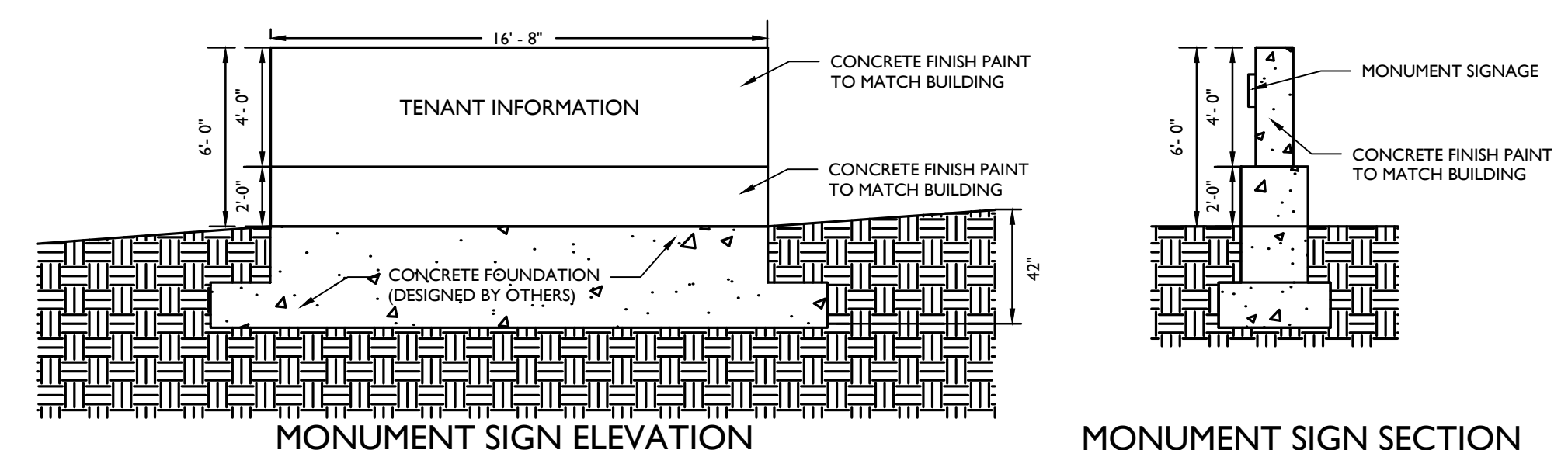
PRECAST CONCRETE STORM MANHOLE 4' DIA. DETAIL
N.T.S.



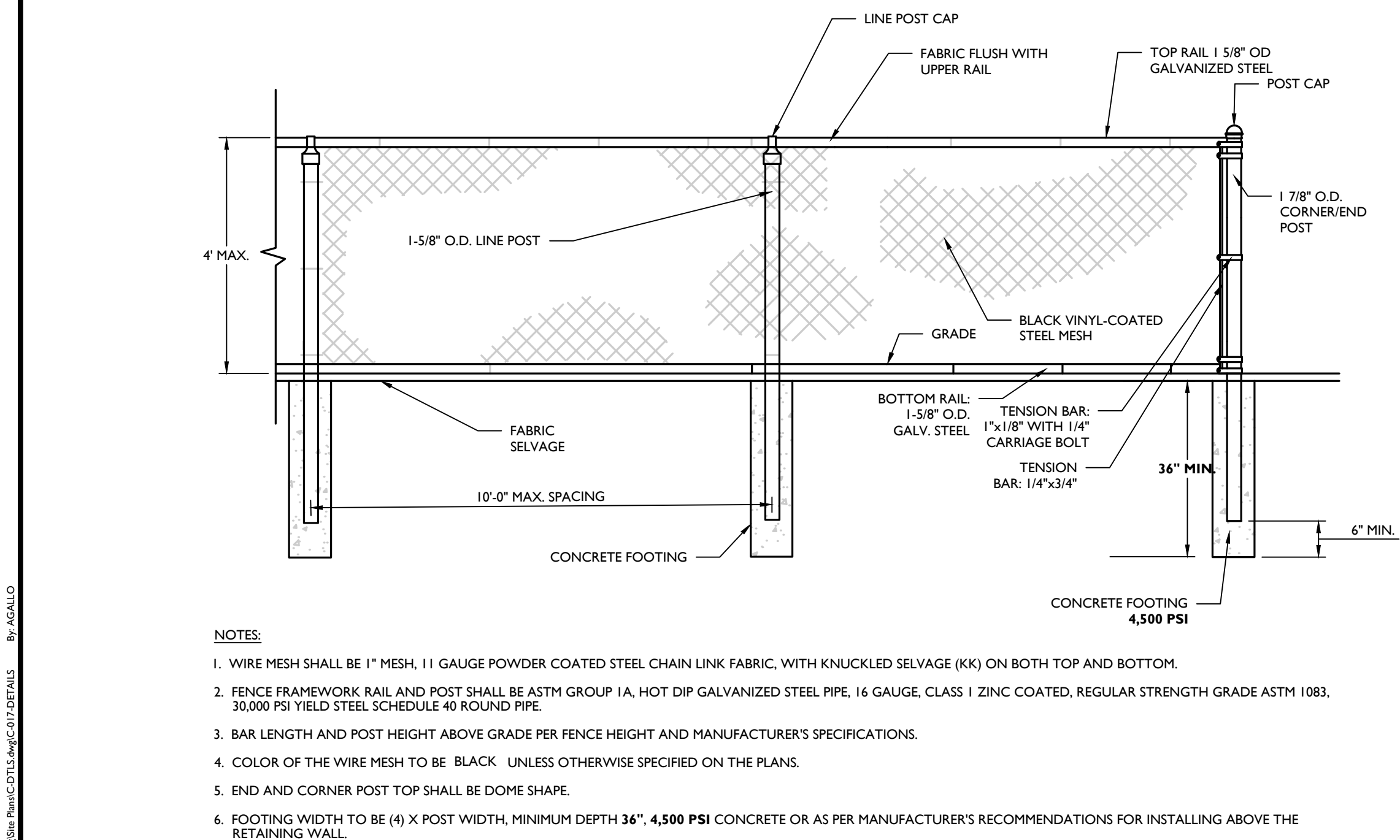
SANITARY PRECAST MANHOLE DETAIL
N.T.S.



