

200  
PARK PLACE

CLICK TO TAKE A VIRTUAL TOUR



1ST FLOOR



PLAZA LEVEL / AMENITIES





# INTRODUCING 200 PARK PLACE

**200 Park Place** is located in Florham Park, a wealthy “executive” suburban community in Morris County (ranked the 10th wealthiest county in the nation). This location is one of Northern New Jersey’s most demanded office locations. Located on Park Avenue, off Exit 2 from Route 24, this corridor offers unparalleled access to executive communities, highly skilled labor pools, exceptional amenities and convenient train stations.

This 160,000 SF Class A office building is well designed to suite any smaller tenancy or larger user. The exterior of **200 Park Place** features beautiful brick and glass facades highlighted brushed aluminum. The interior of the building has recently been updated and features light porcelain tiled floors, cherry veneer walls, LED lighting and numerous other capital improvements throughout.

Building Size

**160,000 SF**

Located along corridor of

**ROUTE 24**

Mass Transit

**MIDTOWN  
DIRECT**

Wire Scored Certification

**CONNECTIVITY**



# CAPITAL IMPROVEMENTS

NEW  
CAFE

NEW  
LOBBY

NEW  
CONFERENCE  
ROOM

NEW  
FITNESS  
CENTER

## PROPERTY DESCRIPTION

Size:	160,518 SF
Number of Stories:	4 Story
Year Renovated:	2015
Building Structure:	Brick exterior walls supported by steal frame. 20' x 25' column grid
Parking:	4.0/1,000 SF with 108 spaces in the garage
Slab-to-Slab Height:	12'
Heating & Cooling:	10 AAON packaged rooftop units with internal electric resistance coil heating. 600 tons of cooling to multiple VAV boxes throughout the building
Electric:	408/277V switchgear rated at 4,000 amps, 10 watts usable per SF
Elevators:	Three (3) Otis hydraulic elevators each with 2,500 lb capacity and one 4,000 lb capacity
Fire & Life Safety:	100% sprinklered and equipped with a Simplex fire panel
Max Floor Load:	90 lbs/SF
Mass Transit:	Shuttle service to Convent Station Train Station (Morris/Essex Line)
New Café:	Full Service café
New Fitness Center:	Fitness center and locker rooms offered free of charge
New Conference Facilities:	Offered free of change and on a first come, first serve basis







# AMENITIES

With new amenities around every corner this building is geared towards making the space feel like it's our own. The newly renovated fitness center, conference room and café have been created especially to meet the tenant's daily and everyday needs.

**24/7**  
COLLABORATIVE  
SPACE

**1 / 3,000**  
SF  
COVERED  
PARKING  
SPACES

**FLORHAM  
PARK**

**4 TO 1**  
PARKING  
RATIO

**SHUTTLE SERVICE**  
TO CONVENT TRAIN  
STATION







## CONNECTIVITY

Conference room includes high-tech technology, video monitors and enough room to fit any size gathering.

