

325
DONALD LYNCH
BOULEVARD



76,164 SF OF CLASS A OFFICE SPACE





CONFERENCE ROOM



FURNISHED SPEC SUITE



FITNESS CENTER



325 Donald J. Lynch Boulevard is a 76,164 SF Class A office building situated on 27 acres located directly off Interstate 290 in the Solomon Pond Park. This two-story brick building provides excellent visibility, generous parking (3.7/1,000 SF) and access to the heart of the Metro West and Worcester business community.



2-MILES OF SCENIC
WALKING TRAILS



ON-CAMPUS
FITNESS CENTER



ON-CAMPUS CAFETERIA
WITH PATIO SEATING



ON-CAMPUS
COLLABORATIVE
OUTDOOR SPACE




STRONG BASE
OF CORPORATE
NEIGHBORS

THE HEART OF I-495


Located right off Interstate 290, 325 Donald J. Lynch Boulevard offers excellent access to Interstate 495's best retail cluster.

Accessible to Greater Boston's deep talent pool, Marlborough is one of the fastest growing business communities in Massachusetts.


WITHIN A 5 MILE RADIUS




4,556
MULTIFAMILY RESIDENTIAL UNITS




5.4M SF
OF RETAIL




15
HOTELS



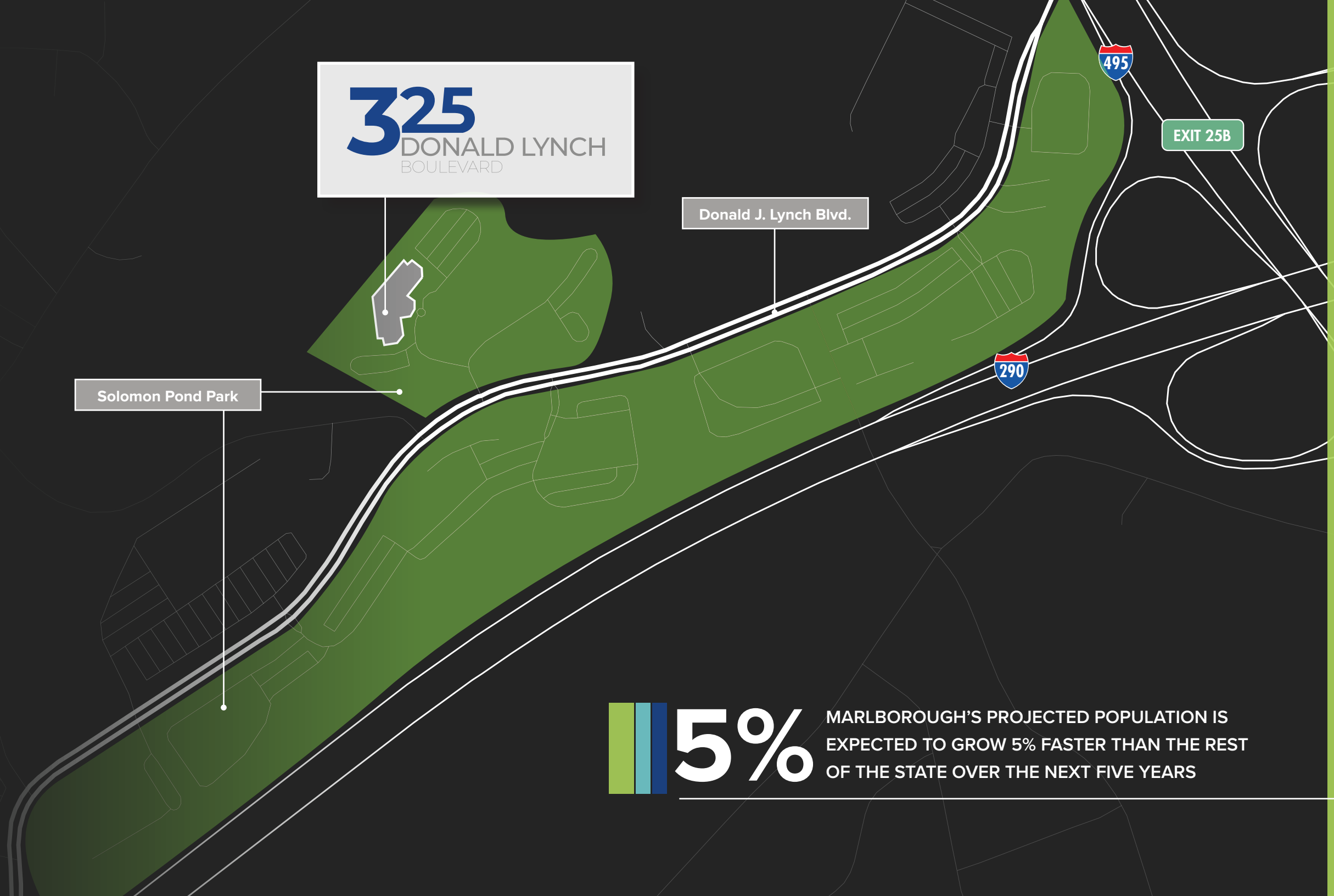
14
GYMS



35
RESTAURANTS



6
GALLERIES/MUSEUMS



5% MARLBOROUGH'S PROJECTED POPULATION IS EXPECTED TO GROW 5% FASTER THAN THE REST OF THE STATE OVER THE NEXT FIVE YEARS

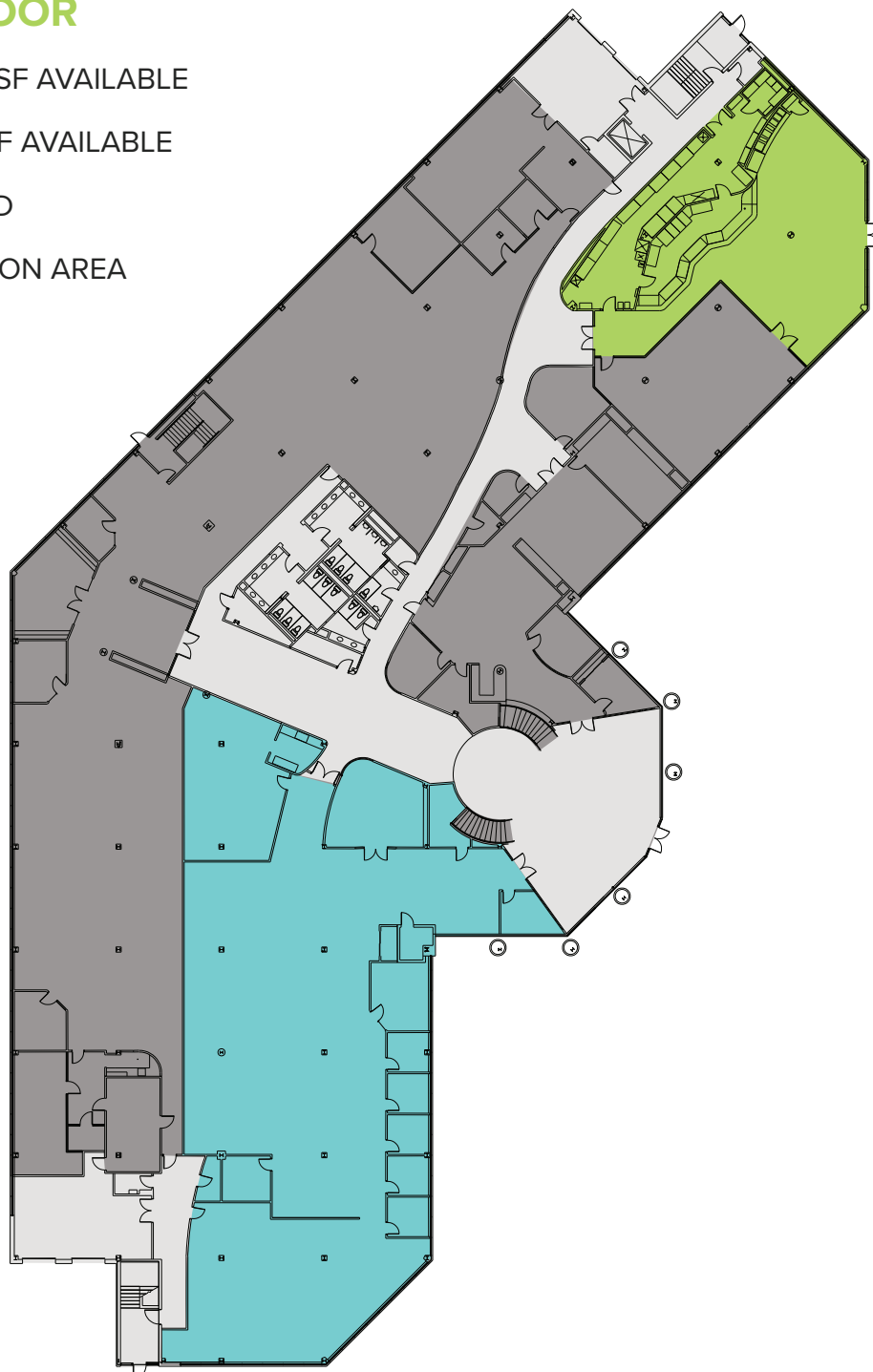
PROPERTY SPECIFICATIONS

TOTAL BUILDING SIZE:	76,164 SF
LAND:	27.0 acres
YEAR BUILT:	1998
PARKING RATIO:	3.7/1,000 SF
LOADING:	Four dock doors with levelers
ELEVATORS:	Two with one freight
ON-SITE AMENITIES:	Fitness center
NEARBY AMENITIES:	Solomon Pond Mall, TGI Fridays, Bertucci's, Olive Garden, Residence Inn by Marriott and more
ACCESS:	Located directly off Interstate 290 in the Solomon Pond Park
AWARDS:	2017 EPA ENERGY STAR®



1ST FLOOR

- 11,222 SF AVAILABLE
- 3,175 SF AVAILABLE
- LEASED
- COMMON AREA



2ND FLOOR

- 19,410 SF AVAILABLE
- 7,415 SF AVAILABLE
- 4,524 SF AVAILABLE
- LEASED
- COMMON AREA



325

DONALD LYNCH
BOULEVARD

FOR MORE INFORMATION, PLEASE CONTACT:

Rob Walles
+1 617 316 6405
Robert.Walles@am.jll.com

Sam Crossan
+1 617 316 6496
Sam.Crossan@am.jll.com