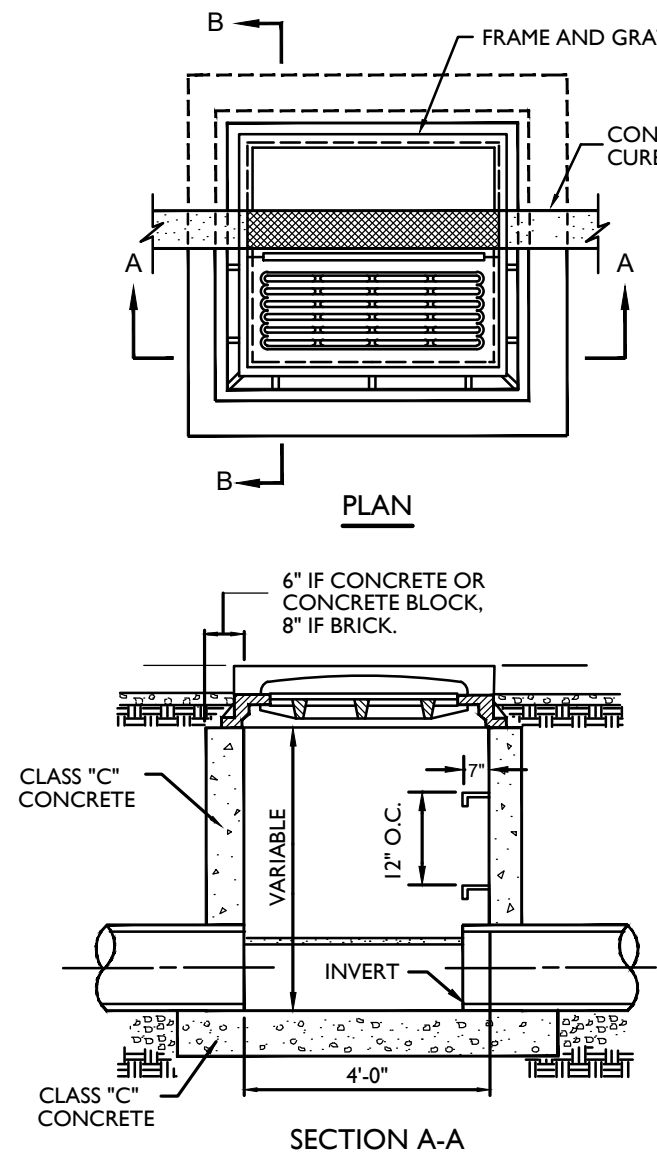
PVC SANITARY PIPE BEDDING (GRAVITY) DETAIL
N.T.S.



GROUND SIGN DETAIL
SCALE: 1" = 5'



4' HIGH CHAIN LINK FENCE DETAIL
NOT TO SCALE



TYPE "B" INLET
N.T.S.

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811
PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATIONS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE
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REV	DATE	DRAWN BY	DESCRIPTION
1	07/20/21	AG	REV PER NADP COMMENTS

MARK J. JANIEZEWski
NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: GE45561
MASER CONSULTING, INC.
NJ C.O.A. #: 24GA27986500

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR PROPOSED WAREHOUSE

BLOCK 2607, LOT 46

TOWNSHIP OF HAMILTON
MERCER COUNTY
NEW JERSEY

HAMILTON OFFICE
1000 Waterview Drive
Suite 201
Hamilton, NJ 08691
Phone: 609.587.8200
Fax: 609.587.8260

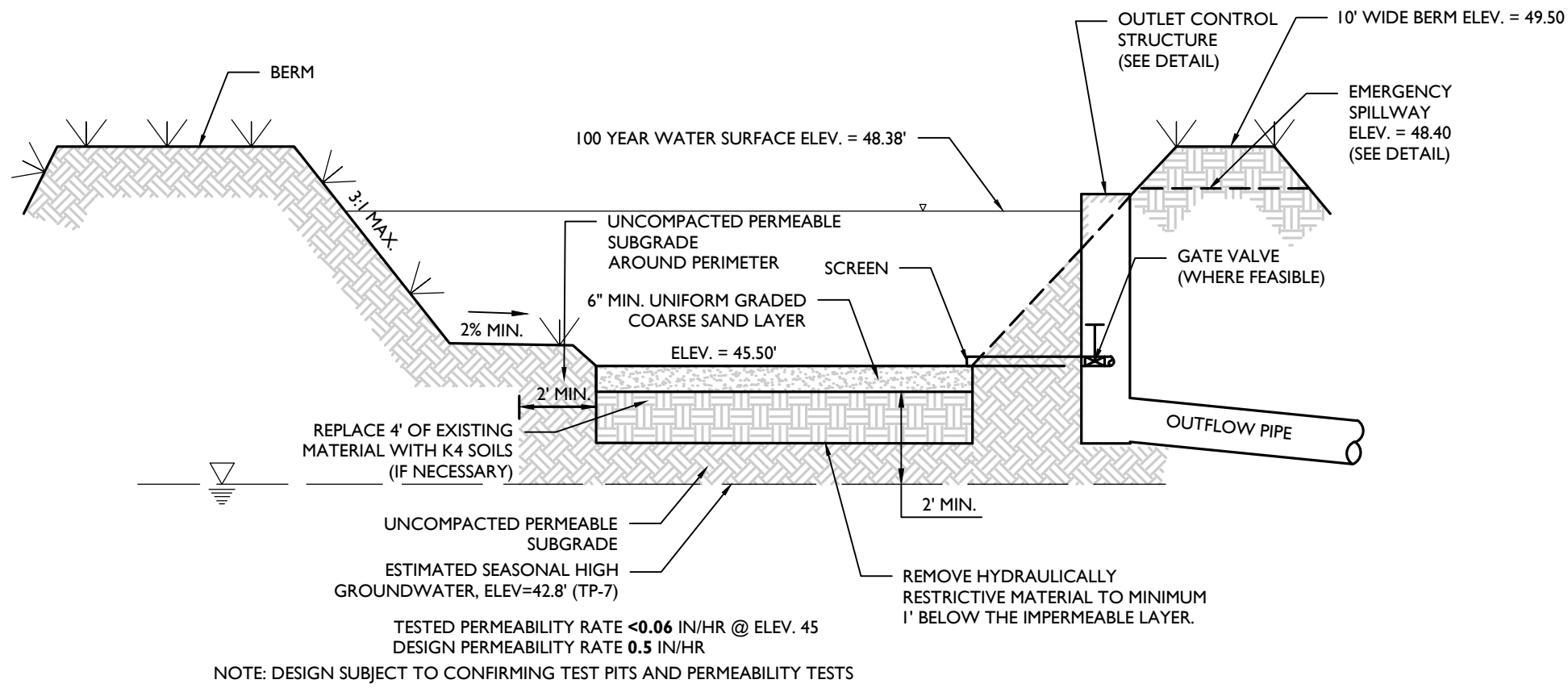
SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	12/21/20	OKC	MJ