❑ WIRE SCORED CERTIFIED

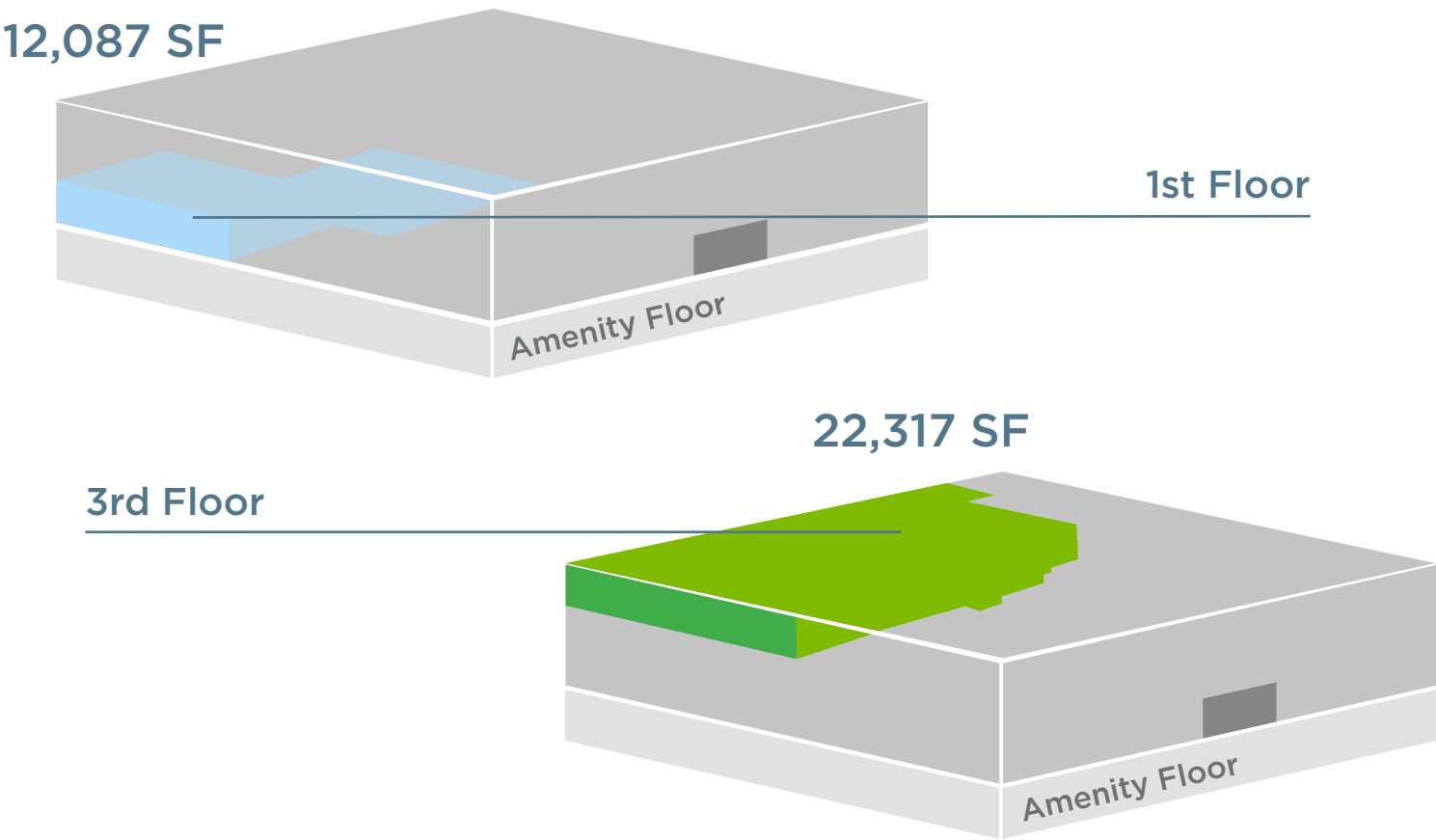
❑ VIDEO CONFERENCING

❑ 84 INCH WIRELESS MONITORS





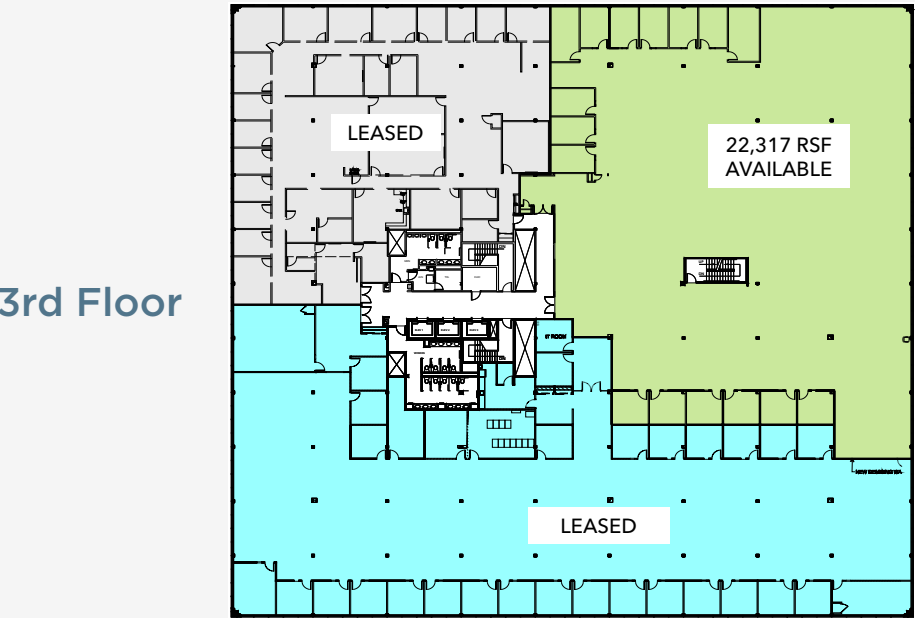
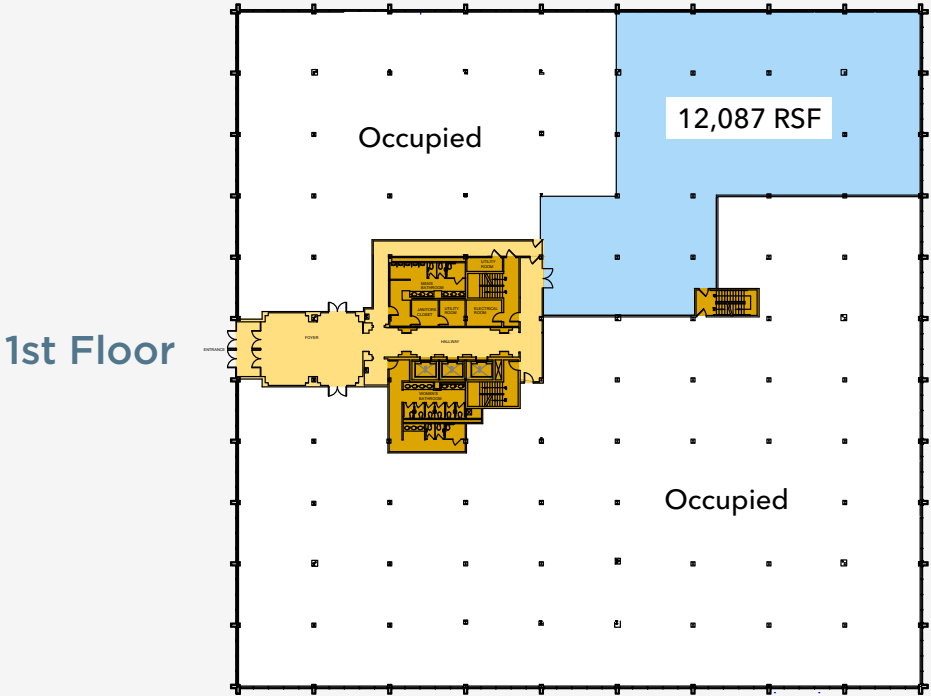
# STACKING PLAN



FLOOR		
1st Floor	Vacant	12,087 SF
3rd Floor	Vacant	22,317 SF

AMENITY FLOOR	
1	Executive Covered Parking
2	Kitchen & Servedy
3	Café
4	Conference Room
5	Fitness Room & Locker Rooms

# FLOORPLANS









**8 Campus Drive 3rd Floor  
Parsippany, NJ 07054**

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