PROJECT NUMBER: 18003085A
DRAWING NAME: C-DTL3

SHEET TITLE: CONSTRUCTION DETAILS

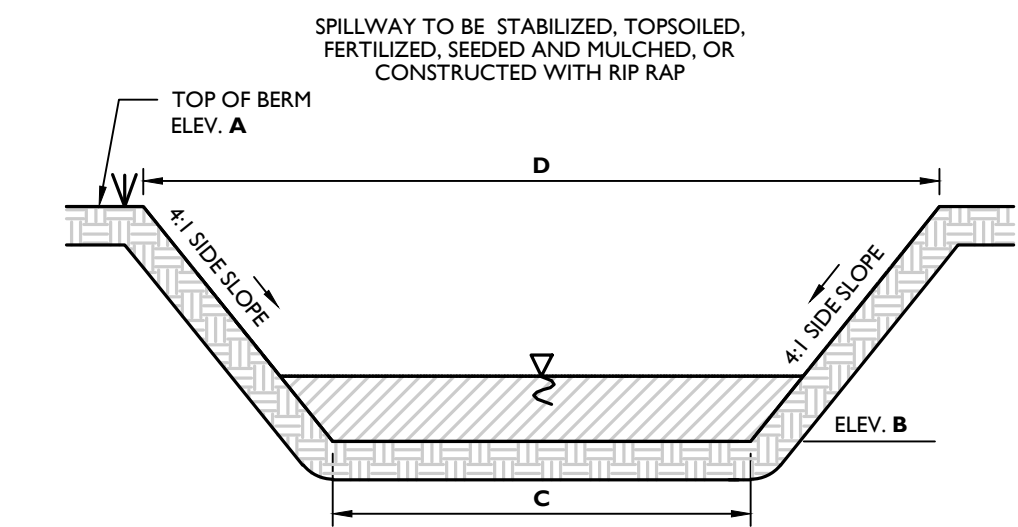
SHEET NUMBER: 17 of 19

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



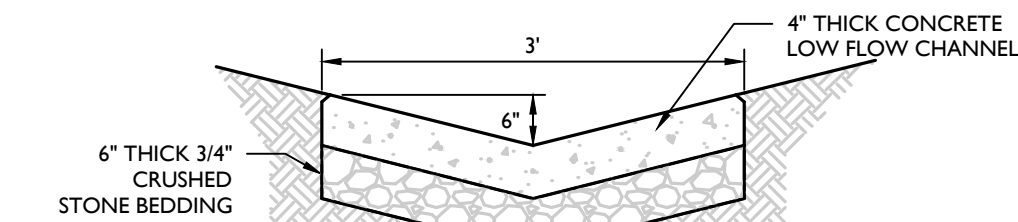
ABOVE GROUND INFILTRATION BASIN CONSTRUCTION NOTES:

- A. PRE-CONSTRUCTION:**
- CONTRACTOR SHALL PROCURE THE SERVICES OF A NEW JERSEY LICENSED PROFESSIONAL ENGINEER TO PERFORM REGULAR OVERSIGHT OF THE CONSTRUCTION OF THE INFILTRATION BASIN TO ENSURE ITS EFFECTIVENESS. THE FOLLOWING REQUIRED OVERSIGHT ACTIVITIES INCLUDING, BUT NOT LIMITED TO:
 - PARTICIPATION BY THE ENGINEER AND CONTRACTOR AT A PRE-CONSTRUCTION MEETING TO REVIEW THE CONTRACTOR'S FAMILIARITY WITH CONSTRUCTION OF THE BASIN.
 - THE CONTRACTOR SHALL IDENTIFY THE CONSTRUCTION EQUIPMENT TO BE USED FOR THE BASIN CONSTRUCTION AND THE CONSTRUCTION TECHNIQUES THAT WILL BE USED TO MINIMIZE COMPACTION OF THE INFILTRATION AREA.
 - ENSURING THAT EARTHWORK DOES NOT OCCUR WITHIN THE LIMITS OF THE BASIN WHEN THE SOIL MOISTURE CONTENT IS ABOVE THE LOWER PLASTIC LIMIT AND THAT THE SPECIFICATIONS OF THE REPLACEMENT SOIL ARE MET.
 - TEST EACH SOIL LAYER WHERE THE PERMEABILITY RATE IS CRITICAL PRIOR TO THE PLACEMENT OF A NEW LAYER TO ENSURE THAT THE PERMEABILITY RATE HAS BEEN RETAINED.
 - THE CONTRACTOR SHALL ENSURE THAT PROPER PRECAUTIONS ARE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE INFILTRATION AREA DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF SOIL CONDITIONS ENCOUNTERED IN THE FIELD DIFFER FROM WHAT IS SHOWN HEREON. SUCH CONDITIONS COULD RENDER THE DESIGN HEREON INAPPROPRIATE OR INEFFECTIVE.
- B. DURING CONSTRUCTION:**
- DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF THE PROPOSED INFILTRATION BASIN.
 - THE LOCATION OF THE PROPOSED INFILTRATION BASIN MUST BE CORDONED OFF DURING CONSTRUCTION TO PREVENT COMPACTION OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR STOCKPILES. EXCAVATION AND CONSTRUCTION OF THE INFILTRATION BASIN MUST BE PERFORMED USING EQUIPMENT PLACED OUTSIDE THE LIMITS OF THE BASIN. IF THE SIZE OF THE BASIN PRECLUDES THIS APPROACH, EXCAVATION SHALL BE PERFORMED FROM THE INSIDE OUT SUCH THAT ALL EQUIPMENT UTILIZED WITHIN THE BASIN IS AT LEAST 2 FEET ABOVE THE FINAL EXCAVATION DEPTH.

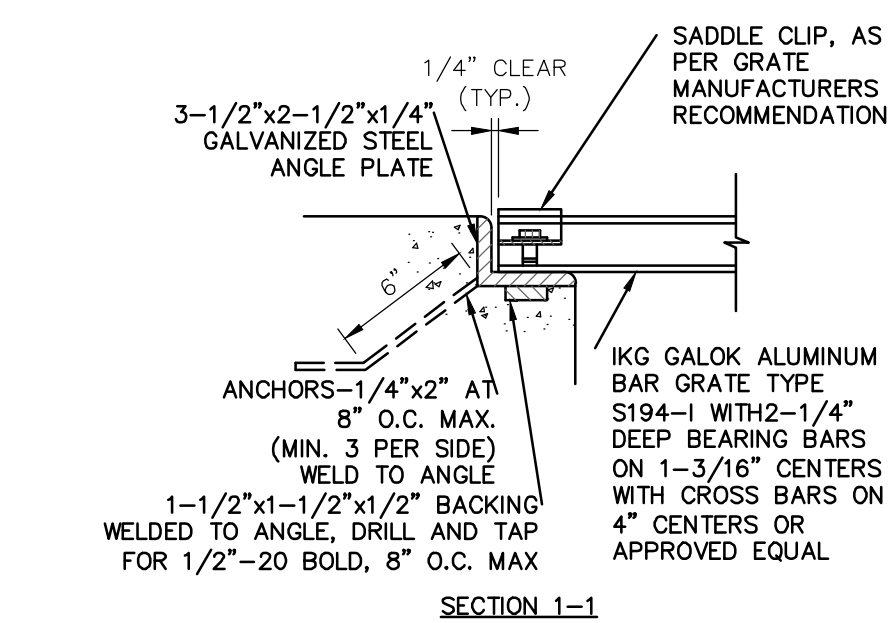


BASIN #	A	B	C	D
	49.50	48.40	212'	220.80

- NOTES:**
- 0% SLOPE ACROSS EMERGENCY SPILLWAY.
 - SPILLWAY SURFACE TO BE STABILIZED AS SHOWN ON THE PLANS.
- EMERGENCY SPILLWAY DETAIL**
NOT TO SCALE



- NOTES:**
- CONCRETE TO BE 3,000 PSI.
 - CONSTRUCTION JOINT EVERY 30'; EXPANSION JOINT EVERY 90'.
 - MINIMUM CHANNEL BOTTOM SLOPE = 0.5%.
- CONCRETE LOW FLOW CHANNEL (V-SHAPE) DETAIL**
NOT TO SCALE



TOP GRATE TRASH RACK
N.T.S.

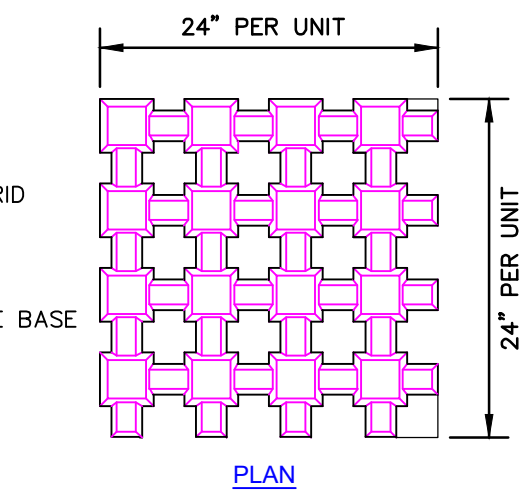
- EXCAVATION FOR THE INFILTRATION BASIN MUST BE AT LEAST 6 INCHES ABOVE THE FINAL EXCAVATION DEPTH IF IMPORTED SAND IS TO BE UTILIZED FOR THE ENGINEERED SAND LAYER. EXCAVATION MAY BE TO THE DESIGN ELEVATION OF THE INFILTRATION BASIN BOTTOM IF IN-SITU SAND MEETS THE SPECIFICATIONS AND IS TO BE UTILIZED FOR THE ENGINEERED SAND LAYER. THE USE OF THE LOCATION PROPOSED FOR AN INFILTRATION BASIN AS A SEDIMENT BASIN DURING CONSTRUCTION IS PROHIBITED.
- THE BASIN BOTTOM SHALL BE CLEARED OF SEDIMENT AND UNSUITABLE MATERIALS SHALL BE REMOVED PERIODICALLY AS NECESSARY AND PRIOR TO FINAL EXCAVATION. THE EXCAVATION TO FINAL SUBSOIL DEPTH AND INSTALLATION OF THE ENGINEERED SAND LAYER OR IF APPLICABLE TO THE FINAL DESIGN ELEVATION OF THE INFILTRATION BASIN BOTTOM MAY ONLY OCCUR AFTER ALL SITE CONSTRUCTION WITHIN ITS DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA, INCLUDING THE BASIN SIDE SLOPES, IS COMPLETELY STABILIZED.
- IF CONSTRUCTION OF THE INFILTRATION BASIN CANNOT BE DELAYED BY INSTALLING TEMPORARY STORMWATER MANAGEMENT MEASURES, SEDIMENT BARRIERS MUST BE PLACED AROUND THE ENTIRE PERIMETER OF THE BASIN BOTTOM DURING ALL PHASES OF CONSTRUCTION TO DIVERT ALL FLOWS AWAY FROM THE BASIN. INLET FOREBAYS (CONSTRUCTED USING SEDIMENT BARRIERS) MUST BE PLACED AROUND ALL BASIN INLET PIPES CONDUIT OUTLET PROTECTION. THE SEDIMENT BARRIERS REQUIRED HEREIN MAY NOT BE REMOVED UNTIL ALL SITE CONSTRUCTION WITHIN THE BASIN DRAINAGE AREA IS COMPLETED, AND THE DRAINAGE AREA, INCLUDING THE BASIN SIDE SLOPES, IS COMPLETELY STABILIZED.
- ALL EARTHWORK OPERATIONS, INCLUDING EXCAVATION, GRADING AND BACKFILL OPERATIONS SHALL BE CONDUCTED UNDER THE SUPERVISION OF A NEW JERSEY LICENSED PROFESSIONAL ENGINEER. IF APPLICABLE, EXCAVATIONS TO REMOVE HYDRAULICALLY RESTRICTIVE MATERIAL SHALL EXTEND A MINIMUM OF 1' BELOW THE IMPERMEABLE LAYER AND REMOVAL OF THE MATERIAL SHALL BE WITNESS AND CERTIFIED BY A PROFESSIONAL ENGINEER.
- THE REPLACEMENT MATERIAL MUST MEET ALL SPECIFICATIONS FOR CLEAN, COARSE SAND IN ACCORDANCE WITH AASHTO M-6 OR ASTM C-33 MEETING AGGREGATE SIZE GRADATION SIZE NO. 10 (AASHTO M-43), AND THE MINIMUM TESTED PERMEABILITY RATE IS 8 INCHES PER HOUR, AS CERTIFIED BY A NJ LICENSED PROFESSIONAL ENGINEER. CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEER WITH A SUBMITTAL CONFIRMING THE REQUIREMENTS ARE MET.
- PRIOR TO INSTALLATION OF THE ENGINEERED SAND LAYER, THE PERMEABILITY RATE OF THE IN-SITU UNDERLYING OR REPLACEMENT SOILS SHALL BE CONFIRMED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER. TO MEET THE MINIMUM DESIGN PERMEABILITY RATE, THE BASIN INFILTRATION RATE SHALL BE CERTIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER, THAT IT MEETS THE MINIMUM DESIGN PERMEABILITY RATE. RESULTS OF THE PERMEABILITY TESTS SHALL BE PROVIDED TO THE DESIGN ENGINEER IN WRITING PRIOR TO THE PLACEMENT OF THE SAND LAYER. SEE PERMEABILITY TESTING REQUIREMENTS BELOW.
- ONCE THE FINAL GRADING PHASE OF A SURFACE INFILTRATION BASIN IS REACHED, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAG OR EQUIVALENT GRADING EQUIPMENT. THESE PROCEDURES SHOULD PREFERABLY BE PERFORMED WITH EQUIPMENT LOCATED OUTSIDE THE BASIN BOTTOM. IF THIS IS NOT POSSIBLE, IT SHOULD BE PERFORMED WITH LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT.
- THE BOTTOM ENGINEERED SAND LAYER MUST MEET ALL SPECIFICATIONS FOR CLEAN, UNIFORMLY GRADED COARSE SAND IN ACCORDANCE WITH AASHTO M-6 OR ASTM C-33 MEETING AGGREGATE SIZE GRADATION SIZE NO. 9 (AASHTO M-43). THE ABOVE MATERIAL MUST BE CERTIFIED BY A NJ LICENSED PROFESSIONAL ENGINEER. CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEER WITH A SUBMITTAL CONFIRMING THE REQUIREMENTS ARE MET.
- SOD PLACEMENT ON THE SIDE SLOPES SHALL BE EXTENDED TO THE TOP OF BERM OR AT LEAST TO 1 FOOT ABOVE THE 100-YR WATER SURFACE ELEVATION. SOD SHOULD BE PLACED FIRST TO STABILIZE THE EMBANKMENT BEFORE PREPARING THE BASIN BOTTOM FOR SAND PLACEMENT.
- THE GATE VALVE WITHIN THE OUTLET STRUCTURE SHALL REMAIN CLOSED AT ALL TIMES, EXCEPT FOR PERIODS OF MAINTENANCE.

C. PERMEABILITY TESTING REQUIREMENTS:

- PERMEABILITY TESTING MUST BE PERFORMED ON THE AS-BUILT INFILTRATION BASIN IN ACCORDANCE WITH THE CONSTRUCTION AND POST-CONSTRUCTION OVERSIGHT AND SOIL PERMEABILITY TESTING SECTION IN THE "NJDEP BMP MANUAL, APPENDIX E: SOIL TESTING CRITERIA".
- AS REQUIRED BY APPENDIX E OF THE NJDEP BMP MANUAL, THE MINIMUM NUMBER OF PERMEABILITY TESTS SHALL BE A FUNCTION OF THE BASIN BOTTOM INFILTRATION AREA. THE MINIMUM PERMEABILITY RATE OF EACH TEST PIT SHALL BE 20 INCHES PER HOUR.
- IF THE FIELD-TESTED PERMEABILITY RATES CONFIRM THE BASIN'S ABILITY TO TOTALLY DRAIN WITHIN 72 HOURS AFTER THE CESSATION OF THE DESIGN STORM, THE DESIGN ENGINEER, IN CONSULTATION WITH THE OWNER AND ANY AGENCY HAVING JURISDICTION, MAY ACCEPT THE BASIN DESIGN. THE CONTRACTOR HAS THE OPTION TO DEMONSTRATE THAT THE INFILTRATION BMP, WHEN FLOODED WITH WATER, EITHER ARTIFICIALLY OR NATURALLY BY RAIN EVENT, PERFORMS AS DESIGNED FOR INFILTRATION.
- IF NEITHER THE TESTING NOR FLOODING OF THE BASIN WORKS, WHERE THE PERMEABILITY RATES DO NOT MEET THE REQUIRED DESIGN RATE NOTED ABOVE BY SHOWING A LONGER DRAIN TIME THAN DESIGNED, REMEDIAL/CORRECTIVE ACTION MUST BE TAKEN BY THE CONTRACTOR. THE SOILS BELOW THE INFILTRATION BMP MUST BE REMEDIATED OR REPLACED AND THEN RE-TESTED UNTIL THE REQUIRED DRAIN TIME IS ACHIEVED. ALL POST-CONSTRUCTION SOIL PERMEABILITY TEST RESULTS SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.

D. POST-CONSTRUCTION:

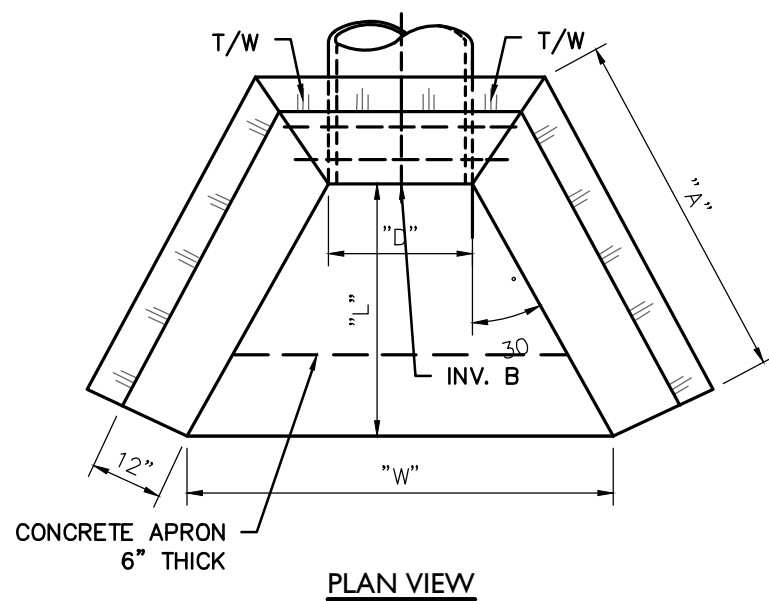
- UPON COMPLETION OF THE BASIN, THE CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEER WITH A TOPOGRAPHIC SURVEY OF THE BASIN PREPARED BY A NEW JERSEY LICENSED PROFESSIONAL SURVEYOR. THE SURVEY SHALL INCLUDE 1 FOOT CONTOURS OF THE ENTIRE BASIN, TOP OF BERM ELEVATIONS, BOTTOM OF BASIN ELEVATIONS AND ALL INFORMATION PERTAINING TO THE OUTLET CONTROL STRUCTURE INCLUDING CURVE AND WEIR SIZES AND ELEVATIONS. THE OUTLET PIPE AND NEXT DOWN-STREAM DRAINAGE STRUCTURE SHALL BE SURVEYED.
- THE PROFESSIONAL ENGINEER THAT WITNESSES THE BASIN CONSTRUCTION AND PERFORMED THE SOIL INFILTRATION TESTS SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE DESIGN ENGINEER WITH THE RESULTS OF THE INFILTRATION TESTS.



NOTES:

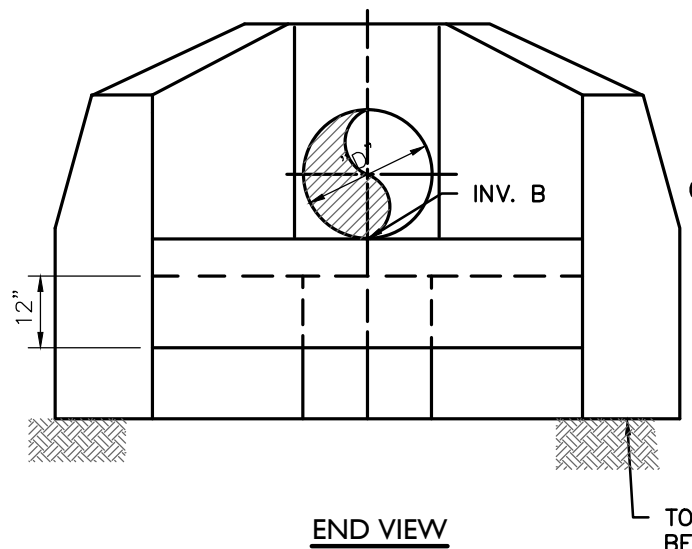
- THE NEED FOR A PAVEMENT ACCESS DRIVE WILL BE DETERMINED AT THE TIME OF CONSTRUCTION AND WILL BE PROVIDED IF THE CONDITIONS WARRANT AND IF DIRECTED BY THE ENGINEER.

BASIN GRASS PAVER ACCESS DRIVE DETAIL
MINIMUM REQUIREMENTS ONLY
N.T.S.



- NOTES:**
- ALL EDGES TO BE CHAMFERED 1".
 - D = DIAMETER OF THE PIPE.
 - THE TERMINUS FOR OUTLET AND INLET APRONS SHALL BE SET BY EXTENDING THE PIPE GRADE AHEAD AND BACK RESPECTIVELY.
 - FOR ARCH PIPE, THE SPAN SHALL BE SUBSTITUTED FOR "D".
 - EXPOSED PORTIONS OF WALL TO BE RUBBED & FLOATED TO REMOVE FORM MARKS.
 - USE CLASS "B" CONCRETE.

DESCRIPTION	"D"	"L"	"W"	"A"	"H"
HEADWALL	12"	21"	36"	24"	24"
HEADWALL	15"	26"	45"	30"	27"
HEADWALL	18"	31"	54"	36"	30"
HEADWALL	24"	42"	72"	48"	36"
HEADWALL	30"	52"	90"	60"	42"
HEADWALL	36"	62"	108"	72"	48"
HEADWALL	42"	73"	126"	84"	54"
HEADWALL	48"	83"	144"	96"	60"



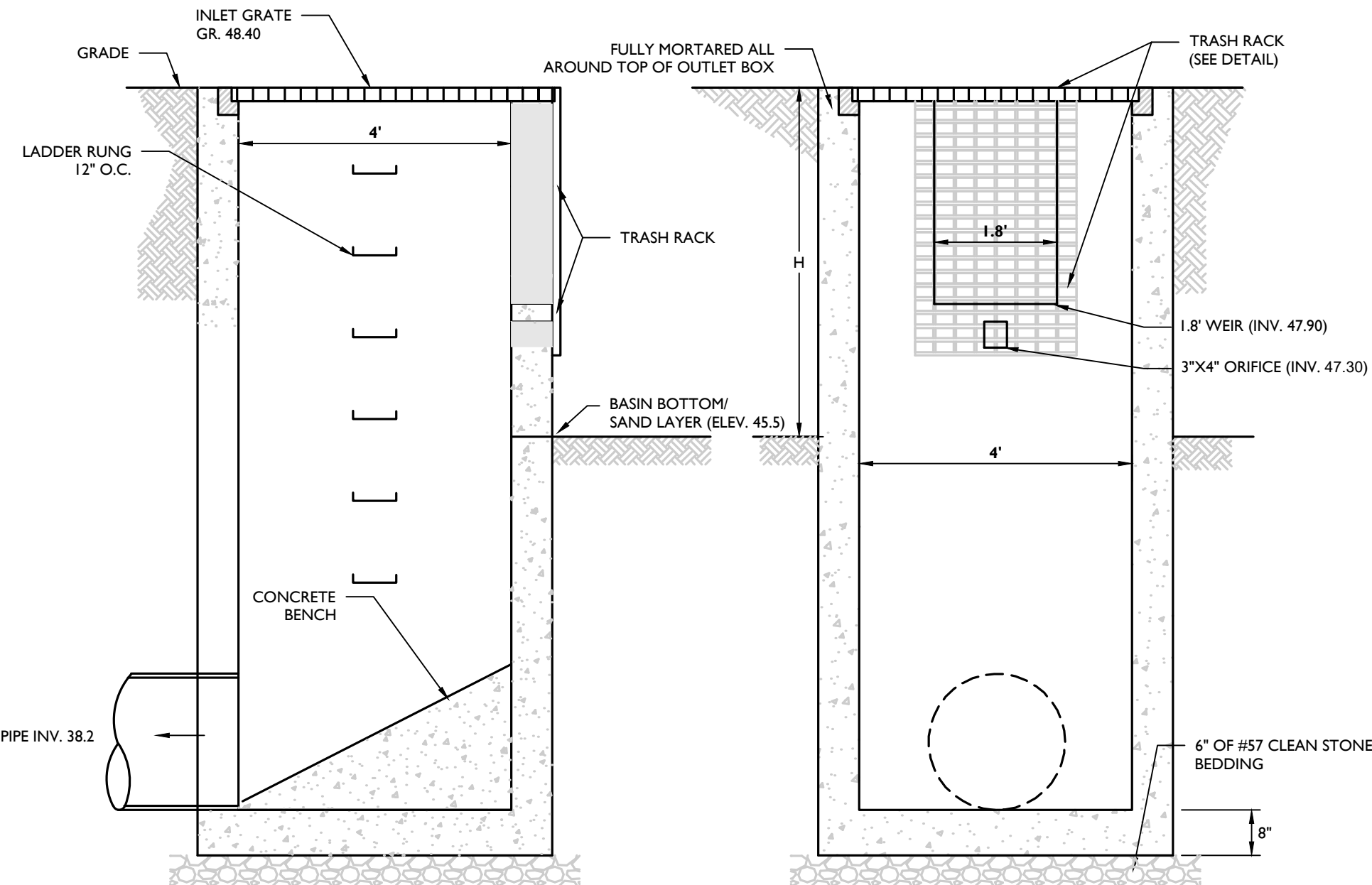
LOG OF TEST PIT				
TEST PIT NO. 7				
COMPLETION DATE: 11/23/09		SURFACE ELEVATION: +46 ft (±)		WATER LEVEL: 3.5'
JOB NUMBER: 2287-2611D				READING DATE: 11/23/09
DEPTH	SAMPLES (1)	MOISTURE CONTENT (%)	SYMBOL	DESCRIPTION
1	S1			12" Topsoil - Dark yellowish brown silt, some fine to medium sand, trace fine gravel (moist)(soft)
2	S2		SM	Dark yellowish brown fine to medium sand, and silt, little fine gravel (moist)(loose)
3	S3		SP/SM	Yellowish brown fine to medium sand, some fine gravel, trace silt (moist to wet)(medium dense)
4				- grading with light olive gray mottles @ 3.2'
5			CL	Olive gray with yellow brown mottles silty clay, trace fine sand (moist)(stiff)
6	S4			
7	S5		ML	Brownish yellow silt, some fine to medium sand (moist)(stiff)
8	S6		ML	Very dark gray clayey silt, and fine sand, trace mica (wet)(medium)
9	S7		SP/SM	Yellow fine to coarse sand, trace silt (wet)(medium dense)
10				
11				
12				
13				
14				
15				

NOTES FOR COLUMNS:
1. SAMPLE AT AVERAGE SAMPLING DEPTH

SOIL DESCRIPTION MODIFIERS:
TRACE 0 - 10%
LITTLE 10 - 20%
SOME 20 - 35%
AND OVER 35%

Typist: Date: res/mh 11/09 Sheet: 1 of 1 PLATE: 3G

MELICK-TULLY AND ASSOCIATES, P.C.
Geotechnical Engineers and Environmental Consultants



- NOTES:**
- CONTRACTOR TO SUBMIT SHOP DRAWING FOR REVIEW AND APPROVAL.
 - ALL CONCRETE TO BE 4,500 PSI.

SURFACE INFILTRATION BASIN OUTLET STRUCTURE
NOT TO SCALE

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Know what's below.
Call before you dig.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV	DATE	DRAWN BY	DESCRIPTION
1	07/28/21	AG	REV PER NJDEP COMMENTS

MARK J. JANISZEWSKI
NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: GE45561
MASER CONSULTING, INC.
NJ, C.O.A. #: 24GA27986500

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR PROPOSED WAREHOUSE

BLOCK 2607,
LOT 46

TOWNSHIP OF HAMILTON
MERCER COUNTY
NEW JERSEY

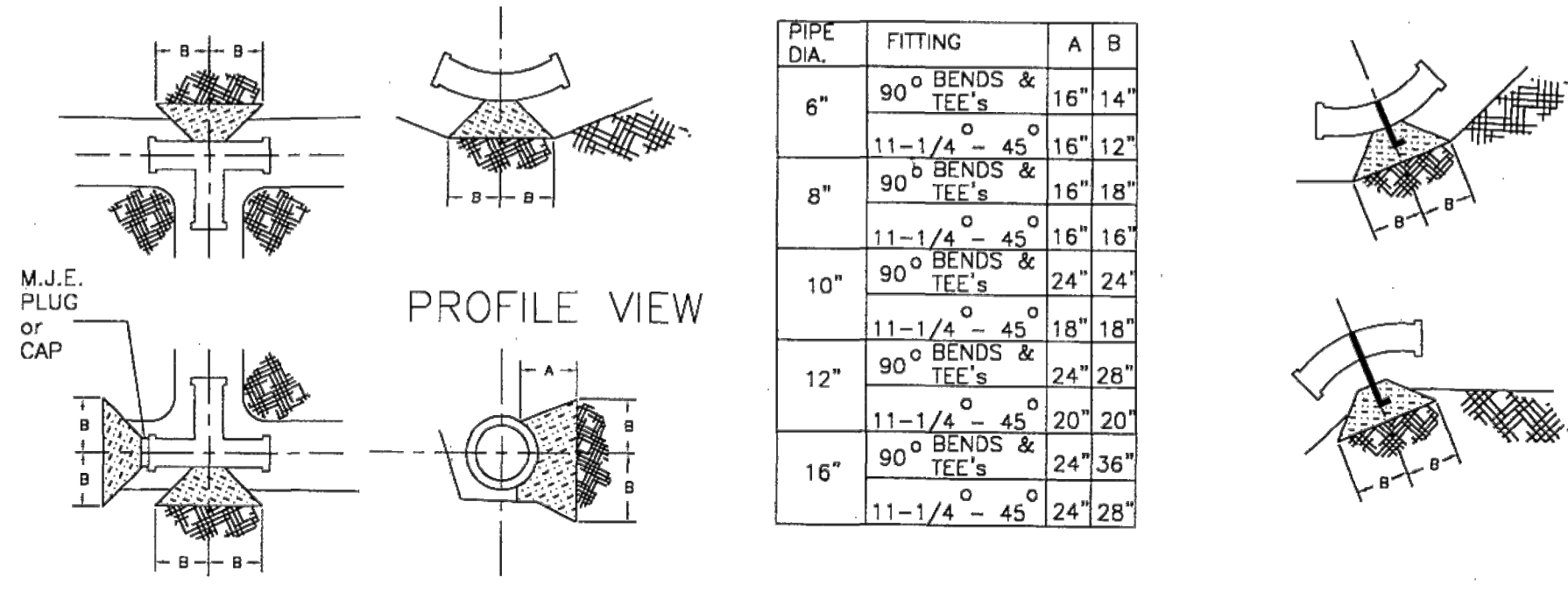
HAMILTON OFFICE
1000 Waterview Drive
Suite 201
Hamilton, NJ 08691
Phone: 609.587.8200
Fax: 609.587.8260

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	12/21/20	OKC	MJ
PROJECT NUMBER:	18003085A	DRAWING NAME:	C-DTLS

CONSTRUCTION DETAILS

SHEET NUMBER:
18 of 19

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



NOT TO SCALE

LOG OF TEST PIT				TEST PIT NO. 9	
COMPLETION DATE: 11/23/09				WATER LEVEL " "	
JOB NUMBER: 2887-281110				RESIGNING DATE: 11/23/09	
DEPTH	SAMPLE ID	MOISTURE CONTENT (%)	SYMBOL	DESCRIPTION	DEPTH
S1				7" Topsoil - Brown silt, some fine to medium sand (moist/soft)	
S2			CL	Dark yellowish brown silty clay, little fine to medium sand (moist/medium to stiff)	
S3				Yellowish brown fine to medium sand, trace to little silt (moist/medium dense)	
S4			SM		
S5				Test pit completed @ 10'	
				*Groundwater seepage not encountered	
				Mottling not observed	

NOTES FOR COLUMNS:

1. SAMPLE AT AVERAGE SAMPLING DEPTH

SOIL DESCRIPTION MODIFIERS:

TRACE 0-10%

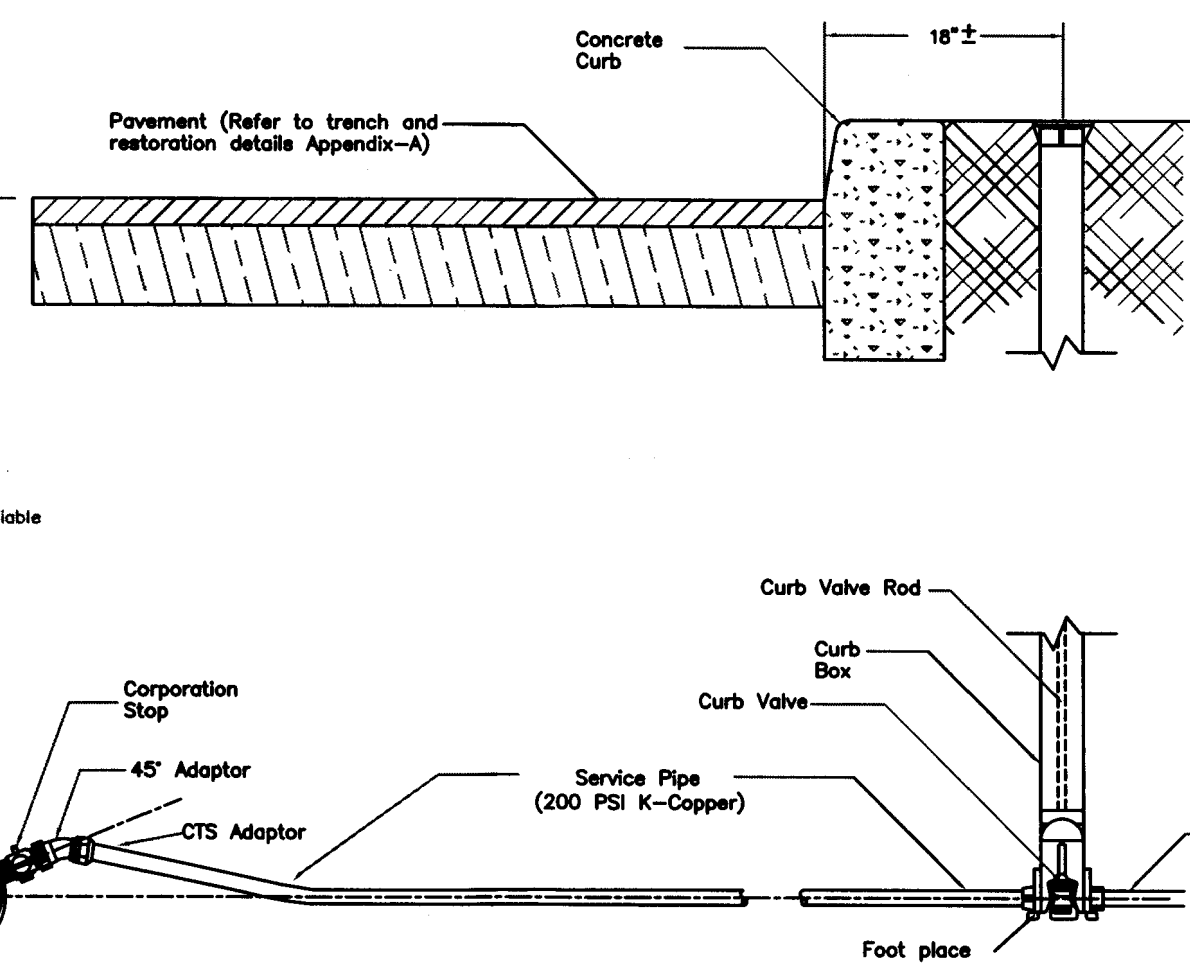
LITTLE 10-20%

SOME 20-50%

AND OVER 50%

Typist: Date: res/hin 11/09
Sheet 1 of 1
PLATE: 3A

1. UPON COMPLETION OF THE BASIN/BMP, THE CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEER WITH A PHOTO DOCUMENTATION OF THE UNDERGROUND SYSTEM BEFORE BACKFILL, AND AN AS-BUILT SURVEY AFTER THE COMPLETION OF THE UNDERGROUND BASIN/BMP, PREPARED BY A NEW JERSEY LICENSED PROFESSIONAL SURVEYOR. THE SURVEY SHALL BOTTOM OF BASIN/BMP ELEVATIONS, AND ALL INFORMATION PERTAINING TO THE OUTLET CONTROL STRUCTURE INCLUDING ORIFICE AND WEIR SIZES AND ELEVATIONS. THE OUTLET PIPE AND NEXT DOWN-STREAM DRAINAGE STRUCTURE SHALL BE SURVEYED.
2. THE PROFESSIONAL ENGINEER THAT WITNESSES THE BASIN/BMP CONSTRUCTION AND PERFORMED THE SOIL PERMEABILITY TESTS SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE DESIGN ENGINEER WITH THE RESULTS OF THE PERMEABILITY TESTS.



SCALE: 1"=2'

TOWNSHIP PLANNER _____ DATE _____
HAMILTON TWP. APP. #??-??-??

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

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
[illegible]


 MARK J. JANISZEWSKI
 NEW JERSEY LICENCED PROFESSIONAL ENGINEER
 LICENSE NUMBER: GE4561
 MASER CONSULTING, INC.
 N.J. C.O.A. #: 24GA27986500

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR
PROPOSED
WAREHOUSE

BLOCK 2607,
LOT 46
TOWNSHIP OF HAMILTON
MERCER COUNTY
NEW JERSEY



HAMILTON OFFICE
 1000 Waterview Drive
 Suite 201
 Hamilton, NJ 08691
 Phone: 609.587.8200
 Fax: 609.587.8260

SCALE: AS SHOWN	DATE: 12/21/20	DRAWN BY: OKC	CHECKED BY: MJJ
PROJECT NUMBER: 18003085A		DRAWING NAME: C-DTLS	

SHEET TITLE:

CONSTRUCTION DETAILS

SHEET NUMBER:
19 of 19